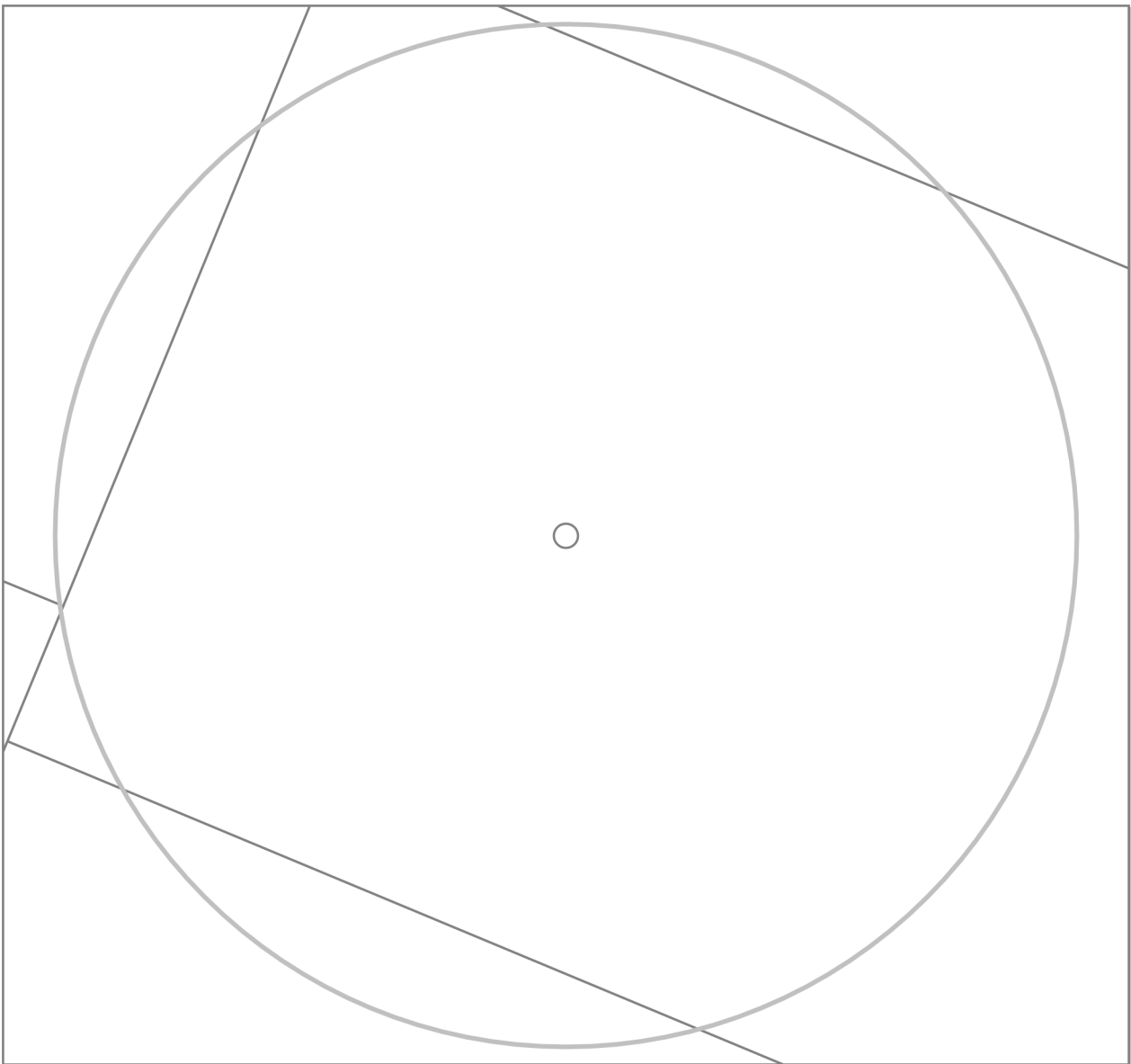


Land Information Memorandum



The contents of this documentation are strictly subject to the terms and conditions of the disclaimer contained at the front of this documentation. Prospective purchasers must accordingly read and acquaint themselves with the disclaimer prior to reading the documentation

Property address:
70 Grays Road

LIM number: H01357306

Page 1

Christchurch City Council
53 Hereford Street, PO Box 73015
Christchurch 8154, New Zealand
Tel 64 3 941 8999
Fax 64 3 941 8984

www.ccc.govt.nz

This information Memorandum, title or other supplementary property information (the "Information") has been prepared by Whalan and Partners Limited, trading as Bayleys ("Bayleys") as agent for "the Vendor". The Information contains information that is publicly available and/or sourced from third parties and capable of independent verification. It has been prepared solely to assist interested parties in deciding whether to further their interest in the Property and Whalan and Partners Limited is acting as a conduit and merely passing this information over. Prospective purchasers must not confine themselves to the contents of the Information but should, in conjunction with their professional advisors, make their own evaluation of the Property and conduct their own investigation, analysis and verification of the data contained in the Information and otherwise concerning the Property. Such evaluation should extend to and include whether there has been a change in the affairs or prospects of the Property since the date of the Information or since the date as at which any information contained in the Information is expressed to be applicable.

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Application details

Date issued 31 October 2023
Date received 18 October 2023

Property details

Property address 70 Grays Road, Harewood, Christchurch
Valuation roll number 23510 14900
Valuation information Capital Value: \$2,250,000
Land Value: \$990,000
Improvements Value: \$1,260,000
Please note: these values are intended for Rating purposes
Legal description Pt Lot 1 DP 1267
Existing owner

Council references

Rate account ID 73061073
LIM number H01357306
Property ID 1024668

Document information

This Land Information Memorandum (LIM) has been prepared for the purpose of section 44A of the Local Government Official Information and Meetings Act 1987 (LGOIMA). It is a summary of the information that we hold on the property. Each heading or "clause" in this LIM corresponds to a part of section 44A.

Sections 1 to 10 contain all of the information known to the Christchurch City Council that must be included under section 44A(2) LGOIMA. Any other information concerning the land as the Council considers, at its discretion, to be relevant is included at section 11 of this LIM (section 44A(3) LGOIMA). If there are no comments or information provided in these sections this means that the Council does not hold information on the property that corresponds to that part of section 44A.

The information included in this LIM is based on a search of Council records only and there may be other information relating to the land which is unknown to the Council. Please note that other agencies may also hold information relevant to the property, or administer legislation relevant to the use of the land, for example, the Regional Council (Ecan), Heritage New Zealand Pouhere Taonga, and Land Information New Zealand.

Council records may not show illegal or unauthorised building or works on the property. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose.

A LIM is only valid at the date of issue as information is based only upon information the Council held at the time of that LIM request being made.

Property file service

This Land Information Memorandum does not contain all information held on a property file. Customers may request property files by phoning the Council's Customer Call Centre on (03) 941 8999, or visiting any of the Council Service Centres. For further information please visit www.ccc.govt.nz.

To enable the Council to measure the accuracy of this LIM document based on our current records, we would appreciate your response should you find any information contained therein which may be considered to be incorrect or omitted. Please telephone the Customer Call Centre on (03) 941 8999.

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70 Grays Road

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A search of records held by the Council has revealed the following information:

1. Special features and characteristics of the land

Section 44A(2)(a) LGOIMA. This is information known to the Council but not apparent from the district scheme under the Town and Country Planning Act 1977 or a district plan under the Resource Management Act 1991. It identifies each (if any) special feature or characteristic of the land concerned, including but not limited to potential erosion, avulsion, falling debris, subsidence, slippage, alluvion, or inundation, or likely presence of hazardous contaminants.

☎ For enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

- **Liquefaction Assessment**

Christchurch City Council holds indicative information on liquefaction hazard for Christchurch. Information on liquefaction, including an interactive web tool, can be found on the Council website at ccc.govt.nz/liquefaction. Depending on the liquefaction potential of the area that the property is in, the Council may require site-specific investigations before granting future subdivision or building consent for the property.

- **Consultant Report Available**

Land Information New Zealand (LINZ) engaged Tonkin and Taylor to provide a Geotechnical Report on Ground Movements that occurred as a result of the Canterbury Earthquake Sequence. The report indicates this property may have been effected by a degree of earthquake induced subsidence. The report obtained by LINZ can be accessed on their website at <https://www.linz.govt.nz> and search Information for Canterbury Surveyors.

Related Information

- There is attached a soil investigation report for this property.

