




COPY

Sections 31 Building Act 1991

**Project Information Memorandum**


**No: 011291**

<i>Owner</i>	<i>Project</i>
Name: <b>Aldan Lodge Ltd</b> Address: <b>86 Wellington Street                      PICTON</b>	 PIM Use(s): <b>Two Motel Units</b> Life: <b>Indefinite, but not less than 50 years</b> Stage: <b>1 Of: 1</b> Nature of consent: <b>1</b> <span style="float: right;">CO</span> Estimated Value <b>\$118,000.00</b>
<i>Site</i>	<i>Legal Description</i>
Address: <b>86 Wellington Street                      PICTON</b>	Property no: <b>513156</b> Legal Description: <b>Lot 2 DP 4295</b> Valuation Roll No: <b>20210 59100</b>

**This Project Memorandum is:**

- This PIM has been issued stating compliance with the Plans (Proposed Marlborough Sounds Resource Management Plan, Proposed Wairau Awatere Resource Management Plan and the Transitional Marlborough District Plan) and the Resource Management Act. Work on this project may not start until such time as the Building Consent has been issued.

Signed for and on behalf of the Council :

Name:  .....

Position: **BUILDING ADMINISTRATION OFFICER**

Date: **28-Aug-01**

Marlborough District Council – PIM with BC Packet

Project Information Memorandum - Notes

Applicant: Aldan Lodge Limited  
Site Address: 86 Wellington Street PICTON PIM No: 011291

Resource Management

Tick applicable box (this will be typed on the applicant's PIM report):


- This PIM has been issued stating compliance with the Plans (Proposed Marlborough Sounds Resource Management Plan, Proposed Wairau Awatere Resource Management Plan and the Transitional Marlborough District Plan) and the Resource Management Act. Work on this project may not start until such time as the Building Consent has been issued.
- This PIM has identified non-compliance with the Plans (Proposed Marlborough Sounds Resource Management Plan, Proposed Wairau Awatere Resource Management Plan and the Transitional Marlborough District Plan) and the Resource Management Act. Work on this project may not start until such time as appropriate Resource Consents and Building Consents have been approved.

Notes:

Parking plan received.  
OK

PIM Comments:

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Signed: 

Date: 20/8/07

**Roading**

Notes:

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PIM Comments:

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Signed: 

Date: 20-3-01

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**Rivers**

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PIM Comments:

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Signed: \_\_\_\_\_

Date: \_\_\_\_\_

**Environmental Health**

Notes:

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PIM Comments:

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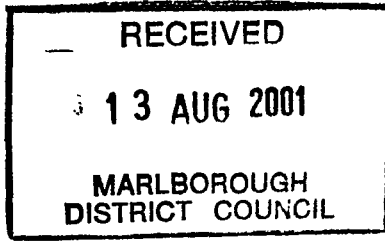
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Signed: \_\_\_\_\_

Date: \_\_\_\_\_

To: The Chief Executive  
Marlborough District Council  
Seymour Square  
PO Box 443  
BLLENHEIM



# APPLICATION FOR BUILDING CONSENT

0 1 1 2 9 1

## Applicant Details (refer terms & conditions note 2)

Full Name Alden Hodge Limited  
Postal Address 86 Wellington Street  
Pikton

Contact Telephone number .....  
Fax number .....  
Email address .....

## Agent Details (if applicable)

Name Endeavour Homes  
Address 93 Gladstone Road  
Richmond, Nelson

Contact Telephone number 03 5440886  
Fax Number 03 5440887  
Email address .....  
AsPope 57

## Project Location

Site address 86 Wellington Street, Pikton  
Total Land area 2136 m<sup>2</sup>  
Current land use of property (eg: domestic, sheep farming, motel etc) Motel

## Project Details

I am applying for a: (tick one)

- Building Consent and a Project Information Memorandum
- Building Consent only in accordance with Project Information Memorandum no.....issued.../.../...

Describe project 2 Motel Units to Existing Motel complex  
(Dwelling, alterations, garage, demolition etc)

Being stage .....! of an intended .....! stages.

Number of dwelling units being built 2 Number of floors (if multi-storied building) .....

Total Floor area of building work 115.37 m<sup>2</sup>

Type of heating: (if applicable)  electric  gas  solid fuel

Intended life of building : (tick one)  Indefinite life but not less than 50 years  
 Specified as .....years

Total estimated value of the building work (including GST) \$. 118,000.00

Have you applied for, or obtained, a Resource consent under the Resource Management Act 1991 **yes / no**

If yes, what is the application / consent number **U.010645**

**Attach building plans and specifications**

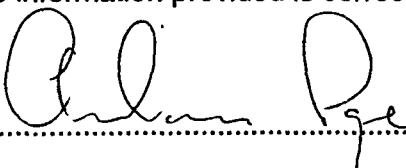
**Tradesmen details** (if known)

Builder <u>Dave Cee</u>	.....	.....
<small>Name</small>	<small>Address</small>	<small>Phone</small>
Registered Drainlayer <u>Andrew Biskell</u>	.....	.....
Registered Plumber <u>Andrew Biskell</u>	.....	.....

**Terms and Conditions:**

1. This application is made under section 33 of the Building Act 1991
2. The applicant must be the Owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.
3. The applicant is responsible for any damage caused to footpaths, vehicle crossings or services. Council Officers should be notified of any existing damage prior to construction commencing.
4. The applicant and his/her agent is liable for all fees and charges relating to this application. Payment is due within thirty (30) days of the issue date of the invoice. Council will charge interest on overdue invoices at 15% per annum from the date of issue to the date of payment. In the event of non-payment the applicant and/or the agent will be liable for all legal and other costs of recovery.
5. Where this application is completed and signed by an agent, the invoice for the fees will be sent to the agent and all communication regarding the application will be with the agent.
6. Information supplied with the application is subject to release, under the Local Government Official Information and Meetings Act, to trade and marketing organisations.

I certify that the information provided is correct and I accept the above terms and conditions.

Signature  Applicant / Agent Date 13/8/01  
Delete one

If you have any queries regarding completion of this form please contact us on phone (03) 578 5249 or fax (03) 578 6866

# SPECIFICATION

RECEIVED

13 AUG 2001

MARLBOROUGH  
DISTRICT COUNCIL

## SECTION ONE: PRELIMINARY AND GENERAL

### 1.1 MATERIALS AND WORKMANSHIP

All materials and workmanship shall be the best of their respective kind, qualities, classes and grades as specified. They shall comply with the relevant N.Z. Standard of their kind and with the New Zealand Building Code.

All tradesmen are to familiarise themselves with the Endeavour Homes Specification and complete their work in accordance with it.

### 1.2 FINISHING

A high standard of workmanship is required by all contractors and tradesmen. Should any trade consider that any surface, fitting or joinery not be left in such condition as to allow that trade to produce a workmanlike finish, it shall be his responsibility to notify that contractor before any further work is done. No further finishing work shall then be done until acceptable improvements have been made. Failure to notify the contractor in this respect shall render that trade responsible for any subsequent substandard finish.

### 1.3 SITE CLEARANCE AND MAINTENANCE

The contractor shall be responsible for the building site being left in a tidy state free from all rubbish and residue and ready for occupation. Any site cleaning up work required to be done in this respect may be charged to the contractor responsible.

## SECTION TWO: SITE CLEARANCE

### 2.1 SCOPE

The contractor shall be responsible for the removal of all vegetation, trees, roots, and other unsuitable material from the area to be covered by the new building, decks, verandas and other associated works. This material is to be removed from the site and suitably disposed of.

### 2.2 SURVEY MARKS

The contractor shall ensure that all survey markings or builders pegs are not damaged to disturbed during site clearance. Any marks close to the works should be suitably protected by the contractor before he begins work. Any marks disturbed or damaged shall be advised to the Building Overseer who shall arrange for their reinstatement.

## SECTION THREE: BUILDING CONTRACTORS

### 3.1 PRELIMINARY

All workmanship and materials shall comply with the New Zealand Building Code, relevant New Zealand Standards, and accepted trade practice. All work is to be carried out in accordance with the plans, specifications, and job sheets supplied with this contract and as varied from time to time.

### 3.2 SITE SET OUT

The contractor is responsible for ensuring that the works are correctly set out on the building site. He will confirm that all survey and/or ground marks required to achieve an accurate set out are in place. Any marks not in place or disturbed are to be notified to the Building Overseer. The contractor is responsible for ensuring that all such marks are not damaged or disturbed by his works and he shall take such measures as are necessary to protect these marks. He may be held liable for the cost of reinstatement of any marks disturbed by him.

### 3.3 CONCRETE FLOOR

#### 3.3.1 EXCAVATION

The contractor is to excavate for all foundations, decks, porches, steps and other works included in this contract and as detailed on the plans. The foundations are to be excavated to a minimum depth of 300mm or to solid bearing.

A minimum depth of 100mm is to be excavated under all concrete floors. All excavations are to be cleaned out and the bottoms left dry and firm.

#### 3.3.2 FILL UNDER CONCRETE FLOORS

Hardfill under all concrete floors shall be levelled. The minimum depth of hardfill is to be 150mm. Any concrete floors requiring hardfill to a depth exceeding 600mm shall require an Engineer's specific design in terms of NZS 3604:1990 CE 5.1 when requested by the local authority.

#### 3.3.3 MATERIALS

All concrete shall be Ordinary Grade 17.5 MPA at 28 days and shall comply with NZS 3109:1987.

Reinforcing shall be mild steel rods (plain or deformed) and mesh if required as specified on the plans and will comply with NZS 3402:1989.

All ties to be black annealed tie wires.

### 3.3.4 FORMWORK

All formwork shall be ex 25mm rough sawn timber and braced so as to prevent any distortion. All joints shall be sufficiently tight so as to prevent any leakage and to ensure that a high standard of "fairfaced" finish is achieved.

Pour all foundation walls and footings as detailed on the plans. Allow to build in all pipes, conduits, and fittings as required by other trades. Any verandas, decks, or porches shall be tied to the foundation wall as detailed on the plans.

### 3.3.6 CONCRETE FLOOR

The concrete floor shall be 100mm minimum thickness poured over 0.25mm thick polythene vapour barrier. Vapour barriers are to be lapped a minimum of 150mm and shall be sealed with pressure sensitive tape. The concrete slab surface shall be smooth and level, free from any ridges or depressions and shall conform to an acceptable tradesmanlike finish.

