

Land Information Memorandum



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Property address:
66 Arthur Street

LIM number: H09518512

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Christchurch City Council
53 Hereford Street, PO Box 73015
Christchurch 8154, New Zealand
Tel 64 3 941 8999
Fax 64 3 941 8984

www.ccc.govt.nz

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Application details

Date issued 9 March 2026
Date received 25 February 2026

Property details

Property address 66 Arthur Street, Upper Riccarton, Christchurch
Valuation roll number 22060 03901
Valuation information Capital Value: \$900,000
Land Value: \$500,000
Improvements Value: \$400,000
Please note: these values are intended for Rating purposes
Legal description Lot 8 DP 13611
Lot 2 DP 474101
Existing owner Kainga Ora - Homes and Communities
PO Box 74598
Auckland 1546

Council references

Rate account ID 73172495
LIM number H09518512
Property ID 1170496

Document information

This Land Information Memorandum (LIM) has been prepared for the purpose of section 44A of the Local Government Official Information and Meetings Act 1987 (LGOIMA). It is a summary of the information that we hold on the property. Each heading or "clause" in this LIM corresponds to a part of section 44A.

Sections 1 to 10 contain all of the information known to the Christchurch City Council that must be included under section 44A(2) LGOIMA. Any other information concerning the land as the Council considers, at its discretion, to be relevant is included at section 11 of this LIM (section 44A(3) LGOIMA). If there are no comments or information provided in these sections this means that the Council does not hold information on the property that corresponds to that part of section 44A.

The information included in this LIM is based on a search of Council records only and there may be other information relating to the land which is unknown to the Council. Please note that other agencies may also hold information relevant to the property, or administer legislation relevant to the use of the land, for example, the Regional Council (Ecan), Heritage New Zealand Pouhere Taonga, and Land Information New Zealand.

Council records may not show illegal or unauthorised building or works on the property. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose.

A LIM is only valid at the date of issue as information is based only upon information the Council held at the time of that LIM request being made. It is essential that the applicant undertakes their own due diligence to verify the suitability of the property for their intended use.

To enable the Council to measure the accuracy of this LIM document based on our current records, we would appreciate your response should you find any information contained therein which may be considered to be incorrect or omitted. Please telephone the Customer Call Centre on (03) 941 8999.

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A search of records held by the Council has revealed the following information:

1. Special features and characteristics of the land

Section 44(A)(2)(aa) LGOIMA. This is information known to the Council but is not apparent from a district plan under the Resource Management Act 1991. It identifies each (if any) special feature or characteristic of the land concerned, including but not limited to the likely presence of hazardous contaminants.

☎ For enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Natural Hazards

Section 44A(2)(a) LGOIMA. This is information known to the Council about natural hazards that is required by section 44B LGOIMA.

Council's information has primarily been obtained from external specialists with the technical expertise to carry out research, investigation or analysis. Under the Local Government (Natural Hazard Information in Land Information Memoranda) Regulations 2025, the Council isn't required to:

- prepare a risk assessment of the land concerned.
- undertake any further analysis relating to the land.
- conduct additional searches or inquiries about the existence of natural hazard information.

It is the LIM recipient's responsibility to seek qualified advice about any identified natural hazard and/or the suitability of the land for its intended purpose.

This section may also include natural hazard information provided by Environment Canterbury. Christchurch City Council is required to include such information in LIMs where Environment Canterbury considers it meets the criteria under section 44C of LGOIMA.

The following statement has been provided by Environment Canterbury:

This Land Information Memorandum includes natural hazard information deemed by Environment Canterbury to be the most up to date, useful, and relevant, and is provided in accordance with the Local Government (Natural Hazard Information in Land Information Memoranda) Regulations 2025. All due care has been taken to ensure current information required to be provided under the regulations is presented below.

Environment Canterbury may hold superseded or less reliable natural hazards information relating to the land that has not been included in this Land Information Memorandum. Please contact Environment Canterbury if you would like to enquire about this information.

(a) Coastal Hazards

- Regional Hazard Information: Shoreline Modelling

Future shoreline modelling has not been completed for this area, however given the distance of the property from the coast, it will not be susceptible to coastal erosion for at least the next 100 years.

(b) Earthquakes

- Liquefaction Assessment

Christchurch City Council holds indicative information about liquefaction hazards for Christchurch. Information, including an interactive web tool, can be found on the Council's website at ccc.govt.nz/liquefaction

Depending on the potential liquefaction hazard of an area that a property is in, the Council may require site-specific investigations before granting future subdivision or building consent for a property.

Title of report: Christchurch liquefaction vulnerability study

Purpose of report: To provide a district-wide liquefaction vulnerability assessment and to provide expected land performance for a range of potential future earthquake and groundwater scenarios. For use in land use planning, subdivision and building consenting

Scope of report: Christchurch urban area from the Waimakariri River mouth to Godley Head, and inland to the Selwyn District boundary

Where or how to access the report: <https://ccc.govt.nz/assets/Documents/Environment/Land/CCC-Liquefaction-ReportBody.pdf>

Date of report: July 2020

Name of person/entity that commissioned report: Christchurch City Council

Name of person/entity that prepared the report: Tonkin & Taylor Ltd

Title of Report: Geotechnical information on horizontal land movement due to the Canterbury earthquake sequence

Purpose of report: Background geotechnical information about shallow ground movements as a result of the earthquake sequence

Scope of Report: Christchurch City flat area, excluding Port Hills and Banks Peninsula

Where or how to access the report: <https://www.linz.govt.nz/resources/research/geotechnical-information-horizontal-land-movement-due-canterbury-earthquake-sequence>

Date of report: March 2015

Name of person/entity that commissioned report: Land Information New Zealand

The name of person/entity that prepared the report: Tonkin & Taylor Ltd

- Regional Liquefaction Information

Areas where there was evidence of liquefaction were mapped following the 2010/11 Canterbury earthquakes by Tonkin & Taylor for the Earthquake Commission (urban areas) and by a group of researchers for Environment Canterbury (rural, commercial and industrial areas). These are available in the Christchurch Liquefaction Viewer at <https://apps.canterburymaps.govt.nz/ChristchurchLiquefactionViewer/>.

Technical report information:

Title: Review of liquefaction hazard information in eastern Canterbury, including Christchurch City and parts of Selwyn, Waimakariri and Hurunui Districts.

Date: December 2012.

Author: H Brackley (compiler).

Commissioned by: Environment Canterbury.

Purpose of report: To collate liquefaction occurrence during the 2010/11 Canterbury earthquakes, and to determine liquefaction vulnerability. For use in land use planning, subdivision and building consenting.

Study area: Coastal Canterbury from the Waipara River mouth to the Rakaia River mouth, including Banks Peninsula, and inland to Rangiora, Aylesbury, Selwyn and Southbridge.

Accessible at: <https://www.ecan.govt.nz/document/download?uri=1702192>.

- Regional Hazard Information: Earthquake fault deformation

There are no known earthquake faults at the ground surface in Christchurch. However, it is possible there are some faults in Christchurch that are yet to be identified because they are not visible at the ground surface.

More information on fault deformation is available on Environment Canterbury's fault deformation map at <https://mapviewer.canterburymaps.govt.nz/?webmap=b5f859bd18ee4912828cb092b6f6c449>.

(c) Flooding

- Flooding

Flood models are used to show the probability and potential location of flooding in Christchurch. These are computer-based models, and use the data on the Council stormwater network, rainfall, topography, hydrology, soil, land-use and historic flooding. They also incorporate outputs of other modelling such as urban growth, ground water, sea level rise and climate change. Detailed reports on the modelling including its assumptions and limitations can be found at <https://ccc.govt.nz/consents-and-licences/property-information-and-lims/land-information-memorandum-lim>.