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2. Private and public stormwater and sewerage drains

Section 44A(2)(b) LGOIMA. This is information about private and public stormwater and sewerage drains as shown in the Council's records.

 For stormwater and sewerage enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Related Information

- The drainage works associated with this property have not been plotted on the Council's drainage plan. A copy of the field Inspectors pickup/approved site plan showing the drains and house outline is attached.
- The property is shown to be served by an on-site septic tank disposal system.
- No details of the private stormwater system serving this property are shown on the plan or on Council records.
- Council Trade Waste Bylaw regulates the use of the sewer system for sources other than domestic sewage. A trade waste consent must be obtained by the new owner or occupier before any wastewater from an industrial or commercial processes including but not limited to wash down grease traps and cooling systems may be discharged to Council sewer system.

3. Drinking Water Supply

Section 44A(2)(ba) and (bb) LGOIMA. This is information notified to the Council about whether the land is supplied with drinking water, whether the supplier is the owner of the land or a networked supplier, any conditions that are applicable, and any information the Council has about the supply.

Please note the council does not guarantee a particular water quality to its customers. If you require information on current water quality at this property please contact the Three Waters & Waste Unit.

☎ For water supply queries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Water supply

Water Supply to this site is not provided by Christchurch City Council. The drinking water supply to the land is arranged by the property owner.

Related Information

- All Commercial and industrial properties are required to have a Reduced Pressure Zone backflow prevention device at the boundary to protect the Christchurch water supply network. The installation of this device is a condition of supply and is the responsibility of the property owner in accordance with the Christchurch City Council Water Supply and Wastewater Bylaw 2022. For more information visit our website <https://ccc.govt.nz/backflow-prevention/> or contact the backflow installation team on 03 941 8999.

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4. Rates

Section 44A(2)(c) LGOIMA. This is information on any rates owing in relation to the land.

☎ For rates enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

(a) Annual rates

Annual rates to 30/06/2024: \$4,953.02

	Instalment Amount	Date Due
Instalment 1	\$1,238.20	15/09/2023
Instalment 2	\$1,238.20	15/12/2023
Instalment 3	\$1,238.20	15/03/2024
Instalment 4	\$1,238.42	15/06/2024

Rates owing as at 31/10/2023: \$ 0.00

(b) Excess water charges

For excess water charge enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz/contact-us

(c) Final water meter reading required at settlement?

Property settlements must now ensure all water usage and outstanding debts are accurately accounted for.

To advise of a commercial property settlement, please complete the request for settlement information form at www.ccc.govt.nz/services/rates-and-valuations/solicitors-request

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5. Consents, certificates, notices, orders, or requisitions affecting the land and buildings

Section 44A(2)(d) LGOIMA. This is information concerning any consent, certificate, notice, order, or requisition, affecting the land or any building on the land, previously issued by the Council. The information in this section may also cover building consent and/or code compliance information issued by building certifiers under the Building Act 1991 and building consent authorities that are not the Council under the Building Act 2004.

You can check the property file to identify whether any consent or certificate was issued by a building certifier under the Building Act 1991.

Section 44A(2)(da) LGOIMA. The information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004. There is currently no information required to be provided by a building contractor to a territorial authority under section 362T(2) of the Building Act 2004. The Building (Residential Consumer Rights and Remedies) Regulations 2014 only prescribed the information that must be given to the clients of a building contractor.

☎ For building enquiries, please phone (03) 941 8999, email EPADutyBCO@ccc.govt.nz or visit www.ccc.govt.nz.

(a) Consents

- BCN/1998/4282 Applied: 19/06/1998 Status: Completed
70 Grays Road Harewood
Accepted for processing 19/06/1998
Building consent granted 15/10/1998
Building consent issued 19/10/1998
Code Compliance Certificate Granted 20/07/2000
Code Compliance Certificate Issued 20/07/2000
DWELLING WITH GARAGE AND SEPTIC TANK- Historical Reference CON98004739
- BCN/1998/6373 Applied: 01/09/1998 Status: Completed
70 Grays Road Harewood
Accepted for processing 01/09/1998
Building consent granted 04/09/1998
Building consent issued 09/09/1998
Code Compliance Certificate Granted 21/02/2000
Code Compliance Certificate Issued 21/02/2000
SHED- Historical Reference CON98007007

(b) Certificates

Note: Code Compliance Certificates were only issued by the Christchurch City Council since January 1993.

(c) Notices

(d) Orders

(e) Requisitions

Property address:

70 Grays Road

LIM number: H01357306

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6. Certificates issued by a building certifier

Section 44A(2)(e) LGOIMA. This is information notified to the Council concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004.

☎ For building enquiries, please phone (03) 941 8999, email EPADutyBCO@ccc.govt.nz or visit www.ccc.govt.nz.

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7. Weathertightness

Section 44A(2)(ea) LGOIMA. This is information notified to the Council under section 124 of the Weathertight Homes Resolution Services Act 2006.

 For weathertight homes enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

If there is no information below this means Council is unaware of any formal Weathertight Homes Resolution Services claim lodged against this property.

8. Land use and conditions

Section 44A(2)(f) LGOIMA. This is information relating to the use to which the land may be put and conditions attached to that use. The planning information provided below is not exhaustive and reference to the Christchurch District Plan and any notified proposed changes to that plan is recommended: <https://ccc.govt.nz/the-council/plans-strategies-policies-and-bylaws/plans/christchurch-district-plan/>.

There may be some provisions of the Christchurch City Plan or Banks Peninsula District Plan that affect this property that are still operative.

☎ For planning queries, please phone (03) 941 8999, email DutyPlanner@ccc.govt.nz or visit www.ccc.govt.nz.

- **Regional plan or bylaw**

There may be objectives, policies or rules in a regional plan or a regional bylaw that regulate land use and activities on this site. Please direct enquiries to Canterbury Regional Council (Environment Canterbury).

- **Waterway Provisions for Other Councils**

A resource consent or permit may also be required from the Canterbury Regional Council or other territorial authority, particularly with respect to water bodies managed by those authorities. Please refer to the relevant regional plan and any relevant bylaws, and contact the Christchurch City Council if you are uncertain which authority manages the water body in question.

(a)(i) Christchurch City Plan & Banks Peninsula District Plan

(ii) Christchurch District Plan

- **Christchurch International Airport Protection Sfc.**

Property or part of property within the Christchurch International Airport Protection Surfaces overlay, which is operative.

- **Air Noise Boundary and Air Noise Contours**

Property or part of property affected by the 55 dB Ldn Air Noise Contour provisions which is operative.

- **Waterway Provisions**

This property or part of this property is close to at least one waterway. It may be within the setback for a Network Waterway. Within that setback, District Plan rules apply to activities including buildings, earthworks, fences and impervious surfacing. Any part of the property within the setback will be affected by those rules. Rules associated with this waterway are operative under the District Plan.

- **District Plan Zone**

Property or part of property within the Rural Urban Fringe Zone, which is operative.

(b) Resource consents

If there are any land use resource consents issued for this property the Council recommends that you check those resource consents on the property file. There may be conditions attached to those resource consents for the property that are still required to be complied with.

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- RMA/1998/2227 - Resource consents
70 Grays Road Harewood
To erect a dwelling on a 4.0468 hectare site not in conjunction with an economic use. - Historical Reference RES982545
Status: Processing complete
Applied 21/09/1998
Granted 01/01/1999
Decision issued 01/01/1999

Property address:

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9. Other land and building classifications

Section 44A(2)(g) LGOIMA. This is information notified to the Council by any statutory organisation having the power to classify land or buildings for any purpose.

 For land and building enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Please refer to Section 1 for details

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10. Network utility information

Section 44A(2)(h) LGOIMA. This is information notified to the Council by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004.

 For network enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

- **None recorded for this property**

11. Other information

Section 44A(3) LGOIMA. This is information concerning the land that the Council has the discretion to include if it considers it to be relevant.

☎ For any enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

(a) Kerbside waste collection

- Your organics are collected Weekly on Thursday. Please leave your organics at the Kerbside by 6:00 a.m.
- Your recycling is collected Fortnightly on the Week 2 collection cycle on a Thursday. Please leave your recycling at the Kerbside by 6:00 a.m. Your nearest recycling depot is the Parkhouse Road EcoDrop.
- Your refuse is collected Fortnightly on the Week 2 collection cycle on a Thursday. Please leave your rubbish at the Kerbside by 6:00 a.m. Your nearest rubbish depot is the Parkhouse Road EcoDrop.