### 3.3.7 CONCRETE DECKS AND STEPS

All concrete decks, steps and porch areas are to fully comply with NZBC D1/AS1 Table 1A for slip resistance: i.e. a broomed (Class 5 or 6)(6) or wood float finish (Class U2)(6) giving a coefficient of friction (wet) value of 0.65 - 0.85.

Steps are to have a minimum tread width of 280mm and a maximum tread height of 190mm (refer Table 5 NZBC D1/AS1).

All deck or step heights over 900mm in height above formed ground level are to comply with NZBC F4/AS1 in respect to balustrades or handrails.

Balustrades to decks, when required, are to comply with NZBC B1/AS2.

### **3.4 TIMBER FLOOR**

#### **3.4.1 EXCAVATION**

Excavate for all timber piles to the minimum depth and width as detailed on the plans or to solid bearing. The bottoms of the holes should be square not rounded and the sides are to be perpendicular. The excavations should be left clean with the bottoms dry and firm.

#### **3.4.2 MATERIALS**

All timber is to comply with NZS 3604:1990 and NZS 3640:1992 (Minimum requirements of the N.Z. Timber Preservation Council Inc.)

All nails, screws, bolts and other fastenings are to be galvanised and shall be fixed in accordance with Appendix A NZS 3604:1990.

#### **3.4.3 FLOOR FRAMING**

All ordinary timber piles to be as detailed on the plans with 12 kn fixings and to comply with NZS's 3604:1990 and 3605:19 and the NZBC.

Level the tops of the piles and secure bearers to piles as detailed on the plans and to manufacturers specifications. Fixings to anchor piles to be 12 kn. Coat the ends of all cut piles with "Enseed" to seal.

Floor joists to be fixed as per NZ Standard 3604:1990 Appendix A except where separately specified in respect to anchor piles on the plans.

Drape double sided perforated aluminium foil over floor joists with 100mm dish at mid-span between joists. Sisalation must be tightly butted against blocking.

A 450mm x 450mm clear opening is to be framed for the manhole; this is to be located conveniently and a ledge formed to support the manhole cover.

#### **3.4.4 FLOORING**

Lay 18mm thick high density particle board flooring over joists, all joints to be staggered, to manufacturers specifications. Form the manhole cover.

#### **3.4.5 TIMBER DECKS AND STEPS**

All timber decks, steps and porches are to comply with NZBC D1/AS1 Table 1A for slip resistance: i.e. an uncoated profiled (4) across profile giving coefficient or friction value of 0.45 - 0.60.

Steps are to have a minimum tread width of 280mm and a maximum riser height of 190mm as per Table 5 NZBC D1/AS1.

### 10.3.2 LIGHT SWITCHES

Shall be 10 amp, all insulated approved switches mounted 1200mm above the floor and will be supplied and wired up as shown on the plans and as stated on clients specifications.

### 10.3.3 POWER POINTS

All power points shall be 230v 10 amp 3 pin approved type mounted 300mm above the floor or 225mm above bench tops. Mount power points for washing machine and refrigerator 1200 above floor level and will be supplied and installed as denoted on attached plans and client specification.

### 10.3.4 LIGHTS

Interior lights shall be approved white batten-holder complete with conical shade and approved downlights unless specified otherwise by the client.

Supply and wire up according to plans.

Supply and wire up two exterior lights, type as specified by client.

### 10.3.6 METER BOX

Supply and install a steel meter box as denoted on the plans.

### 10.3.7 SWITCHBOARD

Supply and install the switchboard, complete with all necessary control and ancillary equipment in the recess provided and as denoted on the plans.

### 10.3.8 WATER HEATER

Supply and install water heating element and thermostat in HWC.

### 10.3.9 TRENCHES

To be a minimum 600mm in depth for mains cable and to be backfilled and consolidated upon completion of contract.

## SECTION ELEVEN: FINISHING

### 11.1 INTERIOR PAINTING

Interior paint is to be applied to all walls, doors, wardrobes, cupboard doors, and ceilings. The colours are to be as specified by the client.

"All paints used are to comply with the requirements of their respective manufacturer in terms of what building products it is suitable for use on."

## 11.2 EXTERIOR PAINTING

Exterior paint is to be applied to all weatherboard areas including gable ends, soffits, over windows and doors and other areas as specified by the Building Overseer.

Any decks or steps over 900mm in height above formed ground level are to comply with NZBC F4/AS1.

Balustrades to decks, when required, are to comply with NZBC B1/AS2.

### **3.5 HOUSE**

#### **3.5.1 WALL FRAMING**

All framing to be "ex" 94mm x 47mm studs at 600 centres with two rows of dwangs equally spaced. Top and bottom plates are to be "ex" 94mm x 47mm with top plates being joined over studs and at intersecting walls with nail plates. Exterior bottom plates are to be fixed with Lumberlock bottom plate connectors at 900mm centres. A Ramset nail and washer is to be fixed adjacent to each connector.

Interior bottom plates may be fixed with "Ramset" or similar approved fittings.

Ceiling plate is to be 150mm x 40mm.

All exterior wall framing is to be covered with building paper complying with NZBC E2/AS1 clause 2.4 and is to be securely fixed to studs, dwangs, and plates with a minimum 75mm overlap.

All noggings, trimmings, straightening and packing of studs, dwangs, and joists necessary to enable tradesmenlike fixing of gibraltar board is to be completed by the builder.

All lintels are to comply with NZ Standard 3604:1990 Table 16.

The builder should note any special engineers lintel designs where high load points may occur in terms of NZ Standard 3604:1990 cl 6.6.1.2 i.e. Girder trusses on hip roofs.

#### **3.5.2 WALL BRACING**

All wall bracing is to be fixed in accordance with NZ Standard 3604:1990 and the manufacturers instructions. Location and type of brace to be in strict accordance with the plans and bracing schedule that form part of this contract.

#### **3.5.3 ROOF FRAMING**

Roof framing is to be in accordance with NZ Standard 3604:1990 and the manufacturers instructions. Location and type of brace to be in strict accordance with the plans and bracing schedule that form part of this contract.

A truss certificate from the roof truss manufacturer showing the layout of the roof truss design is to be included in the set of plans included in this contract.

#### 3.5.4 COLORTILES

Installation is to be by an approved contractor and comply fully with the manufacturers specifications and instructions, the NZBC E2/AS1 Table 1, and NZ Standards 3604:1990 and 4217:1980. All building contractors are responsible for familiarising themselves with information in regard to roof framing requirements.

Self Supporting building paper complying to NZBC E2/AS1 Clause 1.3 is to be fixed to roof timbers under colourtiles.

#### 3.5.5 GUTTER AND FASCIA SYSTEMS

Gutter and fascia systems are to be as stated in the clients specification and shall comply fully with the NZBC E1/AS1 clauses 5.0 - 5.2 and clauses B1 and B2.

All installation is to be in strict accordance with the manufacturers instructions and specification.

Downpipes are to comply with NZBC E1/AS1 Table 5.

#### 3.5.6 INSULATION

Insulation is to comply with NZBC H1/AS1.

Ceiling insulation to be R 2.4 Fibreglass Batts and wall insulation to be R 1.8 Fibreglass Batts friction fitted to form a complete envelope.

#### 3.5.7 INTERNAL WALLS/GIBSTOPPING

All linings are to be carried to floor level, into wardrobes and cupboards and behind all fittings.

The moisture content of all framing (including lintels and beams) shall be within the acceptable range and complying with Local authority requirements before fitting of linings.

All walls, ceilings, wardrobes and cupboards are to be lined with 9.5mm thick Gibraltar Board and stopped to a paint grade finish.

Fixing shall be in strict accordance with manufacturers instructions and good trade practice.

Skirtings shall be 60mm x 10mm bull nose skirting to all wall and floor junctions.

### 3.5.8 FIBRE CEMENT WEATHERBOARDS

All workmanship and materials are to comply with the NZBC E2/AS1, NZ Standard 3604:1990, and the manufacturers specification and instructions for installation. Fix weatherboards with 50mm x 2.8mm galvanised nails and fit soakers, mouldings and flashings as required.

All joints to be completed with an approved RTV sealant to manufacturers instructions.

The building contractor is to note the correct cutting and installation of these materials is essential to produce a quality finish, particularly around doors and windows.

### 3.5.9 JOINERY

#### 3.5.9.1 DOORS, WARDROBES AND CUPBOARDS

All joinery for interior, exterior, wardrobes and cupboards is to be installed as shown on the plans and of the type shown in the client specification. The building contractor is to ensure that all doors are hung in a tradesmanlike manner being true and plumb. All sliding doors units are to be installed to permit the doors to slide truly along the tracks. Wardrobes and cupboards are to have shelves and rails etc installed as implied on the plans or in the client specification.

#### 3.5.9.2 ALUMINIUM WINDOWS

All aluminium window joinery is to be installed in the positions shown on the plans and to the type specified in the client specification. The building contractor is to ensure that window reveals are fitted securely and square and that any flashings, particularly around box garden or bay windows are watertight. Any manufacturers instructions provided or indicated are to be strictly adhered to.

All glazing is to comply with the NZ Standard 4223:pt3:1993 and the NZBC F2/AS1 in respect to safety glass. Ventilation to all areas of the house to comply with NZBC G4.AS1 except where mechanical or other means of ventilation are used.

#### 3.5.9.3 KITCHEN JOINERY

Install kitchen joinery as shown on the plans and as indicated in the client specification.

Kitchen layout and joinery is to comply with NZBC G3/AS1 with particular emphasis on the preparation area as set out in Figure 1.

It is important that the building contractor ensures that all necessary plumbing fittings are installed before fitting of the joinery.

#### 3.5.9.4 LAUNDRY CABINET AND TUB

Install laundry cabinet and tub as shown on the plans and in the client specification. Laundry layout and joinery is to comply with the NZBC G2/AS1 particularly Fig. 1.

The building contractor to ensure that tub pre-plumbing is completed before final fitting of the cabinet.

#### 3.5.9.5 BATHROOM

Install bathroom joinery including vanity unit and shower cubicle which are to comply with the requirements of the NZBC G1/AS1 and E3/AS1 Clause 3.2.