- Predicted 1 in 50 Year Flood Extent

Flood modelling shows this property, or parts of this property, is within a 1-in-50-year flood extent, including impacts of climate change and sea level rise. You can view this on the flood extent map at <https://ccc.govt.nz/flood-and-floor-level-viewer>. If changes such as land development or major infrastructure have occurred on this property, or in the surrounding area since the flood modelling, this may change the flood extent. For more information, please refer to <https://ccc.govt.nz/flooding-and-floor-levels>.

- Predicted 1 in 200 Year Flood Extent

Flood modelling shows this property, or parts of this property, is within a 1-in-200-year flood extent, including impacts of climate change and sea level rise. You can view this on the flood extent map at <https://ccc.govt.nz/flood-and-floor-level-viewer>. If changes such as land development or major infrastructure have occurred on this property, or in the surrounding area since the flood modelling, this may change the flood extent. For more information, please refer to <https://ccc.govt.nz/flooding-and-floor-levels>.

- Regional Hazard Information: Flood Photographs

Photographs showing the property during or following past flood events may be available. Flood photographs are available on Environment Canterbury's flood imagery register at <https://apps.canterburymaps.govt.nz/FIR>.

- Regional Hazard Information: Site Specific Flood Assessment

A site specific flood hazard assessment may have been completed for the property by Environment Canterbury. The information contained in this assessment may now be outdated. Please contact Environment Canterbury if you would like to request a copy.

- Regional Hazard Information: Flood Assessment Request

You can request a new site-specific flood hazard assessment for the property from Environment Canterbury at: <https://www.ecan.govt.nz/do-it-online/property-information/flood-hazard-assessments>.

(d) Landslides

As at the date of this LIM, Council research found no information under this heading.

(e) Subsidence

- Consultant Report Available

Land Information New Zealand (LINZ) engaged Tonkin and Taylor to provide a Geotechnical Report on Ground Movements that occurred as a result of the Canterbury Earthquake Sequence. The report indicates this property may have been effected by a degree of earthquake induced subsidence. The report obtained by LINZ can be accessed on their website at <https://www.linz.govt.nz> and search Information for Canterbury Surveyors.

(f) Tsunamis

As at the date of this LIM, Council research found no information under this heading.

(g) Volcanic and Geothermal Hazards

As at the date of this LIM, Council research found no information under this heading.

(h) Wind

As at the date of this LIM, Council research found no information under this heading.

(i) Any Other Natural Hazards

As at the date of this LIM, Council research found no information under this heading.

(j) District Plan Natural Hazard Information

Please refer to *Section 8. Land use and conditions* of this report for District Plan related natural hazard information.

(k) Building Notices

Please refer to *Section 5. Consents, certificates, notices, orders, or requisitions affecting the land and buildings* of this report for Building Act notice information.

Other Special Features or Characteristics of the Land

As at the date of this LIM, Council research found no information under this heading.

2. Private and public stormwater and sewerage drains

Section 44A(2)(b) LGOIMA. This is information about private and public stormwater and sewerage drains as shown in the Council's records.

 For stormwater and sewerage enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Related Information

- Attached are all drainage plans that Council hold for details of private and public drainage. Not all plans provided are verified by Council, and therefore Council cannot be liable for inaccuracies. Site investigation will be required by owners to determine exact layouts.
- This property is shown to be served by Christchurch City Council Sewer.
- The council plan shows no public stormwater lateral plotted to this site.
- Council Trade Waste Bylaw regulates the use of the sewer system for sources other than domestic sewage. A trade waste consent must be obtained by the new owner or occupier before any wastewater from an industrial or commercial processes including but not limited to wash down grease traps and cooling systems may be discharged to Council sewer system.

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3. Drinking Water Supply

Section 44A(2)(ba) and (bb) LGOIMA. This is information notified to the Council about whether the land is supplied with drinking water, whether the supplier is the owner of the land or a networked supplier, any conditions that are applicable, and any information the Council has about the supply.

Please note the council does not guarantee a particular water quality to its customers. If you require information on current water quality at this property please contact the Three Waters & Waste Unit.

☎ For water supply queries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Water supply

Christchurch City Council is the networked supplier of water to this property. This property is connected to the Christchurch City Council Water Supply. The conditions of supply are set out in the Christchurch City Council Water Supply and Wastewater Bylaw (2022), refer to www.ccc.govt.nz.

Related Information

- All Commercial and industrial properties are required to have a Reduced Pressure Zone backflow prevention device at the boundary to protect the Christchurch water supply network. The installation of this device is a condition of supply and is the responsibility of the property owner in accordance with the Christchurch City Council Water Supply and Wastewater Bylaw 2022. For more information visit our website <https://ccc.govt.nz/backflow-prevention/> or contact the backflow installation team on 03 941 8999.

4. Rates

Section 44A(2)(c) LGOIMA. This is information on any rates owing in relation to the land.

☎ For rates enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

(a) Annual rates

Annual rates to 30/06/2026: \$9,326.69

	Instalment Amount	Date Due
Instalment 1	\$2,331.63	31/08/2025
Instalment 2	\$2,331.63	30/11/2025
Instalment 3	\$2,331.63	28/02/2026
Instalment 4	\$2,331.80	31/05/2026

Rates owing as at 09/03/2026: \$0.00

(b) Excess Water Rates

For excess water charge enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz/contact-us.

(c) Final water meter reading required at settlement?

Property settlements must ensure all water usage and outstanding debts are accurately accounted for.

To advise of a property settlement, please complete the request for settlement information form at www.ccc.govt.nz/services/rates-and-valuations/solicitors-request.

A settlement statement of accounts will be provided on the expected settlement date advised.

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5. Consents, certificates, notices, orders, or requisitions affecting the land and buildings

Section 44A(2)(d) LGOIMA. This is information concerning any consent, certificate, notice, order, or requisition, affecting the land or any building on the land, previously issued by the Council. The information in this section may also cover building consent and/or code compliance information issued by building certifiers under the Building Act 1991 and building consent authorities that are not the Council under the Building Act 2004.

You can check the property file to identify whether any consent or certificate was issued by a building certifier under the Building Act 1991.

Section 44A(2)(da) LGOIMA. The information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004. There is currently no information required to be provided by a building contractor to a territorial authority under section 362T(2) of the Building Act 2004. The Building (Residential Consumer Rights and Remedies) Regulations 2014 only prescribed the information that must be given to the clients of a building contractor.

Sections 71 to 74 of the Building Act 2004 require the Building Consent Authority to consider natural hazards when it receives a building consent application for the construction or major alteration of a building on land that is subject to, or likely to be subject to, a natural hazard. A building consent for this property may have been issued subject to a section 72 or 73 notice. This means at the time of building consent the Building Consent Authority was not satisfied that adequate provision would be made to protect the building and land from the natural hazard and was subsequently required to notify the Registrar-General of Land to record the natural hazard on the Record of Title. The Building Act 2004 defines natural hazards as erosion (including coastal erosion, bank erosion, and sheet erosion), falling debris (including soil, rock, snow, and ice), subsidence, inundation (including flooding, overland flow, storm surge, tidal effects, and ponding), and slippage.

If your property contains a notice under s73 of the Building Act 2004, this will be identified on the building consent decision below (decision under s72 of the Building Act 2004) and on the properties' Record of Title. The Record of Title may also record this as a s36 notice under the Building Act 1991, or a s641A notice under the Local Government Act 1974.

 For building enquiries, please phone (03) 941 8999, email EPADutyBCO@ccc.govt.nz or visit www.ccc.govt.nz.