(b) Other

• Floor Levels Information

Christchurch City Council holds a variety of information relevant to building/property development across the city. This includes minimum finished floor levels that need to be set to meet the surface water requirements in clause E1.3.2 of the building code (where this applies), and the requirements of the Christchurch District Plan (where a property is in the Flood Management Area). Where this information has been processed for your site, it can be viewed at <https://ccc.govt.nz/floorlevelmap/>, otherwise site specific advice can be obtained by emailing floorlevels@ccc.govt.nz

• Community Board

Property located in Fendalton-Waimairi-Harewood Community Board.

• Tsunami Evacuation Zone

This property is not in a tsunami evacuation zone. It is not necessary to evacuate in a long or strong earthquake or during an official Civil Defence tsunami warning. Residents may wish to offer to open their home to family or friends who need to evacuate from a tsunami zone, and should plan with potential guests to do so in advance. More information can be found at <https://ccc.govt.nz/services/civil-defence/hazards/tsunami-evacuation-zones-and-routes/>

• Electoral Ward

Property located in Harewood Electoral Ward

• Listed Land Use Register

Hazardous activities and industries involve the use, storage or disposal of hazardous substances. These substances can sometimes contaminate the soil. Environment Canterbury identifies land that is used or has been used for hazardous activities and industries. This information is held on a publically available database called the Listed Land Use Register (LLUR). The Christchurch City Council may not hold information that is held on the LLUR. Therefore, it is recommended that you check Environment Canterbury's online database at www.llur.ecan.govt.nz

• Spatial Query Report

A copy of the spatial query report is attached at the end of this LIM. The spatial query report lists land use resource consents that have been granted within 100 metres of this property.

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Related Information

- Dangerous Goods Licences have been replaced with Location Test Certificates/ Location Compliance Certificates administered by Worksafe. You can contact a local Test Certifier to advise you or to issue the type of test certificate you need.

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Our Ref: 19117

18th September 1998

Christchurch City Council
P O Box 237
Christchurch

Attention: Mr Michael Nilsson

Dear Sir,

re: Building Consent Application Project No 98004739
64 Ryans Road Christchurch

With reference to your letter dated 30th June 1998 addressed to GM & MJ Kain, the following information is in response to the matters raised:

1. Well Position

This is shown on our drawing 19114 D 01 which is included in the attached set of drawings detailing the effluent drainage system. The well is to draw water from aquifers below 17.7 metres deep. We enclose a copy of the well drillers' log for your information.

2. Ground Water Flow

We understand that the ground water flow in this area is generally in a West to East direction. The septic tank and its disposal field are generally in the down gradient direction from the well. We have called up a minimum clearance of 50 metres from the well on our drawing 19114 D01 which exceeds the Canterbury Regional Council General Authorisation requirement of 30 metres.

3. Suitability of Soil for Septic Tank

Our drawings 19114 D01-D03 (2 sets enclosed) modify the original septic tank effluent disposal system shown on the architect's drawings. We have designed the system to take account of the soil conditions. Natural surface soils are generally 300mm of topsoil overlying silt and sandy silt which extends down to gravels which are first encountered at 2.8m below ground level. In our opinion the proposed design will provide an effluent discharge containing less than 1,000 faecal coliforms per 100mm at the point of final discharge at the level of the gravels.

4. Drainage Plan

This has been incorporated on our effluent system drawings.

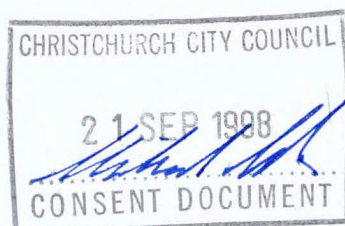
5. Fitting Discharge Pipe Gradients

These are shown on our effluent system drawings.

6. Roof Truss Design

We understand that this will be forwarded by the builder prior to starting work on the roof and the supporting framework.

All building work shall comply with the
New Zealand Building Code notwith-
standing any inconsistencies which may
occur in the drawings and specifications



FILE COPY

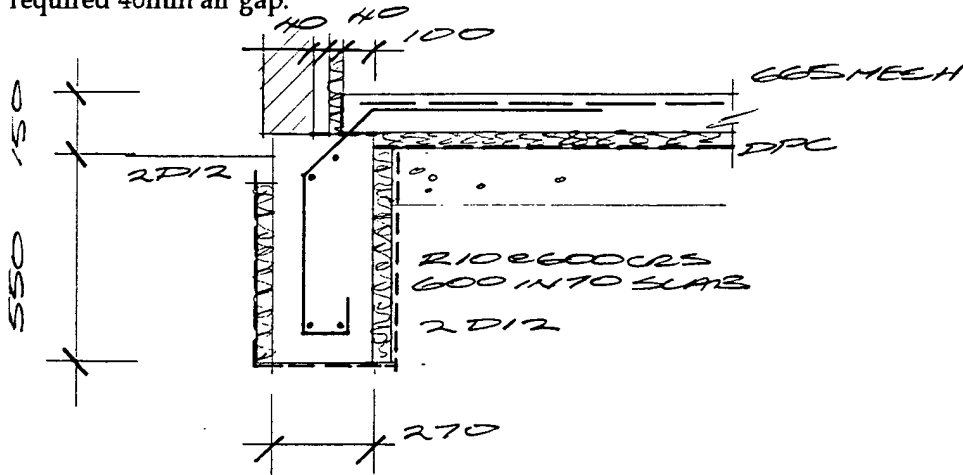
RECEIVED

21 SEP 1998

BUILDING CONSENTS

7. Wall Veneer Air Gap

The following sketch details a modified foundation for the house which will allow the required 40mm air gap.



8. Solid Fuel Heater

The solid fuel heater proposed is a Jetmaster 700SH. The manufacturer's installation details are enclosed.

9. Form BA 20

Please find enclosed a copy of form BA20 completed as requested.

We trust the information above is satisfactory and will enable you to continue processing the building consent. Please call this office if you have any queries.

Yours faithfully

Michael

John Snook

cc Mr & Mrs Kain

McMillan Water Wells Ltd

Telephone No. 03 3242 571 Fax No. 03 3242 431 A.H. Telephone No. 03 3242 530

Client:	Mr G M Kain	Driller	B Saxelby	Well #:	W6669
Address:	44 Creyke Road	Date Drilled:	23/07/98	Inv #:	9900
	Ilam	Grid Ref / Lot #	721449	Cons#:	CRC980735
	CHRISTCHURCH 4				

Site Location: Greys Road Yaldhurst

Casing Diam: 150mm(6")

Well Depth: 42m **Final W. L.** 13.2m **Art'n Hd:**

Screen Type: Stainless **Slot Size:** 2.5 **Diam:** 125mm **Length:** 2m

Leader Length: 0.5m **Diam:** 125mm **Set From:** 39.5 to 42.0m

Depth from Surface (m):

Top:	Bottom:	Description:
000.0	000.3	Earth
000.3	002.8	Brown sandy clay
002.8	017.7	Moist sandy claybound gravels
017.7	021.5	Water bearing sandy gravels with clay
021.5	022.0	Most sandy claybound gravels
022.0	026.4	Water bearing sandy gravels with clay
026.4	030.0	Water bearing sandy gravels with clay
030.0	034.9	Water bearing sandy gravels with clay
034.9	039.5	Water bearing lightly stained sandy gravels with clay
039.5	042.0	Water bearing lightly stained sandy gravels with clay

Screen Diagram:.