The building contractor is to ensure that the plumber has installed the shower tray (plumbed) and any other required fittings are in place before he commences work refer clause 9.7 of this specification.

#### 3.5.9.6 WATER CYLINDER SUPPLY TANK (CHRISTCHURCH ONLY)

The building contractor is responsible for installing the 135 litre plastic roof tank, tray, and lid to be supplied with each house (dimension being 650mm dia x 500mm height) which is to be positioned as high in the roof cavity as is possible. Load bearing walls will be required to support the tank and a 350mm access gap will need to be provided for plumbers use. Seismic restraints complying with NZBC 912/AS1/Fig 6 are to be positioned as required.

### SECTION FOUR: BLOCKLAYER

#### 4.1 PRELIMINARY

All workmanship and materials to comply with NZ Standards 3604:1990 and 4230:Part 1:1990 and with the NZBC Parts B1 and B2.

The concrete blockwork includes the laying of all blockwork shown on the plans and as specified by any engineers design certificate.

#### 4.2 CONCRETE BLOCKS

Shall comply fully with the requirements of NZ Standard 3102:1983 with all exposed edges laid true and square: damaged blocks will not be acceptable.

#### 4.3 MORTAR

The cement used will comply with NZ Standard 3122, the water to be portable, and the sand used to comply with NZ Standard 3103 No.1 Grade.

#### **4.4 BLOCKWORK**

The concrete blockwork shall be laid in stretcher or stack bond with all joints to be full and struck to provide a good quality "FAIRFACED" finish to both faces. A complete bond between blocks and mortar is to be secured and no blocks are to be adjusted once the mortar has set thereby breaking the bond. All steel reinforcing is to comply with NZ Standard 3402:1989 and is to be placed as shown on the plans.

All pipes, conduits and other fittings required by other trades are to be built in for their convenience and in the positions indicated on the plans. Form weepholes in the blockwork at least 50mm below all bottom plates and below finished floor level at approximately 800mm centres.

All blockwork is to be thoroughly cleaned down upon completion.

### **SECTION FIVE: BRICKWORK**

#### **5.1 PRELIMINARY**

All workmanship and materials are to comply with NZ Standards 3604:1990, 4229:1986 and 4230:1990 and the NZBC B1/AS1.

Bricks are to be as stated in the client specification and must be true to shape without blemish or defect.

#### **5.2 MORTAR**

Cement to be used to comply with NZ Standard 3122m water shall be potable, and sand shall be No.1 Grade NZ Standard 3103.

Mortar is to be mixed in an approved fashion to form a homogenous mass in a colour to match the brickwork (or as specified).

Any mortar not used within 90 minutes of mixing is to be discarded.

The bricklayer to note that Plasticisers are to be used in strict accordance with the manufacturers instructions and that no additives are to be used in conjunction with them.

#### **5.3 BRICKWORK**

Bricks are to be laid in stretcher bond to a true line level and plumb face. Joints are to be consistent and not more than 9.5mm in width.

A cavity of not less than 40mm nor more than 75mm in width is to be maintained between the timber frame and the brick veneer. The cavity is to be clean and free from mortar droppings, protrusions, pipework and electrical fittings.

Approved zinc or galvanised ties are to be fixed at 600mm vertically and 400mm horizontally (maximums).

100mm x 400mm subfloor vents are to be built into the veneer at 900mm maximum separation distances to provide required ventilation. (Based on 3500m<sup>2</sup> venting for each 1m<sup>2</sup> of floor area). Vents are to be a maximum of 750mm from house corners.

Bricklayer is to allow for any pipes, conduits, or other fittings required by other tradesmen.

Clean down face of brickwork when completed and leave free from mortar stains and efflorescence.

## **SECTION SIX: EXTERIOR TEXTURE COAT**

### **6.1 SCOPE**

The application of an approved acrylic texture coat to all exterior walls and areas as denoted on the plans.

### **6.2 MATERIALS**

Nuplex texture coat system with a flex coat finish over 7.5mm Harditex to Manufacturers Specifications.

### **6.3 WORKMANSHIP**

All work is to be best trade practice with the work to be of a consistent grade and finish over the whole job. Comply with NZBC B2/AS1 and E2/AS1.

## **SECTION SEVEN: FOUNDATION PLASTERER**

### **7.1 SCOPE**

The solid plastering of all decks, porches, front and back steps and foundations as required by the Building Overseer.

### **7.2 MATERIALS**

Cement shall comply with NZ Standard 3122, sand shall be No. 1 Grade NZ Standard 3103, Hydrated Lime to be "mill hydrated" of approved manufacture and any bonding agents are to be used in strict accordance with manufacturers instructions.

### 7.3 WORKMANSHIP

All work is to be best trade practice with the overall finish to be of a consistent finish over all of the work.

Keep all work damp as required during application.

Comply with NZ Standard 4251:1974.

### 7.4 FOUNDATIONS

Remove any projections and make good any defects prior to commencing the application of the plaster coat (12mm thickness).

### 7.5 DECKS AND STEPS

Plaster coat to be done in one operation: one coat 12mm thick to be wood float finish complying with NZBC D1/AS1 Table 1A to remove all blemishes.

### 7.6 COMPLETION

Leave all work complete and clear away all plaster droppings, excess materials and residue.

## SECTION EIGHT: PLUMBER

### 8.1 SCOPE

The Plumber shall be responsible for the supply of all plant and labour necessary for the installation of water reticulation (from toby box), sanitary services and fittings (from gully traps/vents inclusive), all vent pipe flashings and cappings and downpipes and associated brackets. Also snow strapping if required.

### 8.2 STANDARDS

All work and materials are to comply with the relevant NZ Standard (as stated) and the NZBC Clauses G1 - G4 and G10 - G15.

Work is to be completed by Registered Craftsman Plumbers.

### 8.3 MATERIALS

#### 8.3.1 COPPER TUBING

Shall be seamless cold drawn to comply with NZ Standard 3501:1976.

### 8.3.2 PLASTIC PIPE

- Polybutylene to comply with NZ Standard??
- UPVC: Wastes, vents and soil pipes shall be rigid pvc having solvent welded joints to comply with NZ Standard 7641:1978 and 7642:1971.
- Polypropylene: Traps shall be white polypropylene with screwed joints to NZ Standard 7652:1976.
- Polythene: Water supply pipes to be "h.d" polythene completed with approved pipe fittings to NZ Standard 7602:1977.

### 8.4 COLD WATER SUPPLY

From point of supply in street (toby box) run a 20mm polythene pipe underground to the house foundation entry point thence to the gravity feed fed roof tank. All pipework to be PVC Polypropylene: 20mm dia mains with 15mm dia branches.

All pipe work to be clipped in accordance with NZBC G12/AS1 Table 7 and G13/AS1 6.3.1 Table 8.

### 8.5 HOT WATER SUPPLY

Install 180 Litre Hot Water Cylinder complete with 1500 watt element and thermostat with 20mm dia supply pipe and 15mm dia branches or risers to sink, wash hand basin, bath, shower and laundry tub. Hot water supply pipework to be copper.

HWC tempering valve to comply with NZ Standard 4617:1989 to all hot water supply pipe work prior to all fittings: Set valve to 55 degrees centigrade in accordance with NZBC G12/AS1 Clause 4.13.2. Fit seismic restraint.

All pipe work to be clipped in accordance with NZBC G12/AS1 Table 7 and G13/AS1 6.3.1 Table 8.

Insulate all hot water pipes with preformed fibreglass insulation or double thickness plumbers felt secured with wire tie wrap.

### 8.6 WASTE PIPES AND TRAPS

Waste pipes, vents, and traps are to be installed with all work carried out in accordance with the manufacturers instructions and specifications. Care is to be taken where pipes and wastes are running horizontally.

### 8.7 TAPS, FAUCETS, SHOWER MIXING VALVES, ETC

Refer to the clients specifications for brand and tupe of fitting required. All fittings to installed to manufacturers instructions.

The shower tray is to be installed before the builder finishes off shower joinery (refer Clause 3.5.9.4 of this specification) and must comply with NZBC E3/AS1 Clause 3.2.

## **8.8 DOWNPIPES**

Supply and fit PVC downpipes to droppers in gutter system including two brackets per downpipe.

Comply with NZBC E1/AS1 clause 4.0 and Table 5.

## **8.9 TESTING**

At completion of work test all water supply pipework at maximum pressure available and comply with any Local Authority requirements or procedures.

# **SECTION NINE: DRAINLAYER**

## **9.1 SCOPE**

The drainlayer is responsible for all surface and foulwater drainage up to ground level to connect to plumbers work. This includes all pipes and fittings, manholes and inspection chambers, gully traps and connections for terminal vents. The drainlayer is to confer with the building contractor before foundation work begins to fix the exact position of all pipes and fittings.

## **9.2 STANDARDS**

All work and materials are to comply with the relevant NZ Standards, with the NZBC Clauses G1 - G4 and G10 - G15, and with good trade practice. The drainlayer is to obtain all relevant permits, service all notices, pay all fees required and arrange for all tests.

## **9.3 MATERIALS**

### **9.3.1 PIPES**

UPVC pipes shall comply with NZ Standard 7649:1988 and 100mm dia unglazed socket earthenware pipes will comply with NZ Standard 3302:1983 with approved rubber rings.

### **9.3.2 CONCRETE**

Shall be 17.5 MPa Ordinary Grade to NZ Standard 3109:1987.

## **9.4 TRENCHES**

Neatly cut trenches, graded to falls after approval, backfill and thoroughly consolidate. Lay all drains on 100mm of 20mm crushed metal.

## 9.5 SEWER DRAINS

Comply with the NZBC and NZ Standard 4452:1986.

Refer to the SITE PLAN for layout of sewer drainage:

- Provide all necessary bends, junctions, inspection fittings, etc.
- Bed gullies in concrete and fit preformed plastic sumps complete with grate and cover.
- Sumps shall be 100mm above <sup>finished</sup>~~existing~~ ground level.
- Connect to terminal vent and gully trap and run to approved connection.

## 9.6 STORMWATER DRAINS

Comply with the NZBC and NZ Standard 4452:1986.

Refer to the SITE PLAN for the layout of stormwater drains:

- Provide all necessary bends, junctions, inspection fittings, etc
- Bed "easy bends" in concrete below downpipe entries; fit grating and cover plate cut around downpipe.
- Connect to stormwater drain and run to road side channel (or other approved stormwater outfall).