(a) Consents

- BCN/1971/876 Applied: 25/02/1971 Status: Completed
66 Arthur Street Upper Riccarton
Permit granted 25/03/1971
Permit issued 25/03/1971
CARPORT- Historical Reference PER70101687
- BCN/1989/4964 Applied: 10/07/1989 Status: Completed
66 Arthur Street Upper Riccarton
Permit granted 27/07/1989
Permit issued 27/07/1989
ALTERATIONS TO GARAGE- Historical Reference PER89111737
- BCN/1991/7971 Applied: 03/10/1991 Status: Completed
66 Arthur Street Upper Riccarton
Permit granted 07/10/1991
Permit issued 07/10/1991
TROPICAIR TAWA: SOLID FUEL HEATER- Historical Reference PER91099469
- BCN/2005/3005 Applied: 22/04/2005 Status: Completed
66 Arthur Street Upper Riccarton
Accepted for processing 22/04/2005
PIM Granted 23/05/2005
PIM Issued 23/05/2005
Building consent granted 25/05/2005
Building consent issued 27/06/2005

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Code Compliance Certificate Granted 22/12/2005

Code Compliance Certificate Issued 22/12/2005

4 TRAVELLERS ACCOMMODATION UNITS, KITCHEN BLOCK, DEMOLITION/REMOVE EXISTING DWELLING
AND GARAGE- Historical Reference ABA10054722

(b) Certificates

Note: Code Compliance Certificates were only issued by the Christchurch City Council since January 1993.

(c) Notices

(d) Orders

(e) Requisitions

Related Information

- In the property file there is an electrical and/or gas fitters certificate relating to works that have been carried out on the current building at this address.

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6. Certificates issued by a building certifier

Section 44A(2)(e) LGOIMA. This is information notified to the Council concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004.

☎ For building enquiries, please phone (03) 941 8999, email EPADutyBCO@ccc.govt.nz or visit www.ccc.govt.nz.

7. Weathertightness

Section 44A(2)(ea) LGOIMA. This is information notified to the Council under section 124 of the Weathertight Homes Resolution Services Act 2006.

 For weathertight homes enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

If there is no information below this means Council is unaware of any formal Weathertight Homes Resolution Services claim lodged against this property.

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8. Land use and conditions

Section 44A(2)(f) LGOIMA. This is information relating to the use to which the land may be put and conditions attached to that use. The planning information provided below is not exhaustive and reference to the Christchurch District Plan and any notified proposed changes to that plan is recommended: <https://ccc.govt.nz/the-council/plans-strategies-policies-and-bylaws/plans/christchurch-district-plan/>.

There may be some provisions of the Christchurch City Plan or Banks Peninsula District Plan that affect this property that are still operative.

☎ For planning queries, please phone (03) 941 8999, email DutyPlanner@ccc.govt.nz or visit www.ccc.govt.nz.

- **Regional plan or bylaw**

There may be objectives, policies or rules in a regional plan or a regional bylaw that regulate land use and activities on this site. Please direct enquiries to Canterbury Regional Council (Environment Canterbury).

(a)(i) Christchurch City Plan & Banks Peninsula District Plan

(ii) Christchurch District Plan

- **Liquefaction Management Area (LMA)**

Property or part of property within the Liquefaction Management Area (LMA) Overlay, which is operative.

- **District Plan Zone**

Property or part of property within the Medium density residential zone, which is operative.

(b) Resource consents

If there are any land use resource consents issued for this property the Council recommends that you check those resource consents on the property file. There may be conditions attached to those resource consents for the property that are still required to be complied with.

- RMA/2014/259 - Subdivision Consent
316 Blenheim Road Upper Riccarton
BOUNDARY ADJUSTMENT s223 & 224 issued 29/4/14 DP 474101 - Historical Reference RMA92024864
Status: Processing complete
Applied 10/02/2014
Granted 23/04/2014
Decision issued 23/04/2014

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9. Other land and building classifications

Section 44A(2)(g) LGOIMA. This is information notified to the Council by any statutory organisation having the power to classify land or buildings for any purpose.

 For land and building enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Please refer to Section 1 for details

10. Network utility information

Section 44A(2)(h) LGOIMA. This is information notified to the Council by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004.

 For network enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

- **None recorded for this property**

11. Other information

Section 44A(3) LGOIMA. This is information concerning the land that the Council has the discretion to include if it considers it to be relevant.

☎ For any enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

(a) Kerbside waste collection

- Your organics are collected Weekly on Thursday. Please leave your organics at the Kerbside by 6:00 a.m.
- Your recycling is collected Fortnightly on the Week 1 collection cycle on a Thursday. Please leave your recycling at the Kerbside by 6:00 a.m. Your nearest recycling depot is the Parkhouse Road EcoDrop.
- Your refuse is collected Fortnightly on the Week 1 collection cycle on a Thursday. Please leave your rubbish at the Kerbside by 6:00 a.m. Your nearest rubbish depot is the Parkhouse Road EcoDrop.

(b) Other

• Floor Levels Information

Council holds a variety of information on requirements for building or property development. This includes:

- required minimum finished floor levels, which need to be set to meet the surface water requirements in clause E1.3.2 of the Building Code (where this applies); and
- the requirements of the Christchurch District Plan (where a property is in the Flood Management Area).

Where this information has been processed for your property, you can view it online at <https://ccc.govt.nz/flooding-and-floor-levels>.

Otherwise, if you are building or developing on this land, you can request a calculation on required finished floor levels for your proposed building by emailing us at floorlevels@ccc.govt.nz.

• Guest Accommodation

Guest accommodation (including whole unit listings on Airbnb; BookaBach; etc.) generally requires a resource consent in this zone when the owner is not residing on the site. For more information, please refer to: <https://ccc.govt.nz/providing-guest-accommodation/>.

• Community Board

Property located in Halswell-Hornby-Riccarton Community Board.

• Tsunami Evacuation Zone

This property is not in a tsunami evacuation zone. It is not necessary to evacuate in a long or strong earthquake or during an official Civil Defence tsunami warning. Residents may wish to offer to open their home to family or friends who need to evacuate from a tsunami zone, and should plan with potential guests to do so in advance. More information can be found at <https://ccc.govt.nz/services/civil-defence/hazards/tsunami-evacuation-zones-and-routes/>

• Electoral Ward

Property located in Riccarton Electoral Ward

• Listed Land Use Register

Hazardous activities and industries involve the use, storage or disposal of hazardous substances. These substances can sometimes contaminate the soil. Environment Canterbury identifies land that is used or has been used for hazardous activities and industries. This information is held on a publically available database called the Listed Land Use Register (LLUR). The Christchurch City Council may not hold information that is held on the LLUR. Therefore, it is recommended that you check Environment Canterbury's online database at www.llur.ecan.govt.nz

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- **Spatial Query Report**

A copy of the spatial query report is attached at the end of this LIM. The spatial query report lists land use resource consents that have been granted within 100 metres of this property.

Related Information

- Dangerous Goods Licences have been replaced with Location Test Certificates/ Location Compliance Certificates administered by Worksafe. You can contact a local Test Certifier to advise you or to issue the type of test certificate you need.
- Advisory Note - This is a general note to advise that this building falls within those identified under sections 133AA and 133AG(3) of the Building Act 2004, which applies to potentially earthquake-prone buildings. The Council has no record of a Detailed Engineering Evaluation (DEE) or Detailed Structural Assessment (DSA) being carried out for this building. Please refer to our <https://ccc.govt.nz/consents-and-licences/earthquake-prone-buildings> webpage for more information.