Developing Hours: 1.50

Pumping Hours: 4.0

Pumping Details:

GPM-LT/Sec: 120GPM **DD:** 15.6 **Hrs:**

NOTES:

Verify all dimensions before starting work

1	18/09/98	For Consent
Issue	Date	Comment

JOHN SNOOK LTD
Consulting Engineers
Designers

1 Bridge Court, 100 Oxford Terrace
PO Box 5839 Christchurch New Zealand
Ph (03) 366-7251 Fax (03) 366-2048

**PROPOSED EFFLUENT
DRAINAGE SYSTEM
FOR
KAIN HOUSE
AT
64 RYANS ROAN
CHRISTCHURCH**

SEPTIC TANK DETAILS

All building work shall comply with the
New Zealand Building Code notwith-
standing any inconsistencies which may
occur in the drawings and specifications

Scales: 1:20

Designed: JKS

Drawn: WRR

Checked:

Approved:

Date: SEPTEMBER 1998

Project

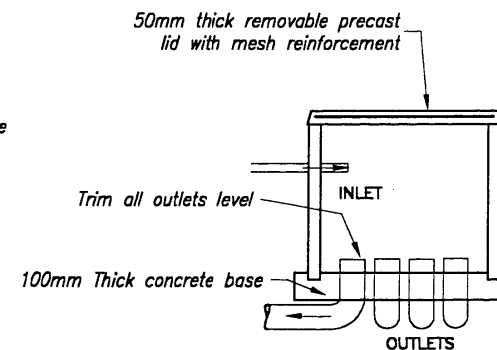
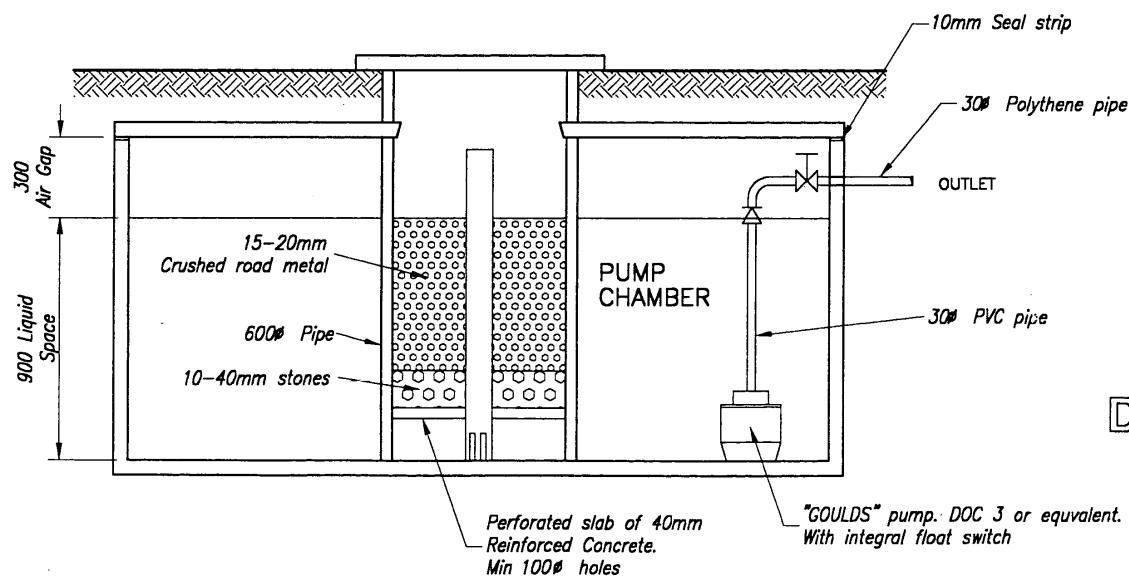
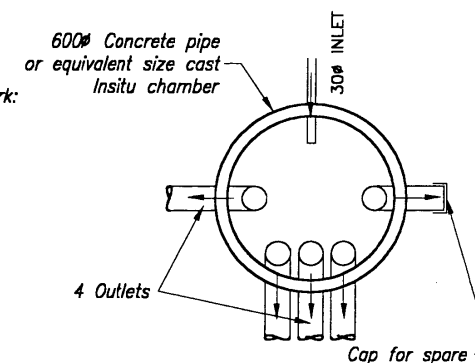
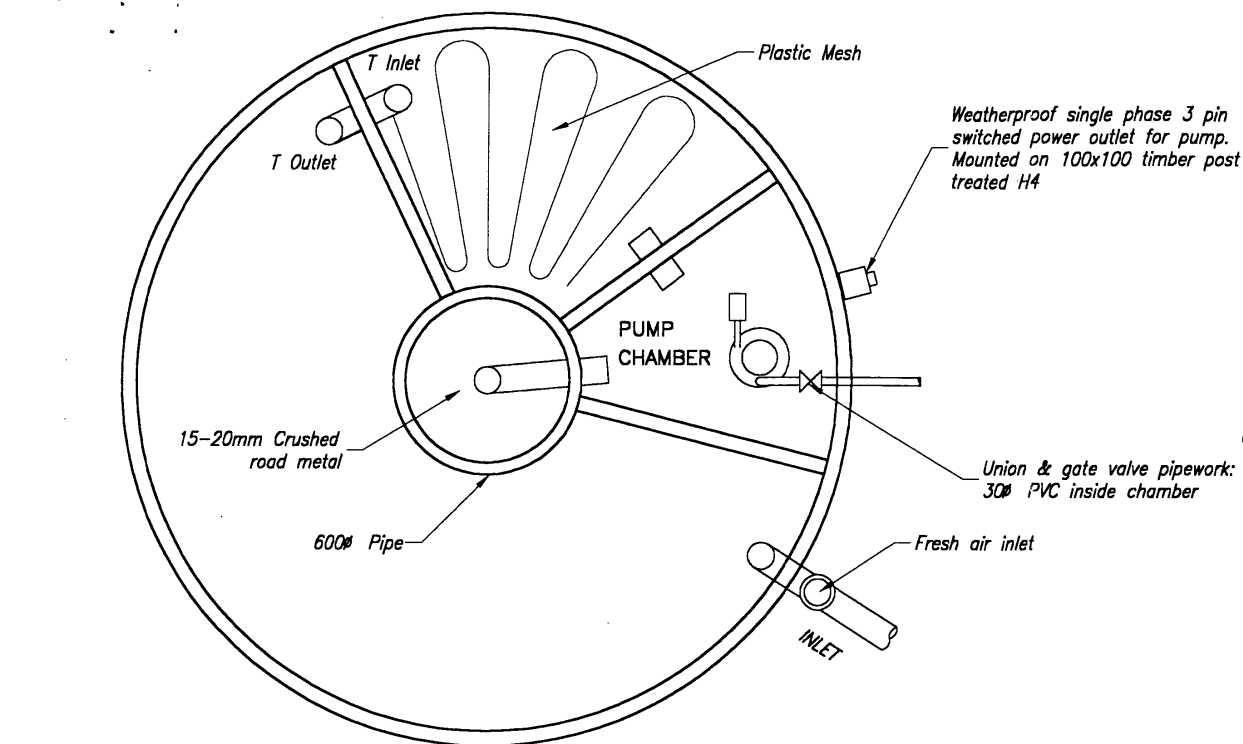
Drawing

Issue

19114

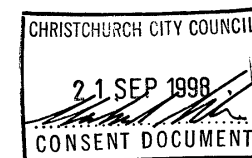
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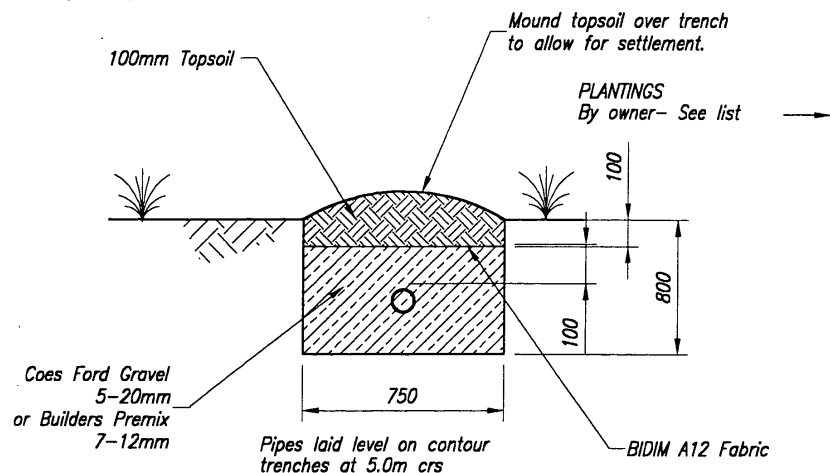
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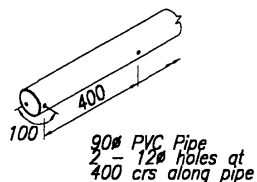
DISTRIBUTION CHAMBER (1:20)

HUMES RD 5000 SEPTIC TANK (1:20)





DISPOSAL FIELD TRENCH (1:20)



DISPOSAL PIPE

SUITABLE PLANT SPECIES FOR EVAPO-TRANSPIRATION SYSTEMS

KEY

HEIGHT

1. Around 1m
2. Around 2m
3. Above 3m

DURABILITY

- A. Very hardy
- B. Hardy
- C. Soft

TREES GENERAL

Should preferably be evergreens but the following deciduous trees offer very good transpiration:

- Elms 3A
- American Oaks 3A
- Birch 3A
- Shrubby Pussy Willow, Bitter Willow 3A
- Hydrangea 2A
- Catalpa 3B

FRINGE TREES

- Kawakawa 3A
- Castor Oil Plant 2 - 3B
- Seniastoma 3A
- Hibiscus 1 - 2B
- Trumpet Flowers (Brugmansia) 3B
- Karaka 3A
- Pukatea (for very wet conditions) 3A
- Kohekohe 3A
- Puka (Meryta) 3B
- Puriri 3A
- Makomako 3A
- Lemonwood (Pittosporum) 3A
- Parapara 3C

PLANTS & EVERGREENS

- Canna 1B
- Taro 1C
- Gingers 1B
- Aralias 1 - 2B
- Rhubarb 1A
- Arum Lily 1A
- Rock Lily (Arthropodium) 1B
- Rongiora 2A
- Fuschia 2A
- Philodendrons 1C
- Flax (Phormium Tenax) 2A
- Buddleia 2 - 3A
- Agapanthus 1B
- Kaka Beak (Clianthus) 1 - 2A
- Swan Plant 2 - 3A
- Gunneras (large varieties) 1 - 2A
- Geraniums 1A
- Parapara 2B
- Begonias 1C

GRASSES

- Kikyu (will tolerate extreme wet and dry but may be difficult to crop)
- Paspallum (will tolerate extreme wet and dry)
- Poa species
- Crested Dogs Tail
- Yorkshire Fog (if fairly wet regularly)
- Canary Reed Grass

GROUND COVERS

- Mercury Bay Weed (useful on light soils)
- Yellow Clovers (or pseudo clovers - good where extra wet)

NOTES:

Verify all dimensions before starting work

1	18/09/98	For Consent
Issue	Date	Comment

JOHN SNOOK LTD Consulting Engineers Designers

1 Bridge Court, 100 Oxford Terrace
PO Box 3839 Christchurch New Zealand
Ph (03) 366-7251 Fax (03) 366-2048

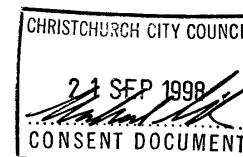
PROPOSED EFFLUENT DRAINAGE SYSTEM FOR KAIN HOUSE AT 64 RYANS ROAD CHRISTCHURCH

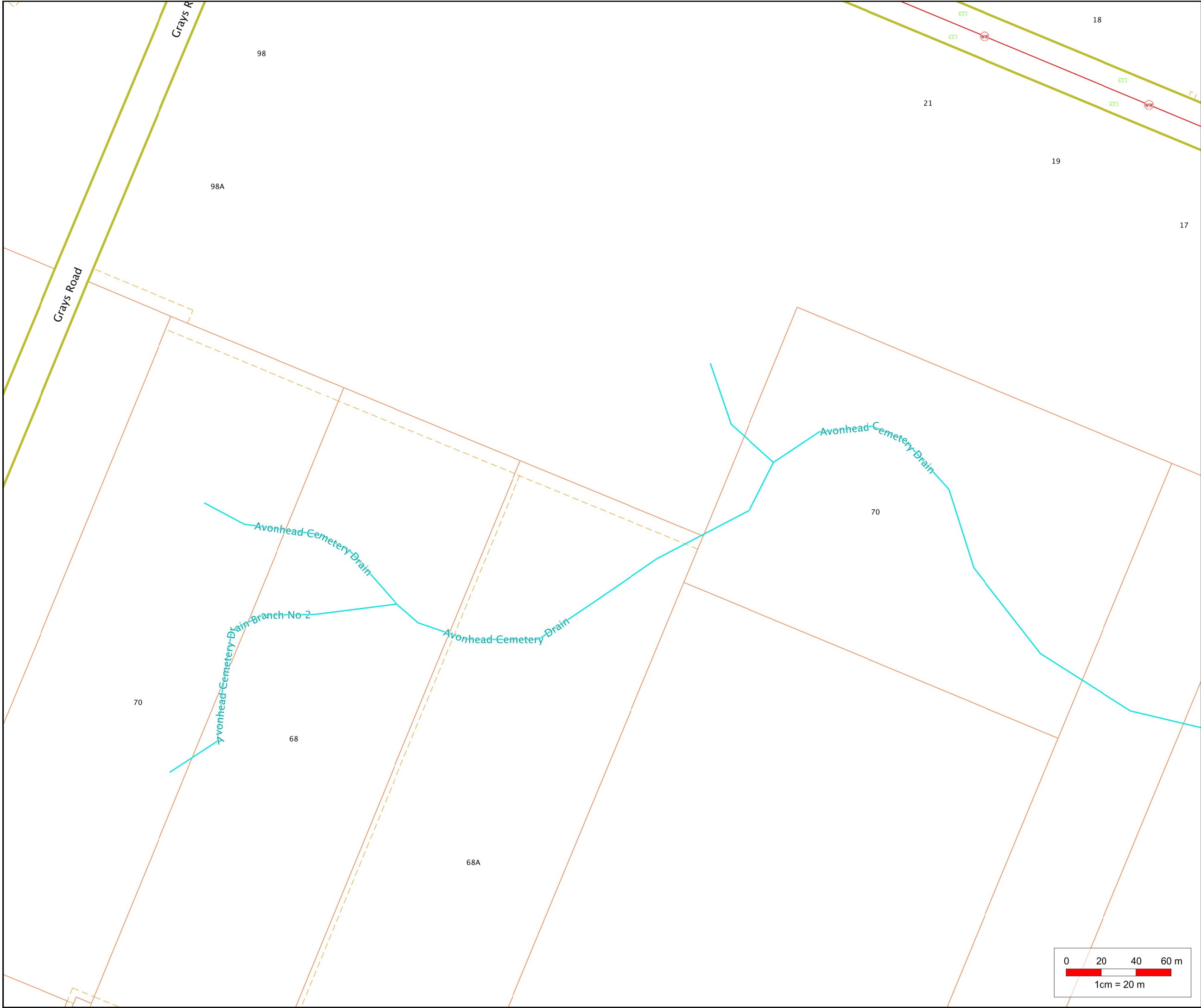
DISPOSAL FIELD DETAILS

All building work shall comply with the
New Zealand Building Code notwith-
standing any inconsistencies which may
occur in the drawings and specifications
Scales: 1:20

Designed: JKS	Drawn: WRR
Checked:	Approved:
Date: SEPTEMBER 1998	

Project	Drawing	Issue
19114	D03	1





Private Drainage

Standard Infrastructure
Bio Gas
Condensate
Trap
End Cap
Inlet
Outlet
Valve
Main
Cable

Wastewater
Local Pressure
Control Panel
Boundary Kit
Tank System
Site
Vacuum Chamber
Vacuum Breather

Water Intake/Supply
Connector
Bellows
Connector
Hydrant
Inlet
Meter
Outlet
Pump
Restrictor
Valve
Air Release
Butterfly
Flow restriction
Gate
Pressure
Activated
Sluice
Valve
Reservoir
Structure
Lateral
Main
SubMain

Stormwater
Bend
Change
Eye
Flow Restriction
Inlet
Dome Sump
Double Sump
Gross Debris
Trap
Inlet
Inlet Headwall
Pipe End
Silt Trap
Single Sump
Soak Pit
Triple Sump
Junction
Standard Manhole
Outlet
Pump
Structure
Basin
Lateral
Main
Lateral Fitting
Double Sump
Single Sump
Soak Pit
Inspection point
Manhole

Wastewater
End Cap
Valve
Air Gap Separator
Vent
Eye
Eye (Vertical)
Outfall
Pump
Junction
Access
Flush Manhole
Inspection Point
Standard Manhole
Trap
Vented Manhole
Lateral Fitting
Lateral
Main
Pressure Main