## 9.7 COMPLETION

Properly backfill all trenches, consolidate as filling is done, and leave the building site in a tidy and safe state.

# SECTION TEN: ELECTRICAL

## 10.1 SCOPE

The electrical contract consists of the supply of all plant, materials and labour for completion of the entire lighting and power system including the connection to the Local Power Supply Authority mains system.

## 10.2 STANDARDS

The whole of the electrical installation shall be in strict accordance with Electrical Wiring Regulations and all its amendments and shall comply with the NZ Electrical Code of Practice ECP50 and ECP51.

## 10.3 MATERIALS AND INSTALLATION

### 10.3.1 CABLES

Cables and flexibles shall be 250v grade T.P.S to comply with NZ Standard 6401:1973.

### Wall Bracing Calculation Sheet A

Job Details

box 1

Name Aldon Lodge  
 Street and Number Wellington Street  
 Lot and DP Number Lot 2 DP 4295 Lot 2 DP 4450 Lot 2 DP 5000  
 City/Town/District Piston  
 Location of Storey: Single upper of two tower of two Floor load 2kPa/3kPa  
 Building height to apex 4.0 m Roof weight light/heavy  
 Roof height above eaves 1.2 m Cladding weights: Subfloor light/medium/heavy  
 Stud height 2.4 m Lower Storey light/medium/heavy  
 Average roof pitch 15° Upper Storey light/medium/heavy  
 Room in Roof Space Yes / No  
 Building length BL = 7.30 m Gross Building  
 Building width BW = 6.40 m Plan Area, GPA = 47 m<sup>2</sup>  
 Note: When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW.  
 Note: For heavy roofs use the roof plan at eaves level to determine GPA.

Wind Zone

box 2

Region: R1 0    Inland 0  Sheltered 0  Gentle 0   
 R2 1  Coastal 1    Exposed 1    Moderate 1    Extreme 3     
 Total points 1  
 Wind Zone:  Low (0)    Very high (3)  
 Medium (1)    Specific Design (4)  
   High (2)

Earthquake Zone

box 3

From figure EQ1 select Earthquake Zone: (A) B C

BU's required Wind

box 4

From Table W1A/W1B  
 W along = 44 BU's/m  
 W across = 37 BU's/m  
 Total wind load,  
 W ALONG:  
 W along x BW = 282 BU's  
 W ACROSS  
 W across x BL = 270 BU's

BU's required Earthquake

box 5

From Table EQ1/EQ2/EQ3/EQ4/EQ5/EQ6  
 E = 5.2 BU's/m<sup>2</sup>  
 Note: For a room in the roof space use E + 3  
 Total earthquake load,  
 EQ ALONG and EQ ACROSS  
 E x GPA BU's = 245 BU's

### Wall Bracing Calculation Sheet B

Along

Wall or Bracing Line		Bracing Elements Provided					Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E		
Line Label	Minimum BU's Required	Bracing Element No.	Bracing Type	Length Element (m)	Rating BU/m	BU's Achieved (BU/m x L)	Rating BU/m	BU's Achieved (BU/m x L)		
				L	W	W	E	E		
A		1	BP4	0.9	100	90	85	76		
		2	Cub.	1.8	55	99	50	90		
B		3	BP4	1.1	100	110	85	93		
C		4	BP4	9	100	90	85	76		
		5	BP4	10	100	100	85	85		
D										
E										

Totals Achieved		W	<u>489</u>	E	<u>420</u>
From Sheet A Totals Required		W	<u>282</u>	E	<u>245</u>
Wreq/Ereq =			<u>1.15</u>		

\*If Wreq/Ereq is 1 or less complete E column only  
 If Wreq/Ereq is 1.5 or more complete W column only  
 Otherwise complete both W and E

Across

Wall or Bracing Line		Bracing Elements Provided					Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E		
Line Label	Minimum BU's Required	Bracing Element No.	Bracing Type	Length Element (m)	Rating BU/m	BU's Achieved (BU/m x L)	Rating BU/m	BU's Achieved (BU/m x L)		
				L	W	W	E	E		
M		6	Cub.	4.0	75	300	50	200		
		7	Cub.	2.1	55	115	50	105		
N		8	Cub.	2.4	75	180	50	120		
		9	Cub.	2.4	75	180	50	120		
O										
P										
Q										

Totals Achieved		W	<u>775</u>	E	<u>545</u>
From Sheet A Totals Required		W	<u>270</u>	E	<u>245</u>
Wreq/Ereq =			<u>1.10</u>		



Marlborough District Council  
Seymour Square  
PO Box 443  
Blenheim  
New Zealand

Telephone 03 578 5249  
Facsimile 03 578 6866  
Email mdc@marlborough.govt.nz



Fax To:	<u>Endeavour Homes</u>	From:	<u>Pon Wass</u>
Company:	<u>Nelson</u>	Date:	<u>17/8/01</u>
Fax No:	<u>03 5440887</u>	Pages:	<u>1</u>
Subject:	<u>Adrian Lodge Motels</u>	(incl. ex'cl)	
		File Ref:	<u>BC 011291</u>

Building Consent application for  
2 metal units, at 86 Wellington Street,  
Picton.

Would you please indicate on the  
site plan the two additional carparks for  
the use of the occupants of these units as  
required by Resource Consent U 010645

Regards,

*Pon Wass*

Resource Management Officer.



\*\*\*\*\*  
\*\*\* TX REPORT \*\*\*  
\*\*\*\*\*

TRANSMISSION OK

TX/RX NO	4664
CONNECTION TEL	64 3 5440887
SUBADDRESS	
CONNECTION ID	
ST. TIME	17/08 14:29
USAGE T	00'43
PGS.	1
RESULT	OK

Marlborough District Council  
Seymour Square  
PO Box 443  
Blenheim  
New Zealand

Telephone 03 578 5249  
Facsimile 03 578 6866  
Email [mdc@marlborough.govt.nz](mailto:mdc@marlborough.govt.nz)



Fax To: Endeavour Homes From: Ron Wass  
Company: Nelson Date: 17/8/01  
Fax No: 03 544 0887 Pages: 1.  
(incl. Header)  
Subject: Adrian Lodge Motels File Ref: BC 011291

Building Consent application for  
2 Motel units, at 86 Wellington Street,  
Picton.

Would you please indicate on the  
site plan the two additional carparks for  
the use of the occupants of these units as  
required by Resource Consent U 010645

Regards,

*Ron Wass*

Resource Management Officer.

*Received  
21/8/01*





MARLBOROUGH DISTRICT COUNCIL

ISO 9002 Form Ref CI 189

Marlborough District Council

Consent No: 011291 Lot No: 2 DP No: 4295 Date: 17/8/01
Name: Aldan Lodge Limited
Address: 86 Wellington Street Motuea
Proposed Building: 2 Motel Units

PLANNING PROMPT SHEET - RESIDENTIAL

Table with columns for Proposed Plan, Zoning, Activity, Residential Site Density, Open Space/Site Coverage, Maximum Height, Daylight Admission Control, Garage Setback, Parking, Noise, Vehicle Access, Excavations, Ecological/cultural sites, Plan Scheduled Historic Site, NZHP Registered Historic Site, Hazard Site, Effluent Disposal, Stormwater, Water Supply, Development Levies, Potable Water, Yards, Transitional Plan, Zoning, Use, Site Coverage, Maximum Height, Type of Site, Yards (check eaves), Off Street Parking, Site Over 15 degrees, Development Levy.

<u>Accessory Buildings</u>
Maximum height
Coverage/Total Floor Area
Distance from front boundary/Accessway
Length along yard (Blenheim only)
Other buildings on site (Blenheim only)
BLENHIEM ONLY:
Density
Daylight Admission Control
Living and Service Courts
<u>Apartmenthouses</u>
Rental or Crosslease
Spacing between Blocks or 3 or more new units 2 or more additional units
Maximum attached units
Length in relation to side yard
Storage facilities
Access Width
Additional requirements for churches
External appearance of Building

PIM only

- PIM/BC issued - Permitted Activity
- PIM/BC issued - Resource Consent Issued
- PIM/BC issued - Section 35 Form 4(A) Certificate Issued

Signed :  Date 20/9/01

\\kpa...O:\Reg\Reg Quality System\1 Building Control Chapter\Building prompt sheet-residential.doc 24/07/00 12:06

# Building Consent Check Sheet

BC No 0 1 1 2 9 1

**CSO's TO COMPLETE**

ISO 9002  
Form Ref CI203

Property number 53196

Legal description lot 2 DP1295 lot 2 DP1150 Valuation number 20210/S9100/A+B.

PI name Endeavour Homes PI number 534227

Grid Reference E 2894465 N 5989993

	Copies	Rec'd	To Come	Comments
Application form completed / signed		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site Plans	3	<input checked="" type="checkbox"/>	<input type="checkbox"/>	.....
Plans elevations and specifications	3	<input checked="" type="checkbox"/>	<input type="checkbox"/>	.....
Cross Section	2	<input checked="" type="checkbox"/>	<input type="checkbox"/>	.....
Bracing Schedule	2	<input checked="" type="checkbox"/>	<input type="checkbox"/>	.....
Truss Layout Plan / Statement	2	<input type="checkbox"/>	<input checked="" type="checkbox"/>	.....
Producer Statements (Engineer)	2	<input type="checkbox"/>	<input type="checkbox"/>	N/A.....
Site Reports (Engineer)	3	<input type="checkbox"/>	<input type="checkbox"/>	N/A.....
Water Requirements (Private / Council)	<u>EXISTING</u>			
Septic Tanks / Engineer	<u>N/A.</u>			
Compliance Schedule (Commercial)	<u>N/A.</u>			
Services (Stormwater, Water and Sewer)	<u>S/W UPGRADE See WMA of Council/owner agreement.</u>			
Vehicle Crossing	<u>EXISTING</u>			

CSO Initials..... SW

# Building Consent Office Use Form

**INSPECTIONS REQUIRED**

**By Council**

- .....
- .....
- .....
- .....
- .....
- .....
- .....
- .....
- .....

**By Registered Engineer**

- .....
- .....
- .....
- .....
- .....
- .....
- .....
- .....
- .....