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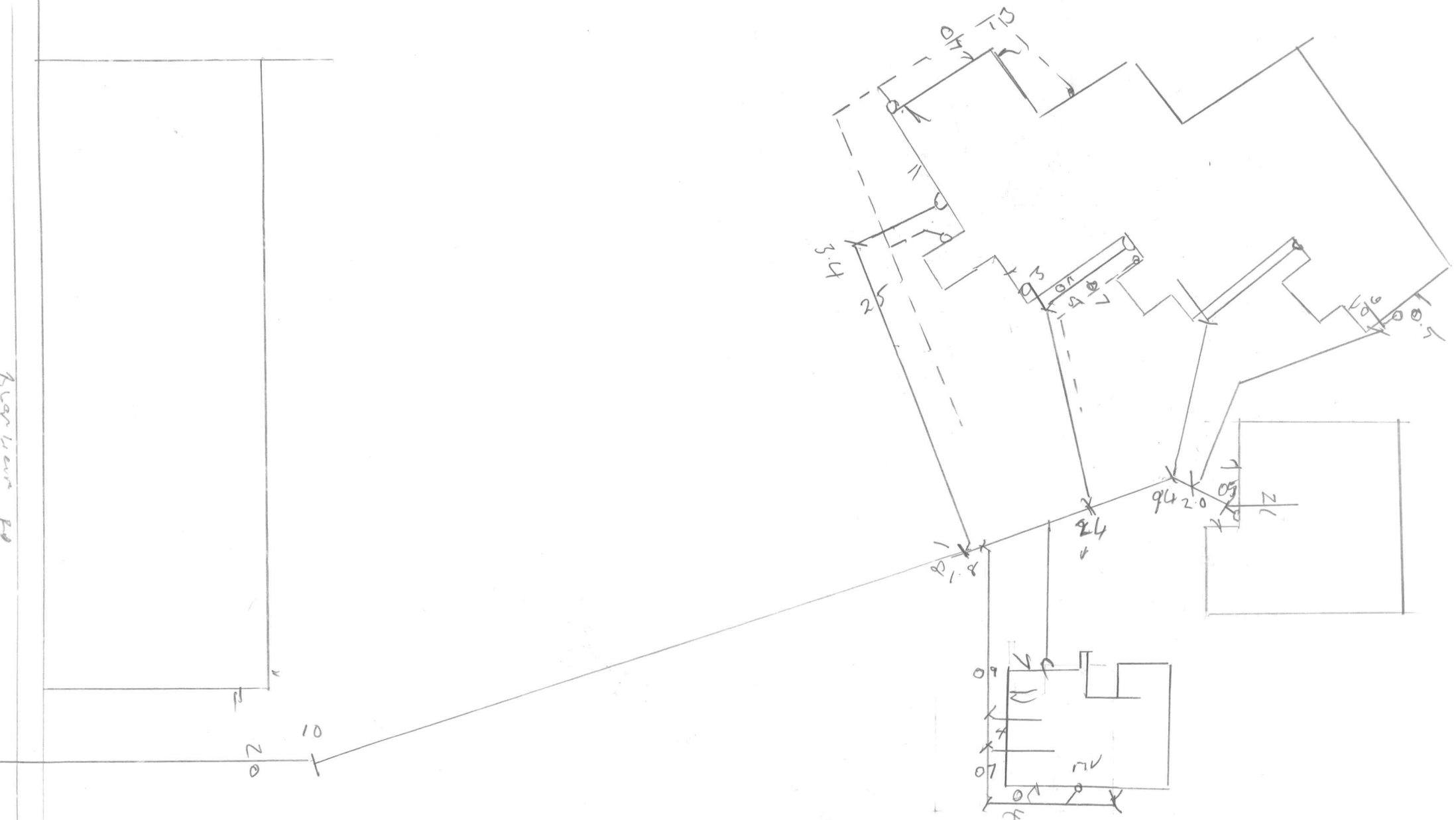
CHRISTCHURCH
THE GARDEN CITY
The city that shines

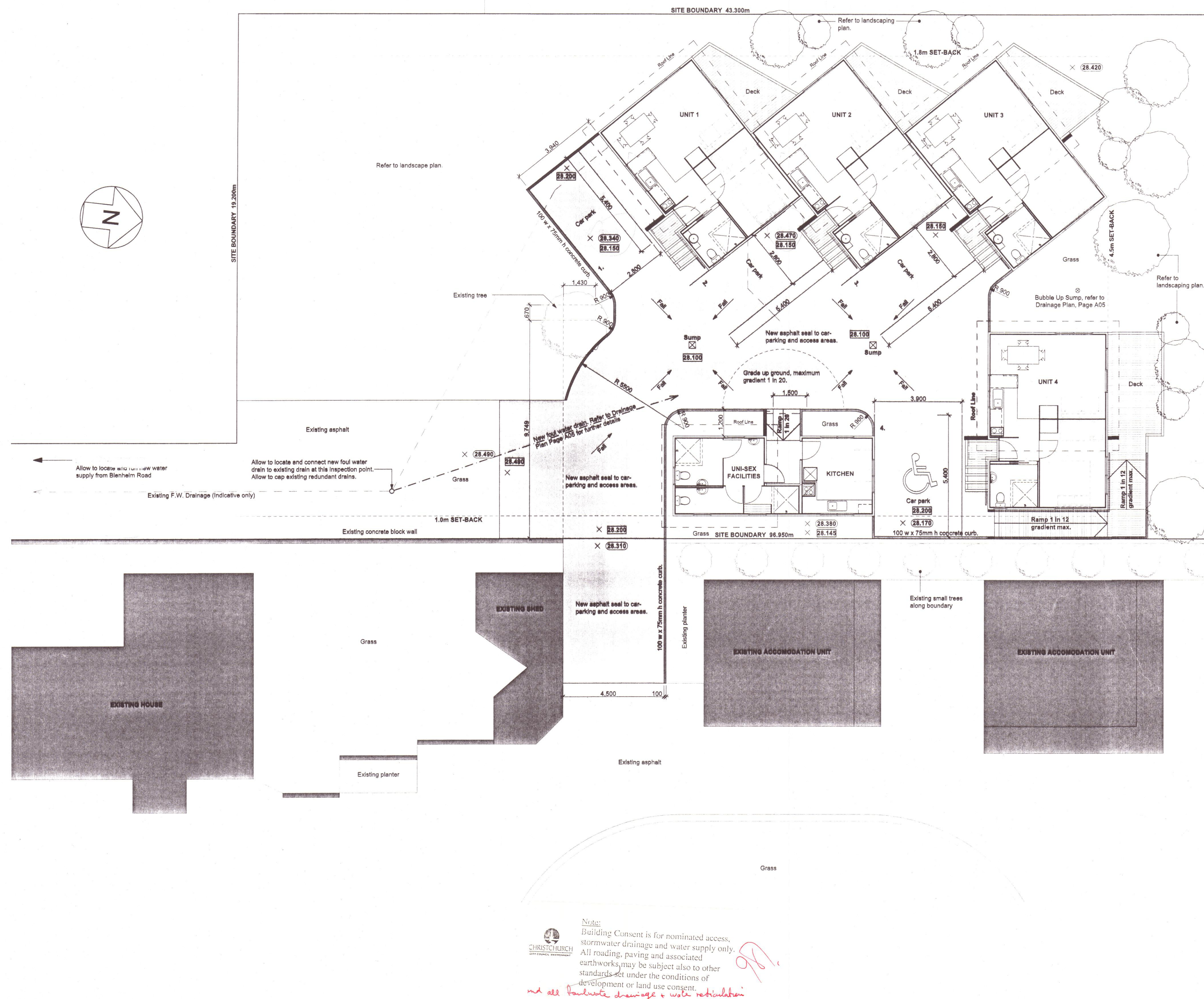
DATE: 7/12/05

FIELD OFFICER: L. R. 1150000

EYE BOOK:

Robertson Rd





ARTHUR STREET

GENERAL LEGEND

- Existing F.W. Drainage
- Existing Stormwater Drainage
- Indicates existing site level.
- Indicates modified site level.
- Type one surface water sump.

GENERAL NOTES

Services on this plan are indicative only. All services are to be located on site before work begins. Refer to Drainage Plan, Page A05, for further information.

All work shall comply with NZS 3604:1999 and NZBC 2001 and amendments.

LEGAL DESCRIPTION

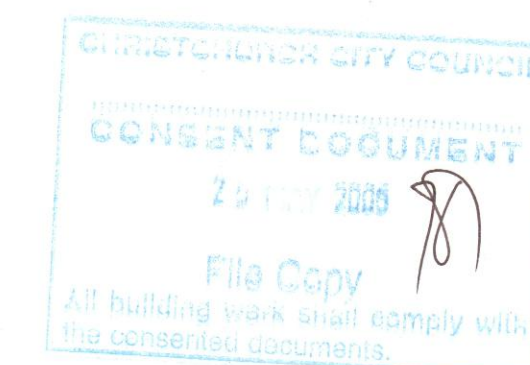
Lot 8 D.P. 13611
66 Arthur Street
Riccarton
Christchurch

Units 1-4 each: 42.40 m.sq.
Kitchen Toilet Block: 31.95 m.sq.
Total Building Area: 201.55 m.sq.
Existing Site Area: 1239.00 m.sq.
Site Coverage: 16.3%

SITE PLAN

SCALE 1:100

K. THOMPSON
Consent Officer



- SITE PLAN

REVISIONS:

DESIGN: PAUL WILKINS

DRAWN: J.L.M.