All services
Pipe protection
Abandoned
Proposed
Out of service

Landbase
Easement



1 : 2,000 on A3

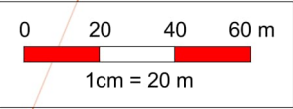
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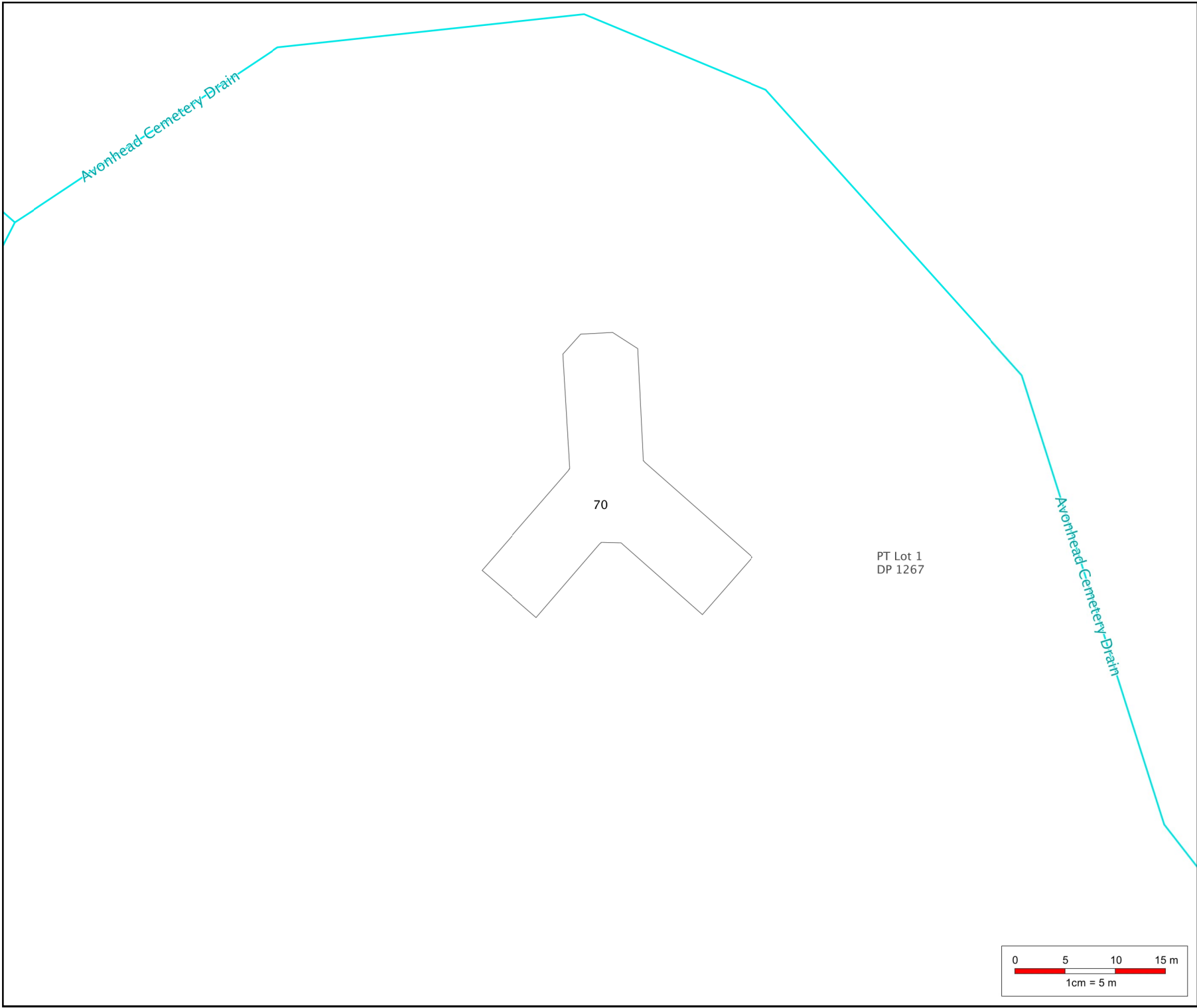


ph: 941-8300 fax: 941-8385

Accuracy not guaranteed. Onsite verification required. Display of data scale dependent, full detail available at 1:500.

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Private Drainage

Standard Infrastructure	Wastewater
Bio Gas	Local Pressure
Condensate	Control Panel
Trap	Boundary Kit
End Cap	Tank System
Inlet	Site
Outlet	Vacuum Chamber
Valve	Vacuum Breather
Main	
Cable	
Water Intake/Supply	Stormwater
Connector	Bend
Bellows	Change
Connector	Eye
Hydrant	Flow Restriction
Inlet	Inlet
Meter	Dome Sump
Outlet	Double Sump
Pump	Gross Debris
Restrictor	Trap
Valve	Inlet Headwall
Air Release	Pipe End
Butterfly	Silt Trap
Flow restriction	Single Sump
Gate	Soak Pit
Pressure	Triple Sump
Activated	Junction
Sluice	Standard Manhole
Valve	Outlet
Reservoir	Pump
Structure	Structure
Basin	Basin
Lateral	Lateral
Main	Main
SubMain	Lateral Fitting
	Double Sump
	Single Sump
	Soak Pit
	Inspection point
	Manhole
Wastewater	All services
End Cap	Pipe protection
Valve	Abandoned
Air Gap Separator	Proposed
Vent	Out of service
Eye	
Eye (Vertical)	
Outfall	
Pump	
Junction	
Access	
Flush Manhole	
Inspection Point	
Standard	
Manhole	
Trap	
Vented Manhole	
Lateral Fitting	
Lateral	
Main	
Pressure Main	



1 : 500 on A4

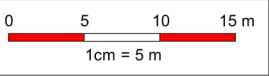
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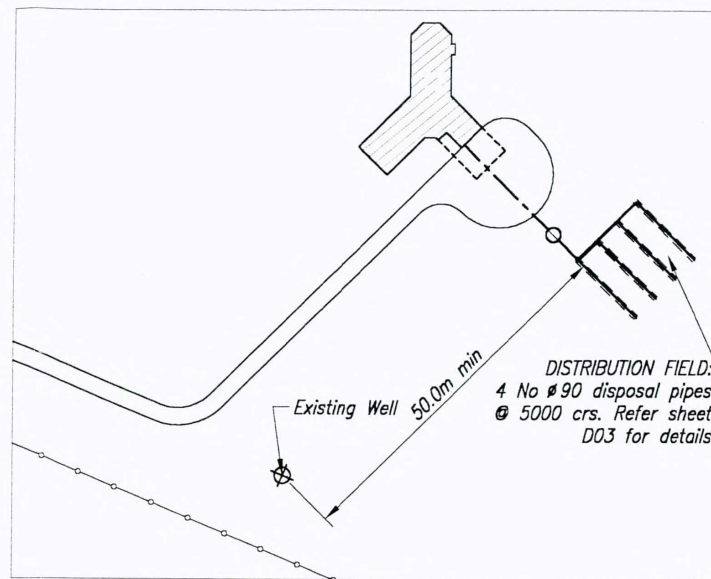
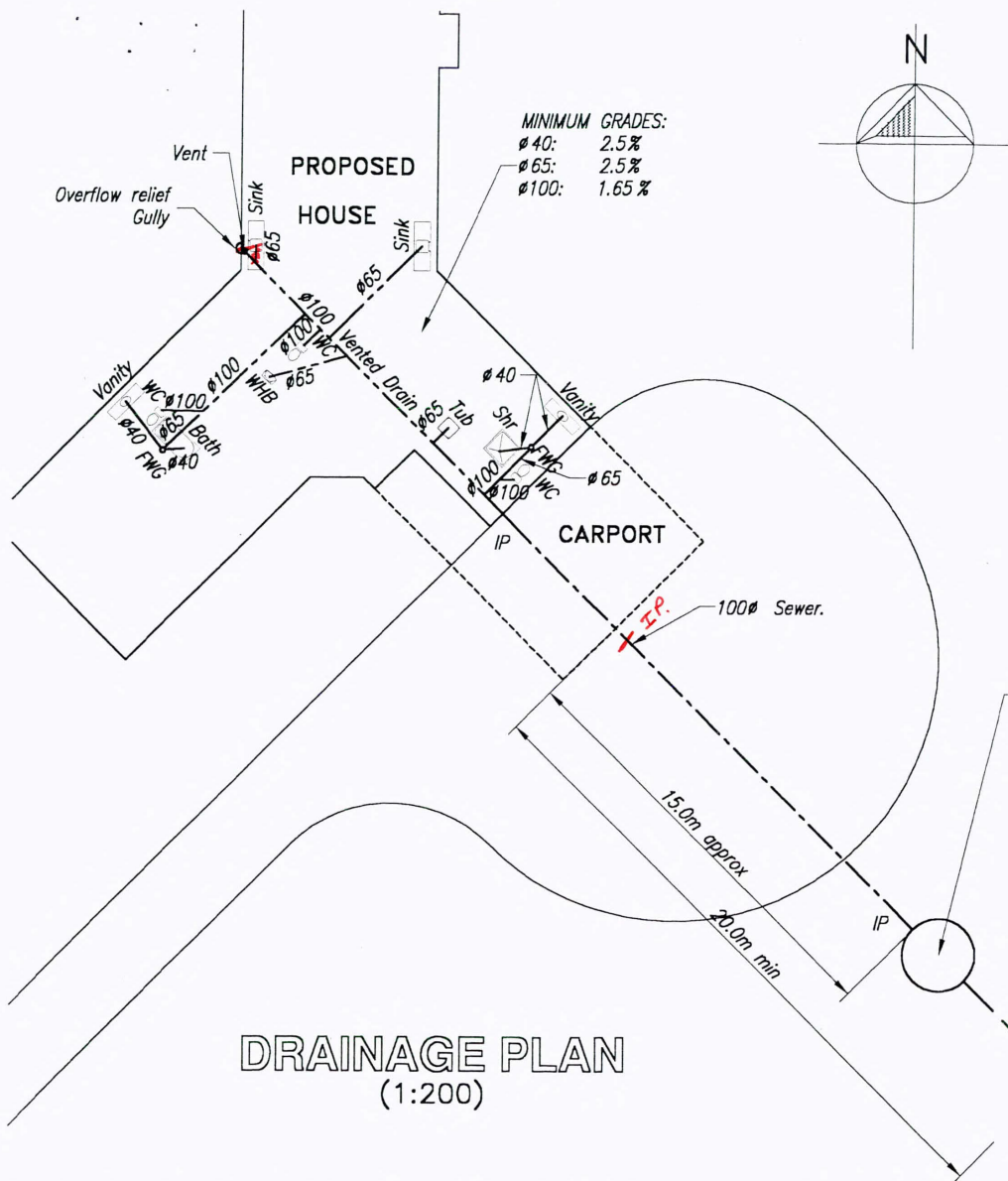