**FEES**

**\$**

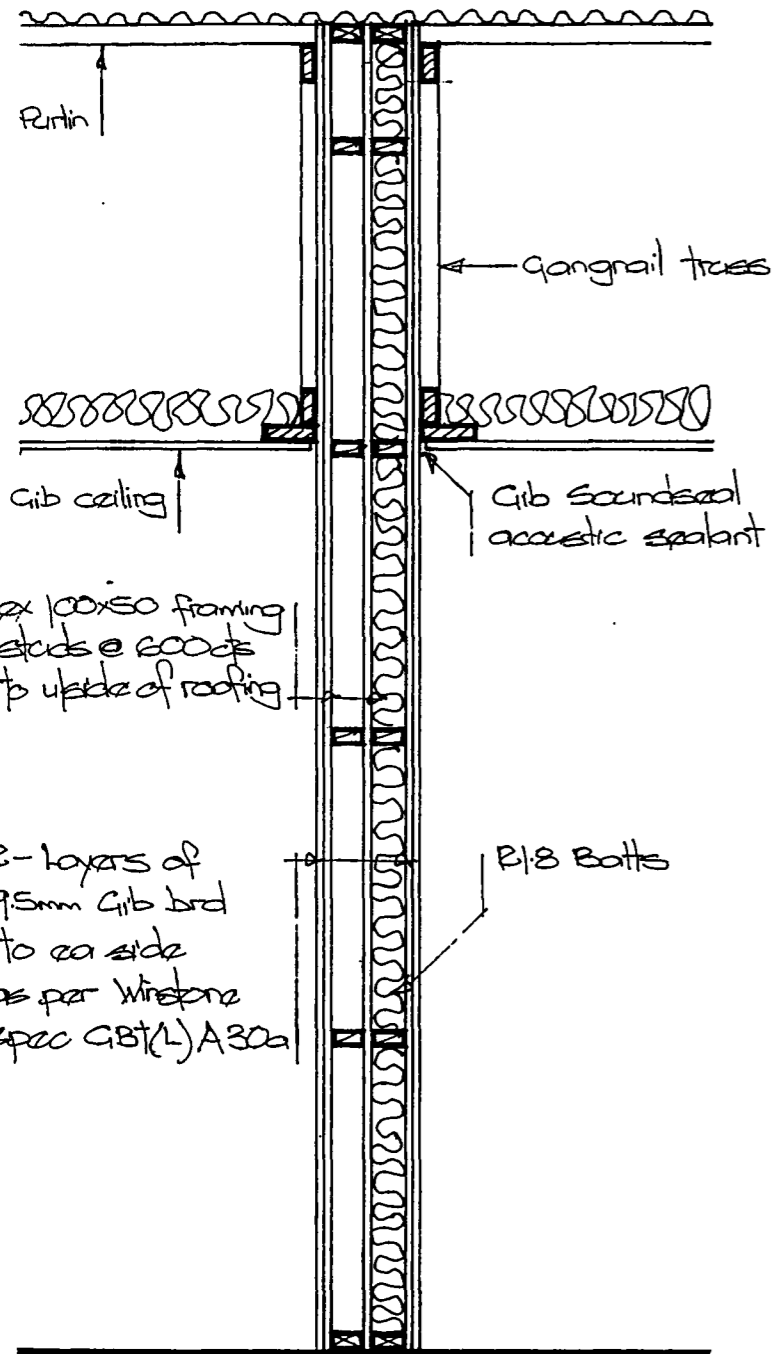
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Compliance Check	.....	
Lodgement Fee	.....	
Services Utility Charge	.....	
Building Compliance Check	.....	
Building Research Levy	.....	
BIA Levy	.....	
Travel	.....	
Inspections	.....	
Sewer Connection	.....	
Stormwater Connection	.....	
Water Connection	.....	
Vehicle Crossing	.....	
Development Levy	.....	
Reserves Contribution	.....	<i>Out of Value</i> \$590.00
Code Compliance Certificate	.....	
Compliance Schedule	.....	
Swimming Pool Exemption Fee	.....	
<b>Total Fees</b>	<b>\$</b> .....	

**Approved for Issue of Building Consent**

.....  
Building Control Officer

Date ...../...../.....





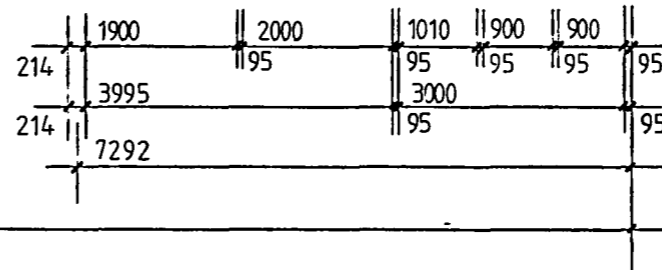
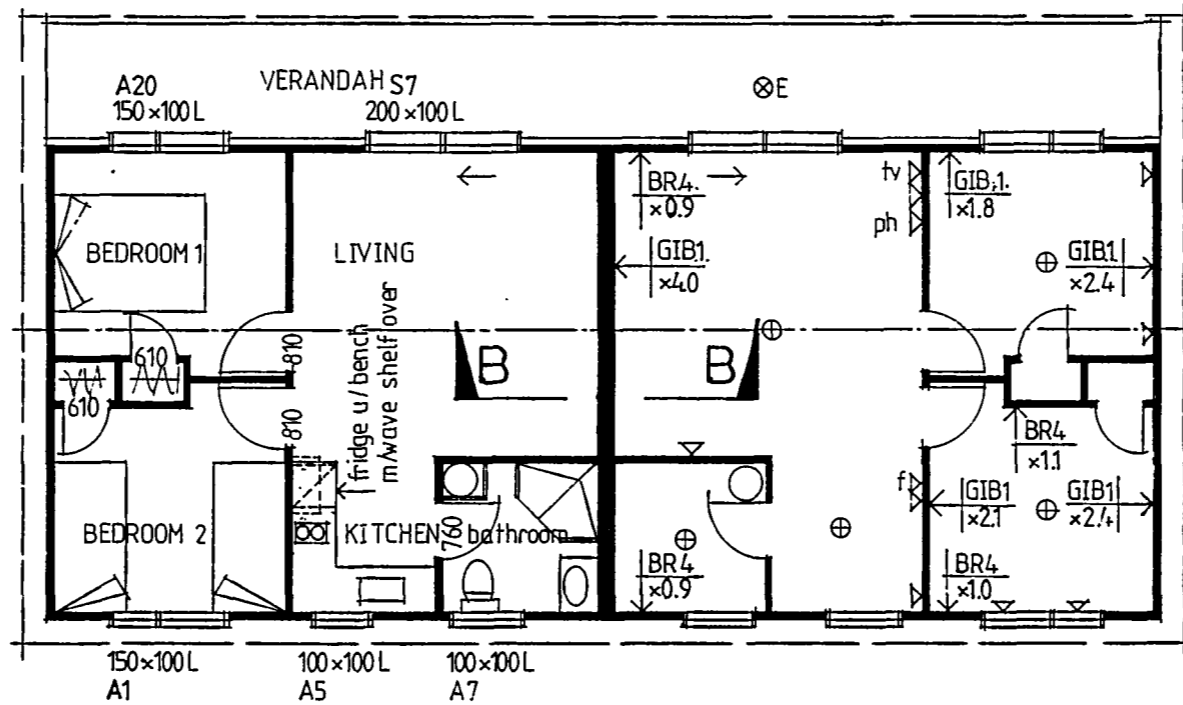
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20 AUG 2001  
MARLBOROUGH DISTRICT COUNCIL

SECTION B-B

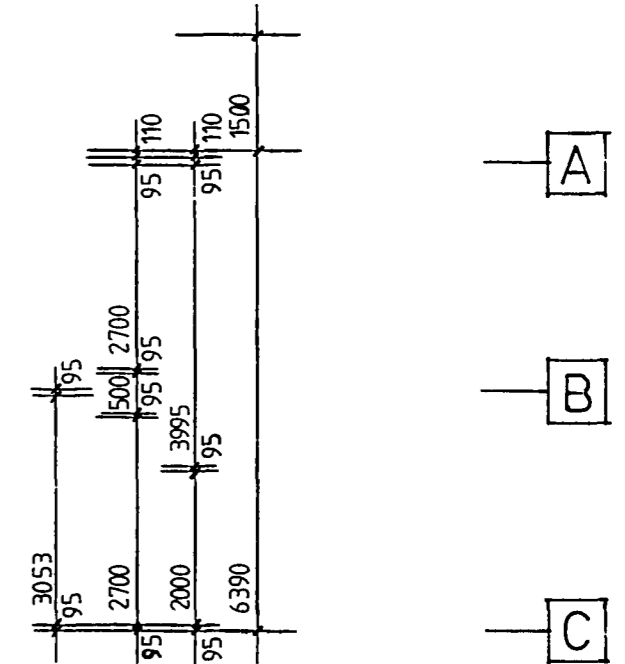
1:20

**Endeavour Homes**

DICK BAKER KEVIN SATHERLEY  
93 Gladstone Road, Richmond  
Ph (03) 544-0886  
Fax (03) 544-0887



- ◁ double plug
- ◁tv television outlet
- ◁ph telephone jack
- ◁f under bench fridge
- ⊕ batten holder
- ⊗E exterior batten holder
- H.W.C.