CHECKED: P.G.W.

DATE: 07 / 03 / 05

SCALE: 1:100

JOB NO: 20441

SHEET NO:

A01

OF 16 SHEETS

NEW TRAVELLER ACCOMMODATION UNITS:

AMBER PARK - HOLIDAY PARK

66 ARTHUR STREET, CHRISTCHURCH

PHOENIX
ARCHITECTS

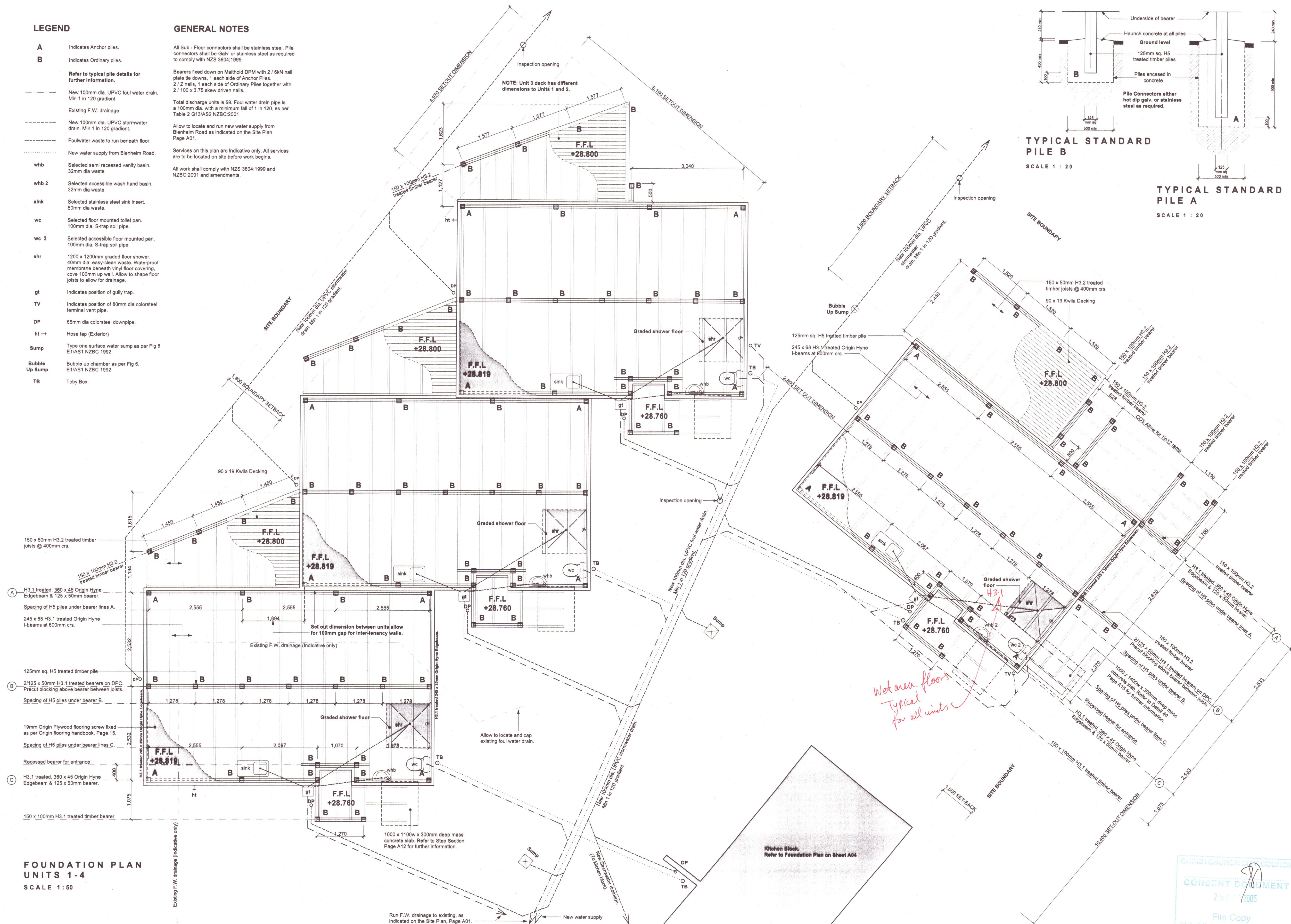


LEGEND

- A** Indicates Anchor piles.
- B** Indicates Ordinary piles.
- Refer to typical pile details for further information.
- New 100mm dia. UPVC foul water drain. Min 1 in 120 gradient.
- Existing F.W. drainage
- New 100mm dia. UPVC stormwater drain. Min 1 in 120 gradient.
- Foulwater waste to run beneath floor.
- New water supply from Blenheim Road.
- whb Selected semi recessed vanity basin. 32mm dia waste
- whb 2 Selected accessible wash hand basin. 32mm dia waste
- sink Selected stainless steel sink insert. 50mm dia waste.
- wc Selected floor mounted toilet pan. 100mm dia. S-trap soil pipe.
- wc 2 Selected accessible floor mounted pan. 100mm dia. S-trap soil pipe.
- shr 1200 x 1200mm graded floor shower. 40mm dia. easy-clean waste. Waterproof membrane beneath vinyl floor covering. Cove 100mm up wall. Allow to shape floor joists to allow for drainage.
- gt Indicates position of gully trap.
- TV Indicates position of 80mm dia colorsteel terminal vent pipe.
- DP 65mm dia colorsteel downpipe.
- ht Hose tap (Exterior)
- Sump Type one surface water sump as per Fig 6 E1/AS1 NZBC 1992.
- Bubble Up Sump Bubble up chamber as per Fig 6. E1/AS1 NZBC 1992.
- TB Toby Box.

GENERAL NOTES

- All Sub - Floor connectors shall be stainless steel. Pile connectors shall be Galv or stainless steel as required to comply with NZS 3604:1999.
- Bearers fixed down on Malthead DPM with 2 / 6kN nail plate tie downs, 1 each side of Anchor Piles. 2 / Z nails, 1 each side of Ordinary Piles together with 2 / 100 x 3.75 skew driven nails.
- Total discharge units is 58. Foul water drain pipe is a 100mm dia. with a minimum fall of 1 in 120, as per Table 2 G13/AS2 NZBC:2001
- Allow to locate and run new water supply from Blenheim Road as indicated on the Site Plan Page A01.
- Services on this plan are indicative only. All services are to be located on site before work begins.
- All work shall comply with NZS 3604:1999 and NZBC:2001 and amendments.



TYPICAL STANDARD PILE B

SCALE 1 : 20

TYPICAL STANDARD PILE A

SCALE 1 : 20

PHOENIX ARCHITECTS

119 Wrights Road, Addington
PO Box 33 023, Barrington,
Christchurch
Telephone (03) 339 0235
Mobile 027 204 1500
Facsimile (03) 339 0245
Email justin@paa.co.nz

CONTRACTOR SHALL CHECK
ALL DIMENSIONS PRIOR TO
STARTING ANY WORK.