ph: 941-8300 fax: 941-8385

Accuracy not guaranteed. Onsite verification required. Display of data scale dependent, full detail available at 1:500.

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NOTES:

Verify all dimensions before starting work

KEY

TV Terminal Vent
 FW Floor Waste Gully
 IP Inspection Point

1	18/09/98	For Consent
Issue	Date	Comment

JOHN SNOOK LTD
 Consulting Engineers
 Designers

1 Bridge Court 100 Oxford Terrace
 PO Box 3839 Christchurch New Zealand
 Ph (03) 366-7251 Fax (03) 366-2048

**PROPOSED EFFLUENT
 DRAINAGE SYSTEM
 FOR
 KAIN HOUSE
 AT
 64 RYANS ROAD
 CHRISTCHURCH**

DRAINAGE PLAN

All building work shall comply with the
 New Zealand Building Code notwith-
 standing any inconsistencies which may
 occur in the drawings and specifications.

Scales:	1:200, 1:1000		
Designed:	JKS	Drawn:	WRR
Checked:		Approved:	
Date:	SEPTEMBER 1998		

Project	Drawing	Issue
19114	D01	1

All work shall comply with the NZ Building Code, NZS 4610, AS/NZS 3500, and with Christchurch City Council requirements.

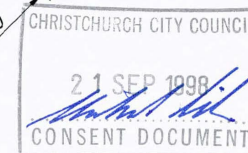
Contractor shall verify dimensions, line, and levels, so as to confirm setting out prior to commencing work.

Irrigation field trenches shall be carefully excavated to minimise disturbance, and compaction of topsoil, also to ensure the trench base is level. Trench sides and base to be scarified with a rake prior to laying gravel.

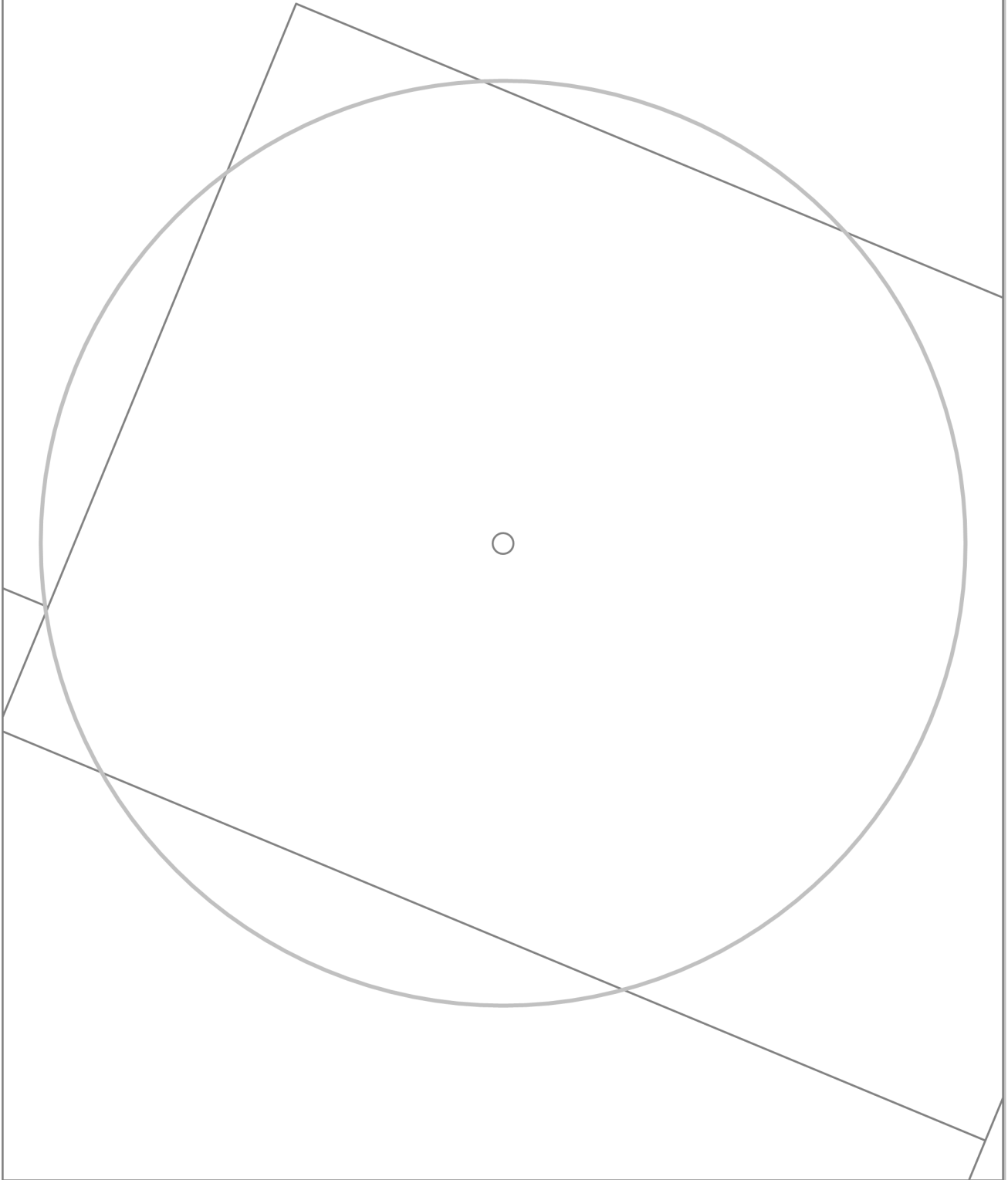
Prior to backfilling, the irrigation pipes shall be water flow tested, and any necessary adjustments made to ensure an even discharge is achieved along the full distribution system. Provide 2 days notice to Engineer for observation

On completion of backfilling of pipes and tank reinstate topsoil, and grade to smooth even surface.