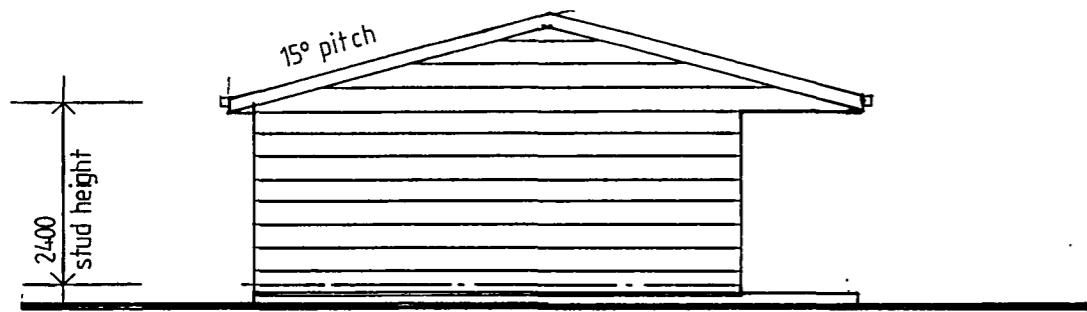


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VERANDAH	21.95m2
TOTAL	115.37m2

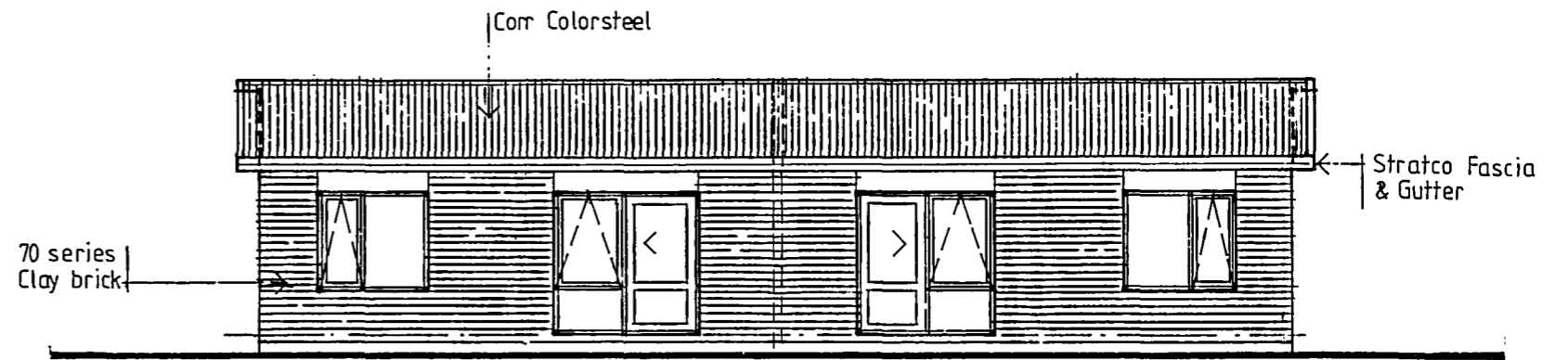
ALDAN LODGE

SHEET TITLE  
FLOOR PLAN, BRACING,  
& ELECTRICAL PLAN

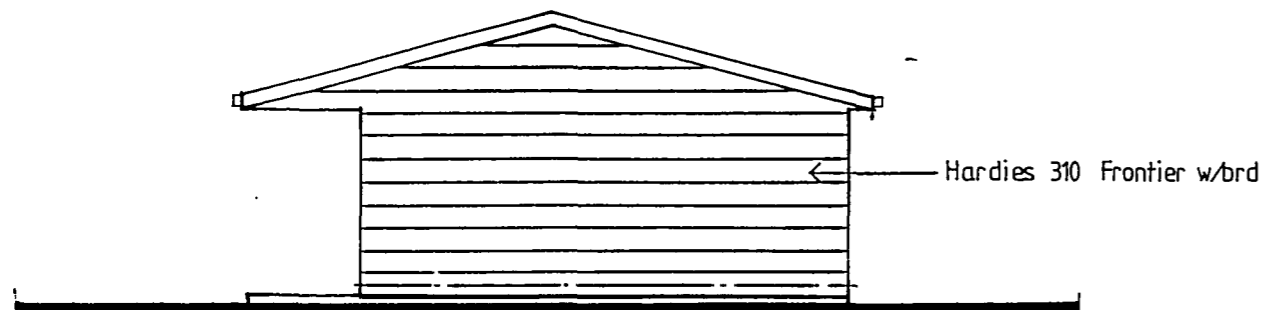
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--	---	------------------------



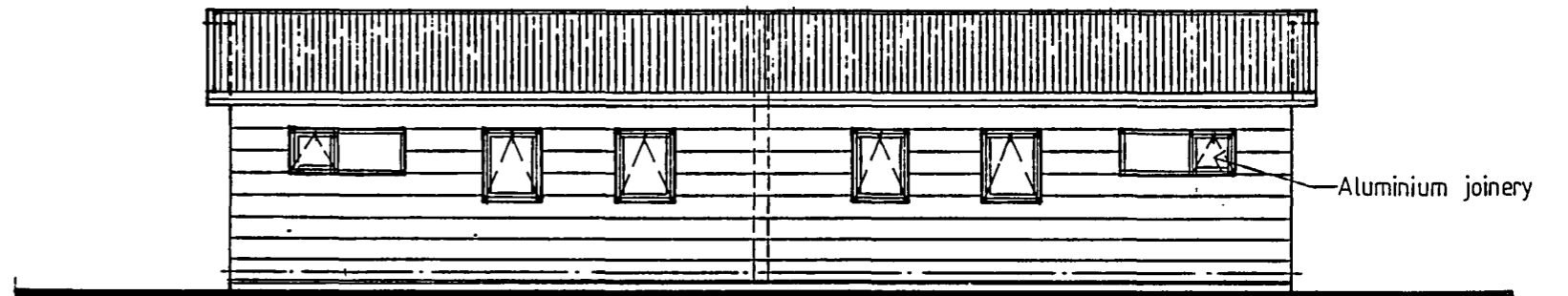
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

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**Endeavour  
Homes**

DICK BAKER KEVIN SATHERLEY

93 Gladstone Road, Richmond  
Ph (03) 544-0886  
Fax (03) 544-0887



ALDAN LODGE

SHEET TITLE

ELEVATIONS

AMENDED  
24-5-2001  
6-8-2001

DRAWN Steve Arps

DATE 24-4-2001

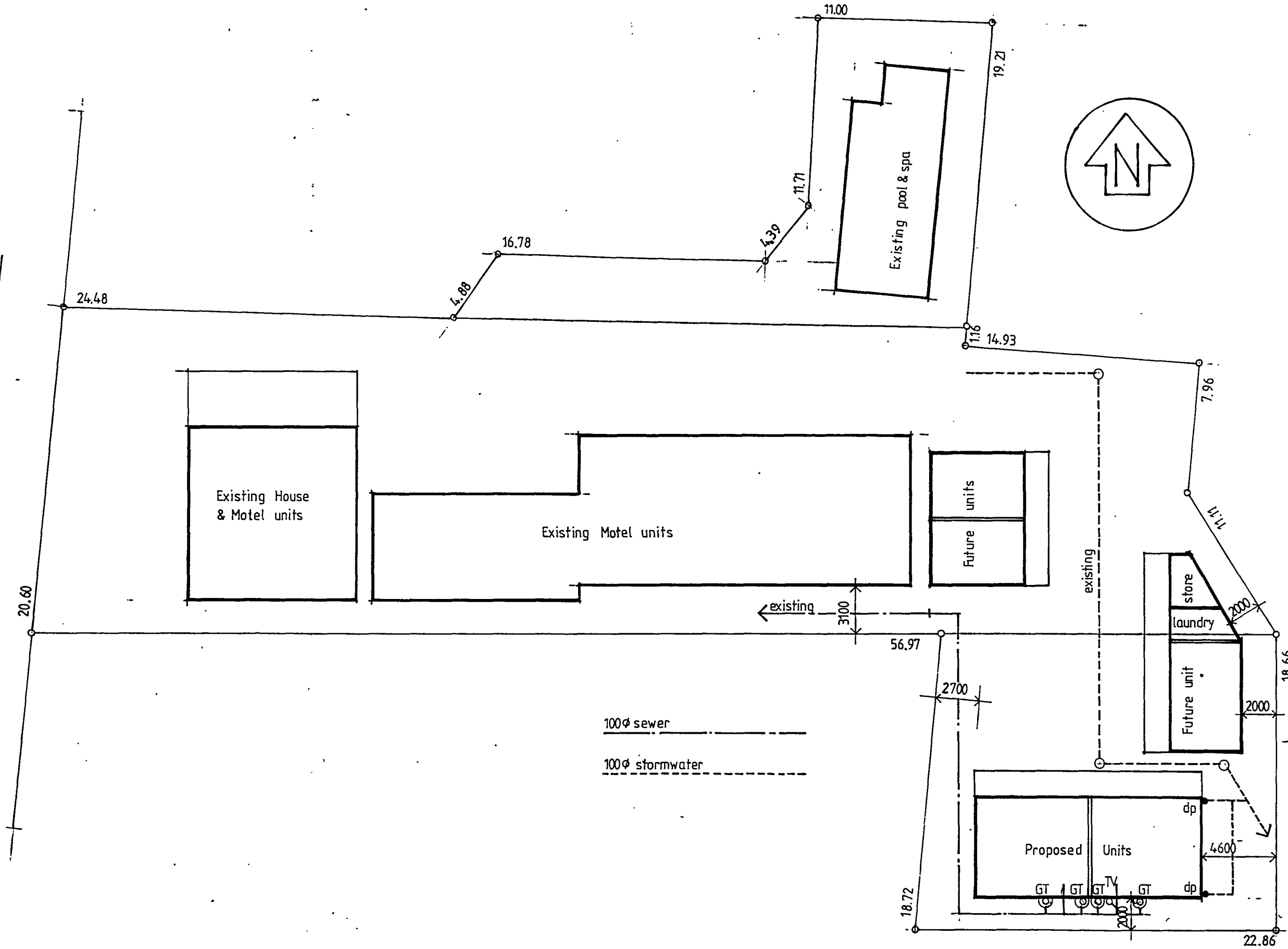
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SHEET N°

3

SET OF 4

WELLINGTON STREET



Lot 2  
DP 4295  
Lot 2  
DP 4450  
Lot 2  
DP 5199

Total area 2136m  
Urban Residential Zone

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13 AUG 2001  
MARLBOROUGH  
DISTRICT COUNCIL