- FOUNDATION PLAN; UNITS 1 - 4
- DRAINAGE PLAN
- TYPICAL PILE DETAILS

REVISIONS:

DESIGN: PAUL WILKINS

DRAWN: J.L.M

CHECKED: P.G.W

DATE: 07 / 03 / 05

SCALE: 1 : 20, 50

JOB NO: 20441

SHEET NO:

A05

OF 16 SHEETS

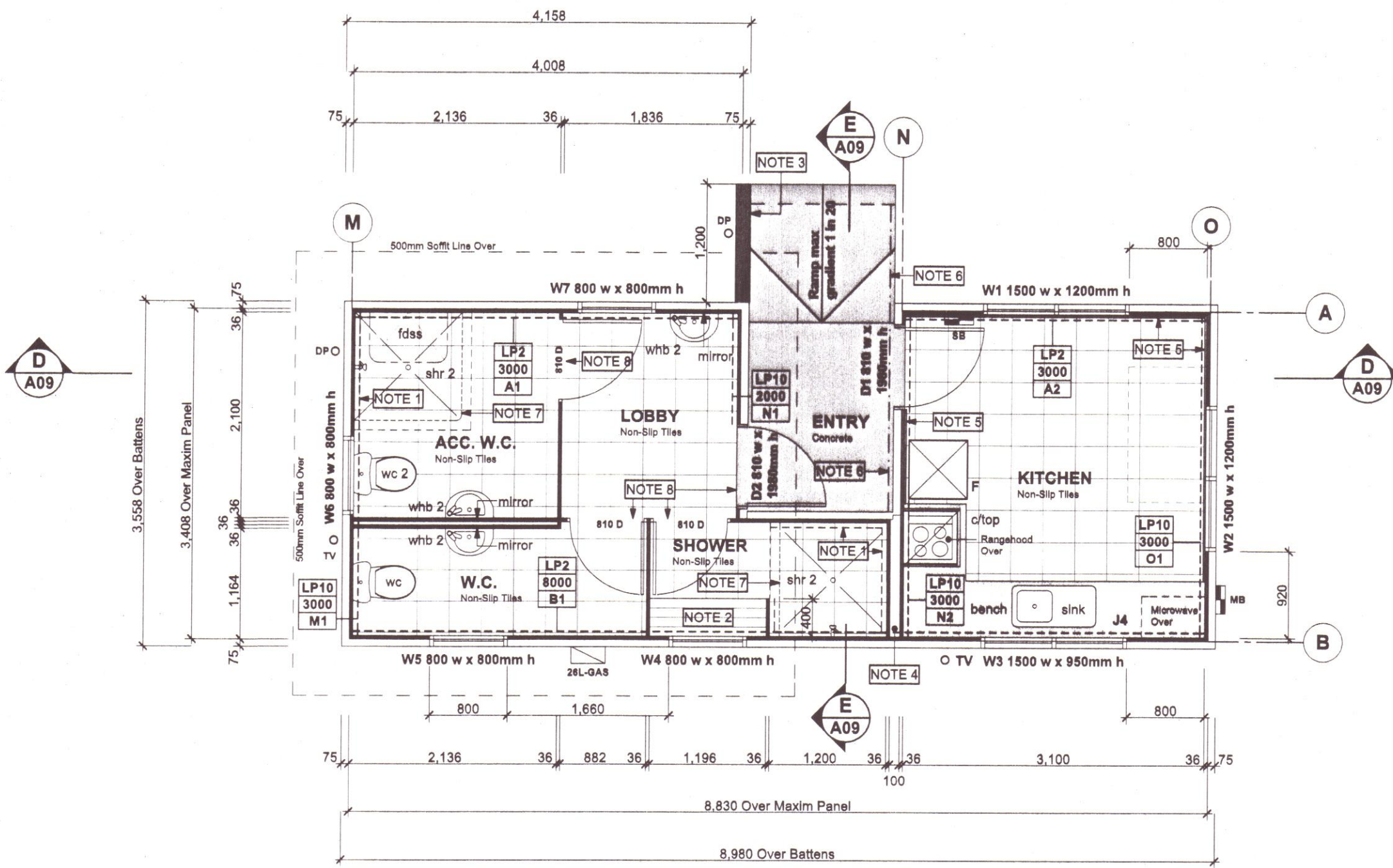
NEW TRAVELLER ACCOMMODATION UNITS:

AMBER PARK - HOLIDAY PARK

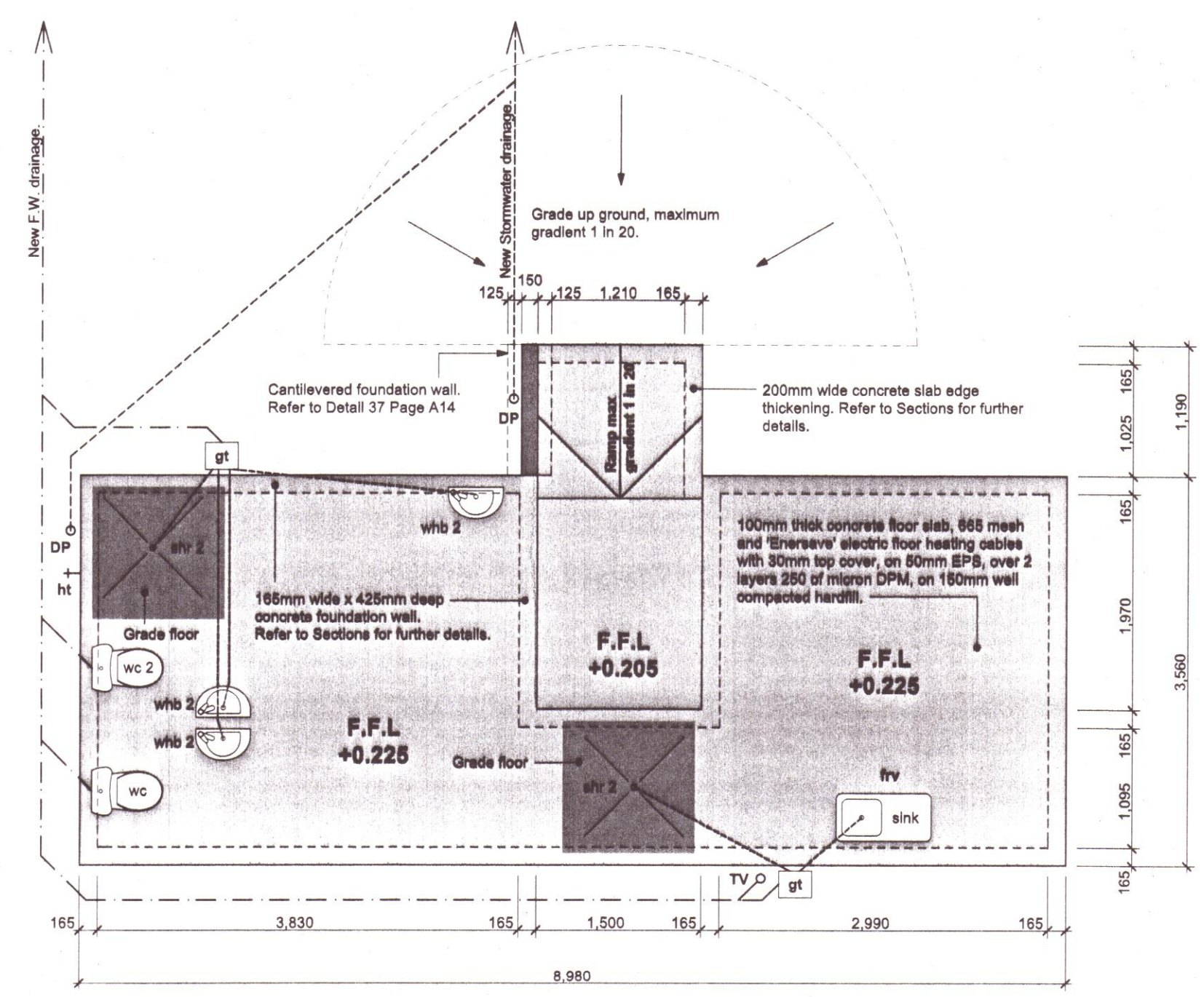
66 ARTHUR STREET, CHRISTCHURCH

PHOENIX ARCHITECTS





FLOOR PLAN KITCHEN BLOCK
SCALE 1:50



FOUNDATION PLAN
KITCHEN BLOCK
SCALE 1:50

GENERAL NOTE

All work shall comply with NZS 3604:1999, NZBC:2001 and amendments. The Maxim Design and Construction Manual.