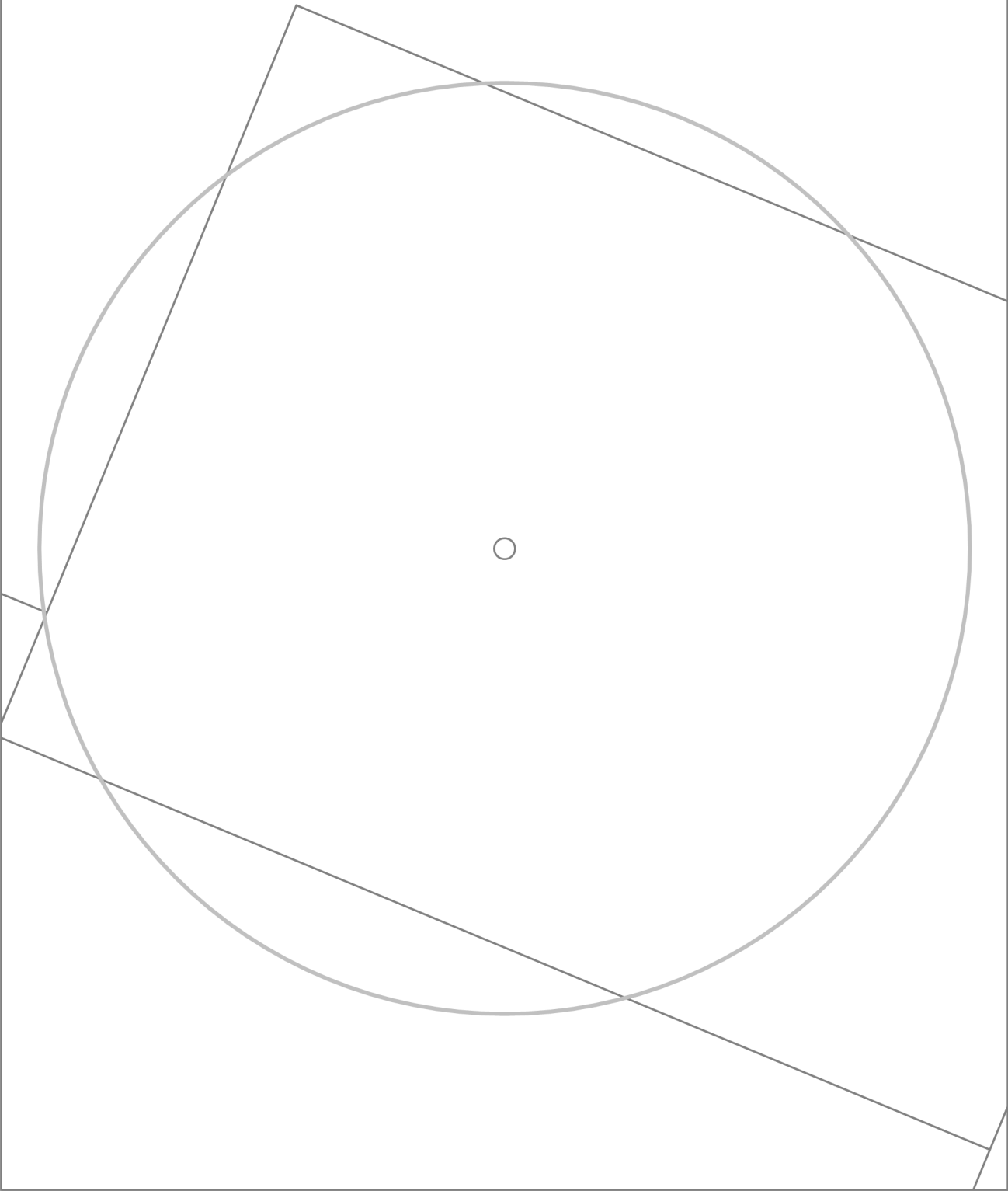
Contractor to produce as built drawing on completion.



**70 Grays Road
Land Use Consents**



**70 Grays Road
Subdivision Consents**



Land Use Resource Consents within 100 metres of 70 Grays Road

Note: This list does not include subdivision Consents and Certificates of Compliance issued under the Resource Management Act.

50 Ryans Road

RMA/2013/1520

Addition of a Pre-fab Office - Historical Reference RMA92023197

Processing complete

Applied 06/08/2013

Decision issued 23/08/2013

Granted 23/08/2013

RMA/2014/2110

SHED - Historical Reference RMA92026791

Processing complete

Applied 15/08/2014

Decision issued 04/09/2014

Granted 04/09/2014

561 Avonhead Road

RMA/2013/1370

ESTABLISH A WAREHOUSE WITH ANCILLARY OFFICES AREA - Historical Reference RMA92023033

Processing complete

Applied 17/07/2013

Decision issued 27/08/2013

Granted 27/08/2013

RMA/2013/2329

Establish and operate a distribution centre - Historical Reference RMA92024049

Processing complete

Applied 05/11/2013

Decision issued 27/11/2013

Granted 26/11/2013

RMA/2013/243

Establish and operate a manufacturing facility - Historical Reference RMA92021830

Processing complete

Applied 15/02/2013

Decision issued 22/03/2013

Granted 21/03/2013

RMA/2014/1367

Surrender of RMA92021830 - Historical Reference RMA92026016

Processing complete

Applied 05/06/2014

Decision issued 17/06/2014

Granted 17/06/2014

RMA/2014/160

Construct a 600,000 litre water supply tank with associated pump house facilities for fire fighting purposes - Historical Reference RMA92024760

Processing complete

Applied 29/01/2014

Decision issued 19/02/2014

Outline plan accepted 18/02/2014

RMA/2014/808

Establish and operate a manufacturing facility - Historical Reference RMA92025439

Processing complete

Applied 07/04/2014

Decision issued 07/05/2014

Granted 06/05/2014

RMA/2015/2881

Outline Plan Waiver - Extension of the existing concrete pad for the fumigation area - Historical Reference RMA92031251

Processing complete

Applied 16/10/2015

Decision issued 23/10/2015

Outline plan accepted 23/10/2015

RMA/2017/2264

Construct a link road connecting Syd Bradley and George Bellow Roads

Processing complete

Applied 15/09/2017

Decision issued 19/10/2017

Outline plan accepted 19/10/2017

RMA/2017/2782

Construct a Warehouse and Distribution Centre with ancillary office

Processing complete

Applied 09/11/2017

Decision issued 12/02/2018

Granted 12/02/2018

RMA/2017/465

Outline Plan - Warehouse and Office Building for DHL

Processing complete

Applied 06/03/2017

Decision issued 21/03/2017

Outline plan accepted 21/03/2017

RMA/2017/843

EBOS healthcare

Not accepted for processing

Applied 18/04/2017

Not accepted for processing 06/05/2017

68A Ryans Road

RMA/1973/83

Specified departure and conditional use to a) subdivide the land and obtain separate title B) erect a dwelling house and outbuildings on the land and - Historical Reference RES9205225

Processing complete

Applied 25/01/1973

Decision issued 03/04/1973

Granted 03/04/1973

RMA/2000/2283

To erect dwellings on Lots 2,3 & 4 which are all less than 40 hectares in size. (Paparua Transitional Plan) Maintain existing dwellings on Lot 1. - Historical Reference RMA20003025

Processing complete

Applied 08/09/2000

Decision issued 12/09/2000

Granted 12/09/2000

RMA/2002/1604

To erect future dwellings on Lots 1 & 3 and to retain existing dwelling on lot 2. All lots are less than 40 hectares as required under the Paparua Trans. Plan. - Historical Reference RMA20010615

Processing complete

Applied 03/07/2002

Decision issued 15/07/2002

Granted 15/07/2002

Data Quality Statement

Land Use Consents

All resource consents are shown for sites that have been labelled with an address. For sites that have been labelled with a cross (+) no resource consents have been found. Sites that have no label have not been checked for resource consents. This will be particularly noticeable on the margins of the search radius. If there are such sites and you would like them included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay. Resource consents which are on land occupied by roads, railways or rivers are not, and currently cannot be displayed, either on the map or in the list. Resource consents that relate to land that has since been subdivided, will be shown in the list, but not on the map. They will be under the address of the land as it was at the time the resource consent was applied for. Resource consents that are listed as Non-notified and are current, may in fact be notified resource consents that have not yet been through the notification process. If in doubt. Please phone (03)941 8999.

The term "resource consents" in this context means land use consents. Subdivision consents and certificates of compliance are excluded.

Subdivision Consents

All subdivision consents are shown for the sites that have been labelled with consent details. For Sites that have been labelled with a cross (+) no records have been found. Sites that have no label have not been checked for subdivision consents. This will be particularly noticeable on the margins of the search radius. If there are such sites and you would like them included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay.

The term "subdivision consents" in this context means a resource consent application to subdivide land. Non subdivision land use resource consents and certificates of compliance are excluded.

This report will only record those subdivision applications which have not been completed i.e once a subdivision has been given effect to and the new lots/properties have been established the application which created those lots will not be shown

All subdivision consent information is contained on the map and no separate list is supplied