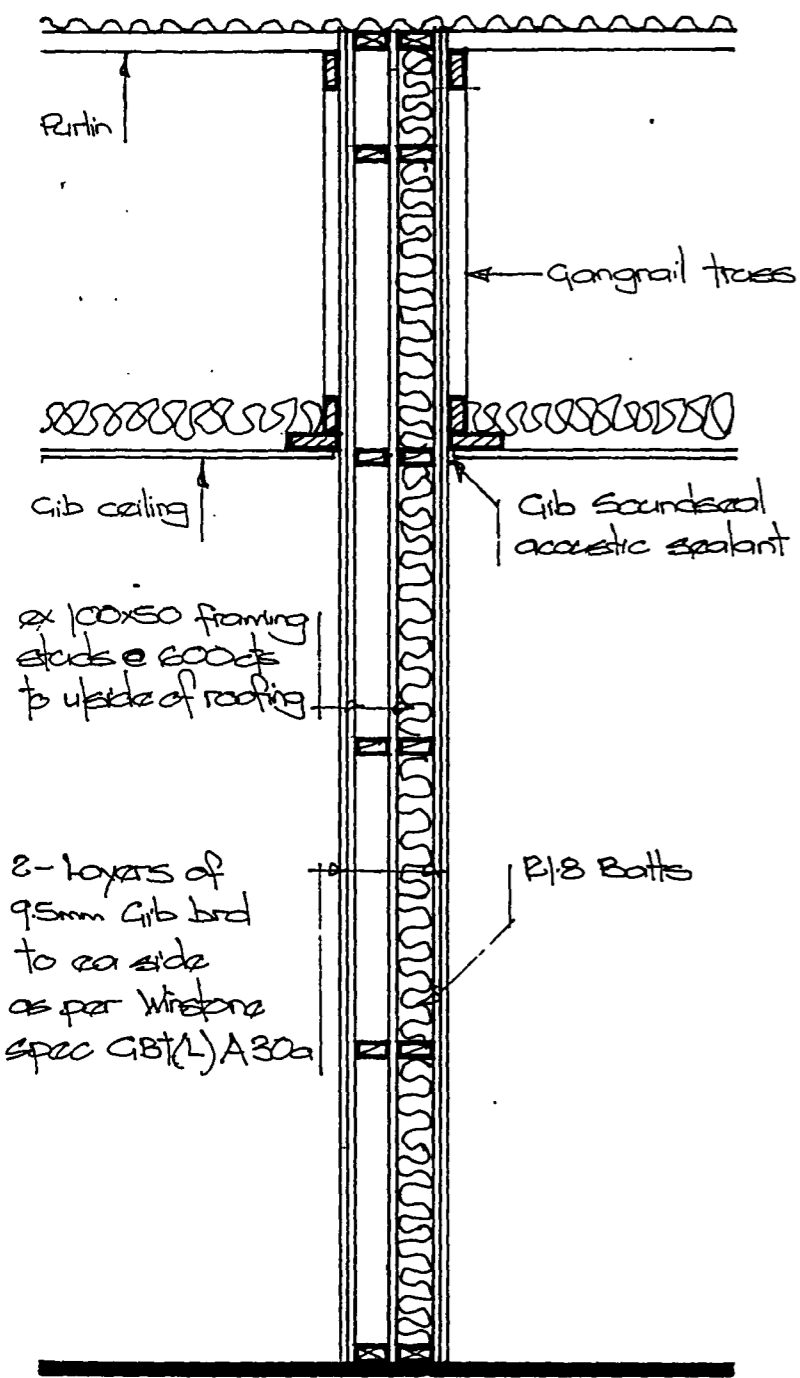


DICK BAKER KEVIN SATHERLEY  
93 Gladstone Road, Richmond  
Ph (03) 544-0886  
Fax (03) 544-0887



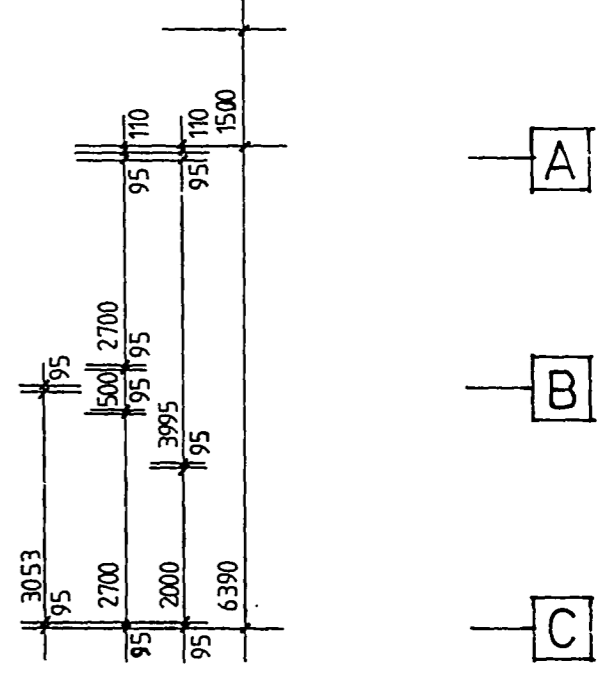
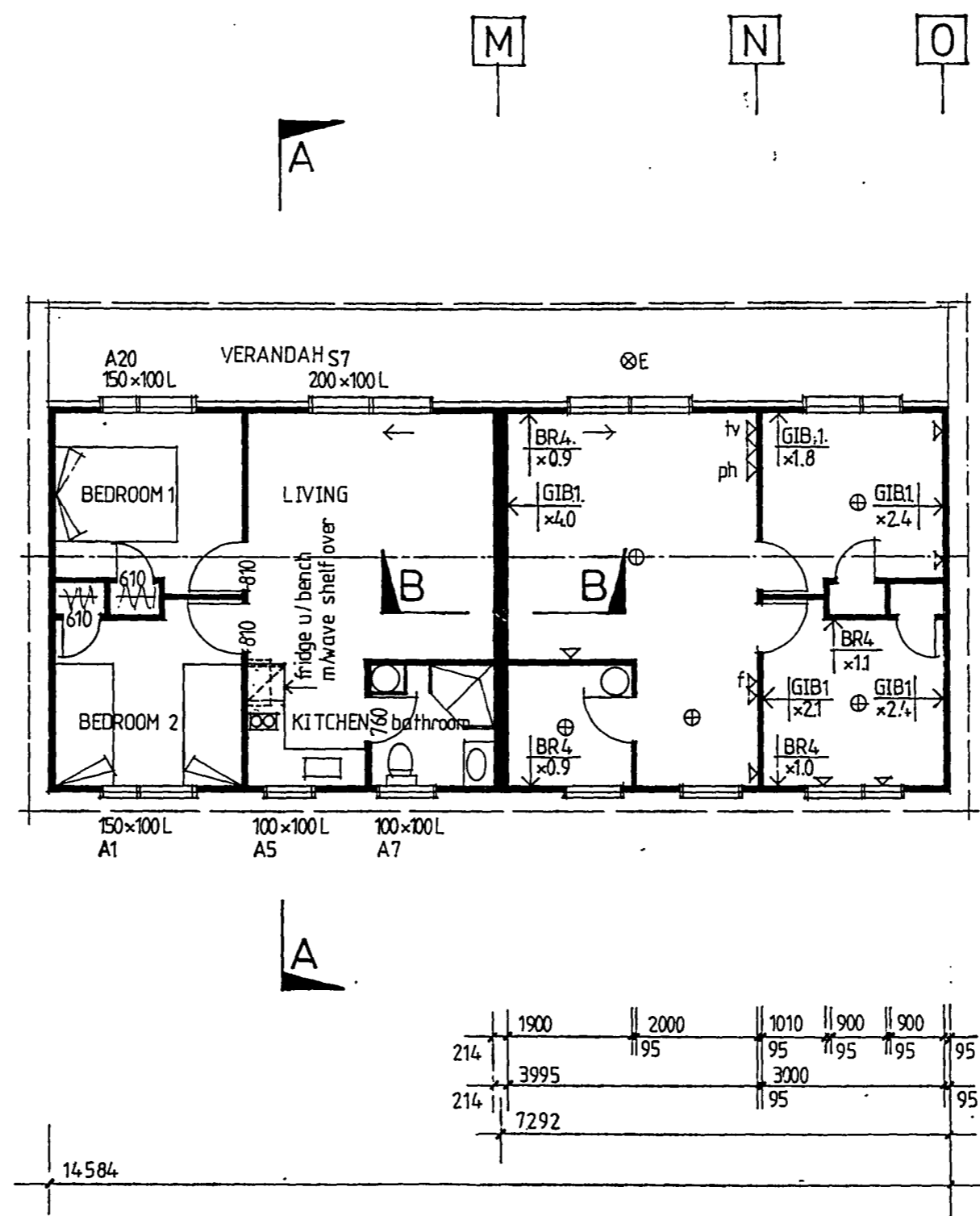
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SHEET TITLE  
**SITE PLAN**

AMENDED 6-8-2001	DRAWN Steve Arps
	DATE 24-5-2001
	SCALE 1:250
	SHEET NO 1
	SET OF 4



**SECTION B-B**

1:20



1900	2000	1010	900	900	95
214	1195	95	1195	1195	95
3995		3000			
214		95			95
7292					

UNITS	93.42m <sup>2</sup>
VERANDAH	21.95m <sup>2</sup>
TOTAL	115.37m <sup>2</sup>