Window and Door opening sizes are as indicated. Opening sizes are to be confirmed with Maxim assembly instructions. Frames to fit over claddings and battens.

All bracing elements shall comply with NZS 3604:1999 and Maxim Design and Construction Manual, Page 21, Table 6.3. Maxim Bracing Values for Wind and Earthquake.

Internal doors are hollow core 1980mm high, widths as indicated on the floor plan.

BRACING LEGEND

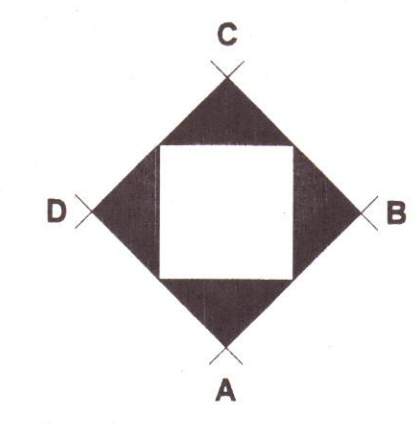
- LP1 1200 A1 Indicates Bracing type.
- Indicates width of bracing element. (mm)
- Bracing element number.
- A Bracing line indicator

DRAINAGE NOTES

Services on this plan are indicative only. All services are to be located on site before work begins.

DRAINAGE LEGEND

- New 100mm dia. UPVC foul water drain. Min 1 in 120 gradient.
- Existing F.W. drainage
- New 100mm dia. UPVC stormwater drain. Min 1 in 120 gradient.
- Foulwater waste to within floor slab.
- gt Indicates position of gully trap.
- TV Indicates position of 80mm dia colorsteel terminal vent pipe.
- DP 65mm dia colorsteel downpipe.
- ht Hose tap (Exterior)
- frv Fixture relief vents, as required.



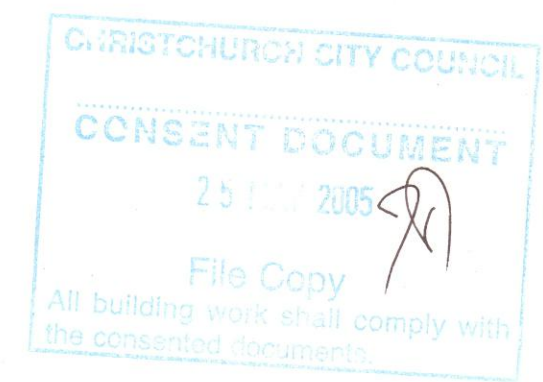
ELEVATION REFERENCE
(refer to sheet A08 & A09 for further info.)

GENERAL LEGEND

- 36mm Maxim Panel walls with H3.1 75 x 50mm vertical timber battens at 600mm c/s as indicated on the relevant details. Line externally with 0.55mm Corrugated Colorsteel or 12.0mm Shadowclad, Groove Primed. As indicated on external elevations.
- New H3.1 treated 150 x 50mm timber framed walls, generally studs at 600mm c/s, dwangs at 800mm c/s max vertically. Clad with 9.0mm Eterpan sheets. Refer to details for battening and stopping information.
- Powdercoated aluminium window joinery. Rough openings as indicated. All head heights are 2040mm from F.F.L.
- Indicates door location. Dimensions on swing doors indicate leaf size. Otherwise rough openings are shown. All head heights 2040mm from F.F.L.
- Note: 300mm high stainless steel kick plates to doors D1 and D2. 150 x 800mm high glazed vision panel to door D1. DG32-BFL 450 x 100mm door grille, SC finish to door D2
- Indicates joinery unit. Refer to page A16.
- Threshold bar (satin chrome finish) at the junction of alternative floor finishes
- 65mm dia Colorsteel downpipe.
- 80mm dia Colorsteel terminal vent pipe.
- Selected accessible wash hand basin. 32mm dia waste
- Selected floor mounted toilet pan. 100mm dia. S-trap soil pipe.
- Selected accessible floor mounted pan. 100mm dia. S-trap soil pipe.
- 1200 x 1200mm graded floor shower. 40mm dia. easy-clean waste. Waterproof membrane beneath vinyl floor covering, cove 100mm up wall. Allow to grade concrete floor to allow for drainage.
- 1000 h x 500mm w 6mm mirror with arised edges adhesive fixed over suitably primed substrate.
- Selected stainless steel sink insert. 50mm dia waste.
- Fixture relief valve. Vent fixture as required.
- Indicates refrigerator location
- Gas Water Heating Unit, Rinnai, INFINITY, surface mounted with pipe covers. Size as indicated (18litre, 26litre).
- Selected 4 hob ceramic cook top
- Fold down shower seat. Hotellerie Inda 331 / m folding shower seat.
- Switchboard
- Meterbox

NOTES

- NOTE 1 James Hardie, 6mm HardieGlaze Satin White adhesive fix to battening on Maxim panel as per manufacturers specification. (Adjacent walls as indicated)
- NOTE 2 Timber seat, construct with 90 x 19mm Kwila lengths, fix seat to wall with Bomac B163 angle brackets at 450c/s max.
- NOTE 3 H1.2 Timber framed wall projections. Refer to Sections and Details for further information.
- NOTE 4 100mm cavity for inter-tenancy wall. Stagger 75 x 50mm H1.2 timber battens between Maxim panels, ensure no direct fixing between inter-tenancy walls. R1.8 Fibreglass batts between vertical battens.
- NOTE 5 800mm high 100 x 20mm timber dado rail above selected lounge and groove plywood wall lining.
- NOTE 6 150 x 100mm H1.2 3000mm timber beam, overhead within canopy roof cavity. Fix horizontally to adjacent wall top plate with M10 coach bolts @ 600mm c/s. Attach wall top plate with 4T10 TYLOK plates to each side of 75 x 50mm wall battens. Refer to sections and details for further information.
- NOTE 7 Shower curtain and rail.
- NOTE 8 Bathroom doors to be fitted with DG32-BFL 450 x 100mm door grille, satin chrome finish.



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CONTRACTOR SHALL CHECK
ALL DIMENSIONS PRIOR TO
STARTING ANY WORK.

- FLOOR PLAN; KITCHEN BLOCK
- FOUNDATION PLAN; KITCHEN BLOCK

REVISIONS:

DESIGN: PAUL WILKINS
DRAWN: J.L.M.
CHECKED: P.G.W.
DATE: 07 / 03 / 05
SCALE: 1 : 50
JOB NO: 20441
SHEET NO:

NEW TRAVELLER ACCOMMODATION UNITS:

AMBER PARK - HOLIDAY PARK
66 ARTHUR STREET, CHRISTCHURCH



A04
OF 16 SHEETS

66 Arthur Street Land Use Consents



**66 Arthur Street
Subdivision Consents**

ple
2
ed



Land Use Resource Consents within 100 metres of 66 Arthur Street

Note: This list does not include subdivision Consents and Certificates of Compliance issued under the Resource Management Act.