DICK BAKER, KEVIN SATHERLEY

93 Gladstone Road, Richmond  
Ph (03) 544-0886  
Fax (03) 544-0887



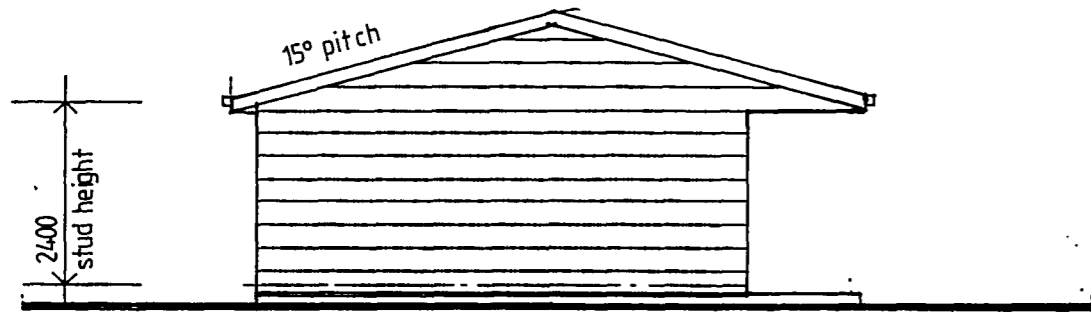
**ALDAN LODGE**

**FLOOR PLAN, BRACING & ELECTRICAL PLAN**

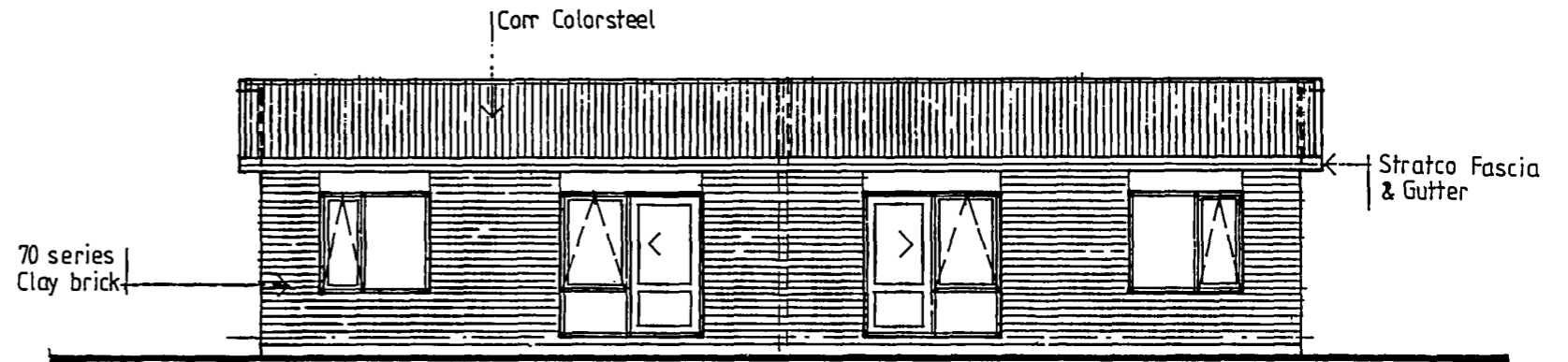
AMENDED  
24-5-2001  
6-6-2001  
6-8-2001

DRAWN Steve Arps  
DATE 24-4-2001  
SCALE 1:100

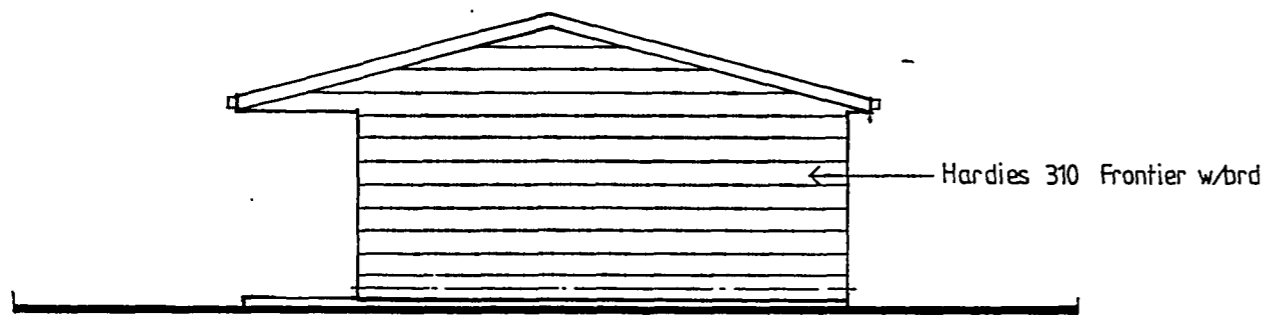
SHEET N<sup>o</sup> 2  
SET OF 4



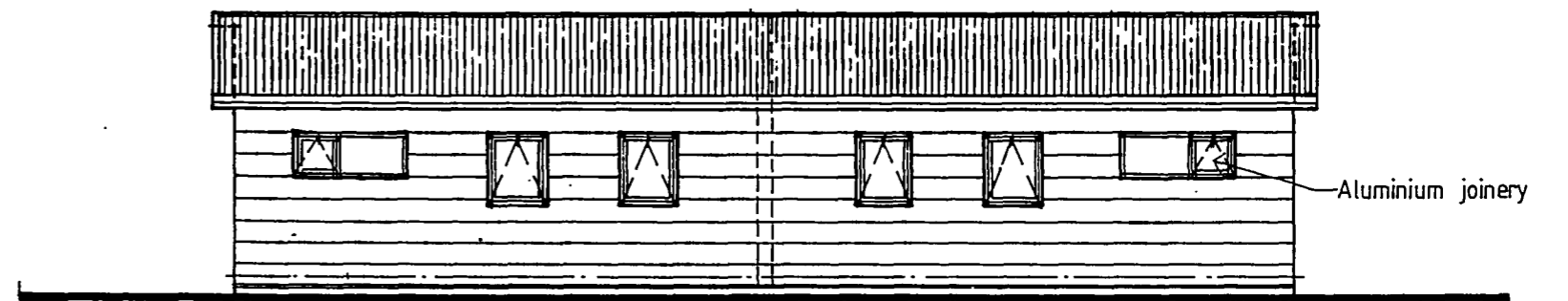
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



DICK BAKER KEVIN SATHERLEY

93 Gladstone Road, Richmond  
 Ph (03) 544-0886  
 Fax (03) 544-0887



ALDAN LODGE

SHEET TITLE

ELEVATIONS

AMENDED  
 24-5-2001  
 6-8-2001

DRAWN Steve Arps

DATE 24-4-2001

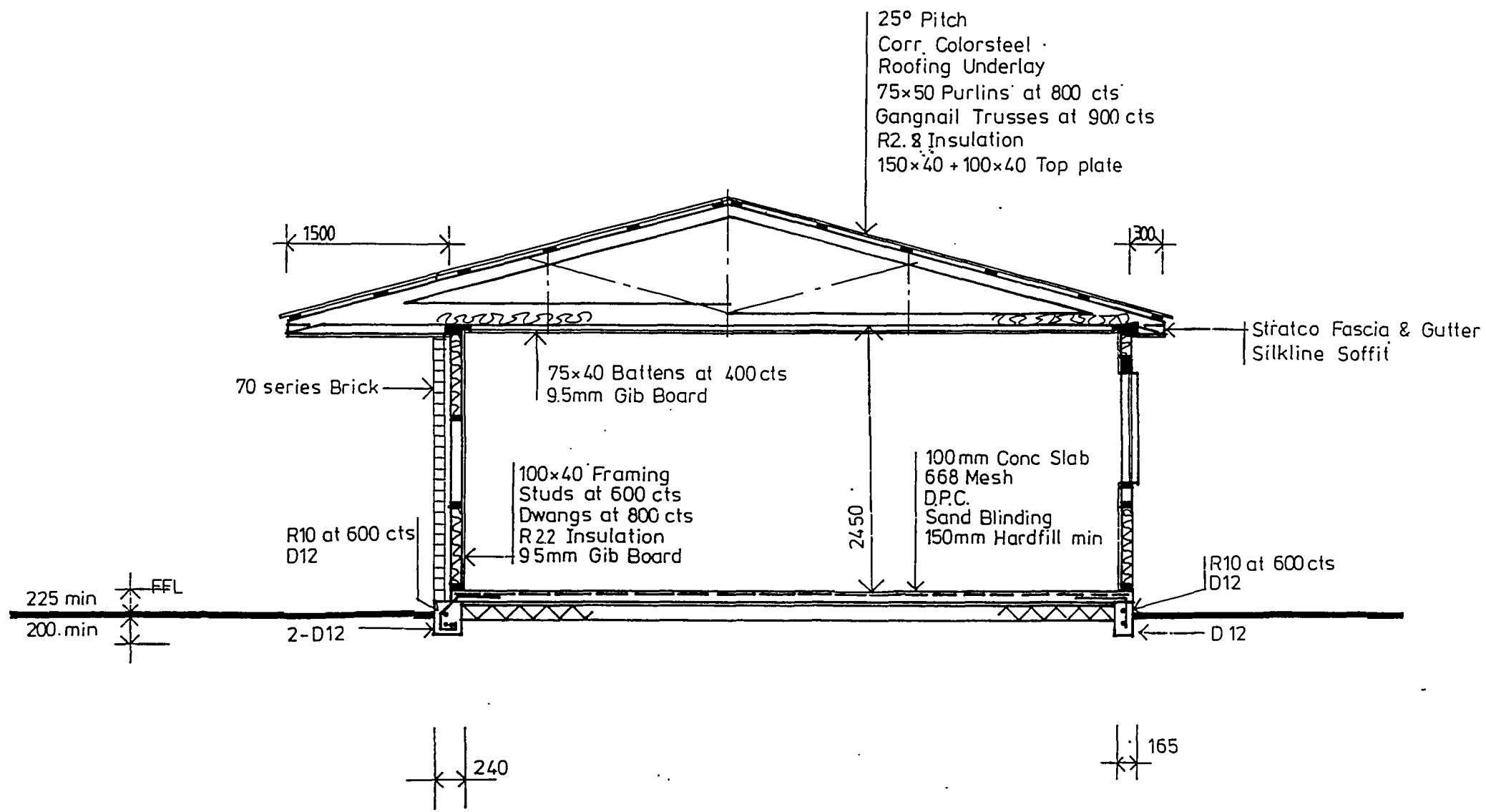
SCALE 1:100

SHEET N°

3

SET OF

4



DICK BAKER KEVIN SATHERLEY

93 Gladstone Road, Richmond  
 Ph (03) 544-0886  
 Fax (03) 544-0887



ALDON LODGE

SHEET TITLE

SECTION A-A

AMENDED

DRAWN Steve Arps

DATE 6-8-2001

SCALE 1:50

SHEET N° 4

SET OF 4

# BUILDING CONSENT - PIM

RECEIVED  
13 AUG 2001  
MARLBOROUGH  
DISTRICT COUNCIL

Address: 86 Wellington Street, Moton

Owner: Aldan Lodge Ltd

Builder: Endeavour Homes

Activity: Two Motel Units

From # 513156  
To # 527731  
Reason # KATE DUNN

Property Number: 513156 20210-591-00-A0

Building Consent #: 011291

To See	Comments	Date	Approved
<input checked="" type="checkbox"/> Planning	2 Carparks to be shown on site Plan as reqd by CI 010645 Fax sent to Environment House Plan received - ok 17/8	14/8/01 24/8/01	
<input checked="" type="checkbox"/> Rooding		17/8/01 20/8	
<input checked="" type="checkbox"/>	PIM issued	28/8/01 28/8/01	
<input type="checkbox"/> Conditions			