101 Middleton Road

RMA/2007/2035

Application to develop a new 11 unit motel complex with manager's residence - Historical Reference RMA92009335

Processing complete

Applied 23/07/2007

Decision issued 21/12/2007

Granted 20/12/2007

RMA/2011/705

Extension of time - Historical Reference RMA92018251

Processing complete

Applied 31/05/2011

Decision issued 20/12/2012

Granted 20/12/2012

RMA/2013/2786

Extension of Consent lapse period RMA92018251 - Historical Reference RMA92024522

Processing complete

Applied 19/12/2013

Decision issued 19/12/2013

Granted 19/12/2013

308 Blenheim Road

RMA/1985/50

Extend existing caravan park 40m to the north - Historical Reference RES9200800

Processing complete

Applied 16/05/1985

Decision issued 05/09/1985

Granted 05/09/1985

RMA/1999/3994

Application to erect a replacement free-standing advertising sign for the Amber Park 'motor camp'. - Historical Reference RMA1022

Processing complete

Applied 11/08/1999

Decision issued 14/12/1999

Granted 13/12/1999

RMA/2005/1352

Application to extend the existing Amber Park Holiday Park onto the two adjoining sites with accommodation units, amenity facilities, car parking & camp sites - Historical Reference RMA20020209

Processing complete

Applied 15/06/2005

Decision issued 04/07/2005

Granted 01/07/2005

RMA/2006/1919

Application to construct alterations and additions to an existing dwelling located on the site for staff facilities/laundry toilet & managers accommodation - Historical Reference RMA92005993

Processing complete

Applied 16/08/2006

Decision issued 01/09/2006

Granted 01/09/2006

316 Blenheim Road

RMA/2014/1856

Seven Unit Motel - Historical Reference RMA92026528

Processing complete

Applied 22/07/2014

Decision issued 28/08/2014

Granted 28/08/2014

318 Blenheim Road

RMA/2014/34

12 unit motel - Historical Reference RMA92024629

Processing complete

Applied 13/01/2014

Decision issued 21/02/2014

Granted 21/02/2014

33 Colligan Street

RMA/1974/6

To enable land to be used as a caravan park and mini motel complex - Historical Reference RES9200798

Processing complete

Applied 30/07/1974

Decision issued 17/12/1974

Granted 17/12/1974

RMA/1980/30

Extend existing motel facilities in either a single storey complex or two storey complex - Historical Reference RES9200793

Processing complete

Applied 16/04/1980

Decision issued 07/08/1980

Granted 07/08/1980

RMA/1986/44

Storage of unoccupied caravans and campervans use of site as childrens play area and variation of previous planning consent relating to land - Historical Reference RES9200799

Processing complete

Applied 27/05/1986

Decision issued 17/09/1986

Granted 17/09/1986

RMA/2007/1715

Proposed Lot 1 - Application to erect a dwelling with an attached garage - Historical Reference RMA92008999

Processing complete

Applied 29/06/2007

Decision issued 15/11/2007

Granted 15/11/2007

35 Colligan Street

RMA/2007/1717

Proposed Lot 2 - Application to erect a dwelling with an attached garage - Historical Reference RMA92009001

Processing complete

Applied 29/06/2007

Decision issued 24/08/2007

Granted 24/08/2007

37 Colligan Street

RMA/2007/2990

Lot 3 - Application to erect a dwelling with attached garage - Historical Reference RMA92010337

Processing complete

Applied 06/11/2007

Decision issued 07/12/2007

Granted 06/12/2007

39 Colligan Street

RMA/2007/1718

Proposed Lot 4 - Application to erect a dwelling with an attached garage - Historical Reference RMA92009002

Processing complete

Applied 29/06/2007

Decision issued 30/08/2007

Granted 29/08/2007

40 Colligan Street

RMA/2007/1637

Proposed Lot 10 - Application to erect a dwelling with an attached garage - Historical Reference RMA92008916

Withdrawn

Applied 27/06/2007

RMA/2007/2741

Lot 10 - Application to construct a new single storey dwelling with attached garage - Historical Reference RMA92010085

Processing complete

Applied 08/10/2007

Decision issued 31/10/2007

Granted 31/10/2007

41 Colligan Street

RMA/2007/3071

Lot 5 - Application to erect a dwelling with an attached garage - Historical Reference RMA92010422

Processing complete

Applied 15/11/2007

Decision issued 17/12/2007

Granted 14/12/2007

46 Colligan Street

RMA/2007/1754

Proposed Lot 7 - Application to erect a dwelling with an attached garage - Historical Reference RMA92009041

Processing complete

Applied 29/06/2007

Decision issued 30/08/2007

Granted 29/08/2007

48 Colligan Street

RMA/2007/1638

Proposed Lot 6 - Application to erect a dwelling with an attached garage - Historical Reference RMA92008917

Processing complete

Applied 27/06/2007

Granted 24/08/2007

Decision issued 24/08/2007

5/59 Arthur Street

RMA/2025/241

Older persons housing complex - 12 units

Processing complete

Applied 03/02/2025

Decision issued 15/04/2025

Granted 15/04/2025

65 Arthur Street

RMA/2005/1964

Application for alterations to, and the erection of an addition (garage) to an existing single storey dwelling - Historical Reference RMA20020840

Processing complete

Applied 26/08/2005

Decision issued 12/12/2005

Granted 09/12/2005

RMA/2023/3006

Internal alterations to the existing garage to change to 2 bedrooms

Processing complete

Applied 20/11/2023

Decision issued 28/11/2023

Granted 28/11/2023

84 Middleton Road

RMA/2025/1637

Change the use of an Older Persons Housing Complex into a Multi-unit Residential Complex

Processing complete

Applied 03/06/2025

Decision issued 27/06/2025

Granted 27/06/2025

RMA/2025/241

Older persons housing complex - 12 units

Processing complete

Applied 03/02/2025

Decision issued 15/04/2025

Granted 15/04/2025

RMA/2025/3571

Subdivision - Fee Simple - Twelve (12) - Lots with Land Use

Consent issued

Applied 20/10/2025

Decision issued 19/11/2025

Granted 19/11/2025

85 Middleton Road

RMA/1992/1977

To Convert an Existing Garage into a Separate Unit - Historic Ref NCA/RICC/364/92

Processing complete

Applied 31/07/1992

Decision issued 12/10/1992

Granted 12/10/1992

86 Middleton Road

RMA/2025/1637

Change the use of an Older Persons Housing Complex into a Multi-unit Residential Complex

Processing complete

Applied 03/06/2025

Decision issued 27/06/2025

Granted 27/06/2025

RMA/2025/241

Older persons housing complex - 12 units

Processing complete

Applied 03/02/2025

Decision issued 15/04/2025

Granted 15/04/2025

RMA/2025/3571

Subdivision - Fee Simple - Twelve (12) - Lots with Land Use

Consent issued

Applied 20/10/2025

Decision issued 19/11/2025

Granted 19/11/2025

90 Middleton Road

RMA/1996/2499

Application to allow the existing house to intrude the 49deg recession plane drawn from the western internal boundary in terms of the Proposed Dist - Historical Reference RES962891

Processing complete

Applied 06/11/1996

Decision issued 10/02/1997

Granted 10/02/1997

RMA/1997/977

Transitional Reuction net site area Lot 1 (435), Lot 2 (370). Setback garage 2.4m(Lot 1) from an access requires 5.5 both plans - Historical Reference RES971035

Processing complete

Applied 29/04/1997

Decision issued 02/05/1997

Granted 02/05/1997

Data Quality Statement

Land Use Consents

All resource consents are shown for sites that have been labelled with an address. For sites that have been labelled with a cross (+) no resource consents have been found. Sites that have no label have not been checked for resource consents. This will be particularly noticeable on the margins of the search radius. If there are such sites and you would like them included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay. Resource consents which are on land occupied by roads, railways or rivers are not, and currently cannot be displayed, either on the map or in the list. Resource consents that relate to land that has since been subdivided, will be shown in the list, but not on the map. They will be under the address of the land as it was at the time the resource consent was applied for. Resource consents that are listed as Non-notified and are current, may in fact be notified resource consents that have not yet been through the notification process. If in doubt. Please phone (03)941 8999.

The term “resource consents” in this context means land use consents. Subdivision consents and certificates of compliance are excluded.

Subdivision Consents

All subdivision consents are shown for the sites that have been labelled with consent details. For Sites that have been labelled with a cross (+) no records have been found. Sites that have no label have not been checked for subdivision consents. This will be particularly noticeable on the margins of the search radius. If there are such sites and you would like them included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay.

The term “subdivision consents” in this context means a resource consent application to subdivide land. Non subdivision land use resource consents and certificates of compliance are excluded.

This report will only record those subdivision applications which have not been completed i.e once a subdivision has been given effect to and the new lots/properties have been established the application which created those lots will not be shown

All subdivision consent information is contained on the map and no separate list is supplied