

T-33 Code Compliance Certificate Checklist

Note: In some cases some of the following items may not need to be checked

ADDRESS OF PROPERTY	13 McDonald St Rarangi
CONSENT NUMBER	2009978
DATE	19/02/09

NUMBER	ISSUE	YES	NO	N/A	COMMENT *1-7(CSO BUILD)
1. *	Change of owner	YES	NO	N/A	
1. *	Request for CCC within the 2-year time-frame	YES	NO	N/A	9 Feb 2009
2. *	All inspections completed	YES	NO	N/A	
3. *	Development contributions paid	YES	NO	N/A	
4. *	Energy works certificate provided	YES	NO	N/A	
5. *	Inspection fees paid	YES	NO	N/A	
6. *	All building consent conditions fulfilled	YES	NO	N/A	smoke alarms
7.	Ensure that conditions of geotechnical reports / engineers reports or Producer Statements complied with	YES	NO	N/A	
8.	Work complies with approved building consent documentation	YES	NO	N/A	Fire
9.	Specified systems // performance standards	YES	NO	N/A	
10.	Green Final Sheet Check Items	YES	NO	N/A	with F.U
11.	LBP advised that building work does not comply	YES	NO	N/A	
12.	Survey certificates – siting, height in relation to boundary, maximum height of building or minimum floor level	YES	NO	N/A	
13.	List of consultants & Advice of Completion Form (Form 6)	YES	NO	N/A	with file
14.	Amendments and associated documentation properly completed.	YES	NO	N/A	



SCANNED

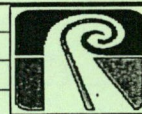
15.	• Document applies to building work for which a building consent has been issued before the date on which the Compliance Document came into force.	YES	NO	N/A	
16.	• Reference (if applicable) to Acceptable Solutions or Verification Methods.	YES	NO	N/A	
17.	Documentation incomplete , suspend the time clock. Obtain necessary information Enter note into NCS.	YES	NO	N/A	
18.	If time clock stopped, owner notified	YES	NO	N/A	
19.	File forwarded to a senior Building Services Officer to undertake a Peer review and arrange issue of CCC	YES	NO	N/A	
20.	If compliance schedule must be issued, coordinate issue with issue of CCC	YES	NO	N/A	
21.	Photographs	YES	NO	N/A	with PL
22.	CPENG Engineers Producer Statements	YES	NO	N/A	
23.	Alternative Solutions	YES	NO	N/A	
24.	CCC Consent over 5 years old (Peer Review TTL, DE)	YES	NO	N/A	
Compliance Document must not state any restrictions relating to:					
25.	• Regulatory approvals, dispensations or waivers.	YES	NO	N/A	

¹ "YES" MEANS APPROVED, "NO" MEANS NOT APPROVED, "N/A MEANS NOT APPLICABLE.

ISSUE CODE COMPLIANCE CERTIFICATE	YES	NO	
STAFF RESPONSIBLE	Maccorm		
REASON FOR DECISION	S.O.R.G To Consent		

SCANNED

FINAL INSPECTION SHEET



Date **13/02/09** Action **305** Far North District Council

BC# **2009978** Time **3.00** AM/PM

Applicant/Builder **Umbers** Inspection Description **Final**

Property Address **13 Mc Donnell St Rawene** Issue CCC **Yes/No**

Valuation **611-103** Reinspection Needed **Yes/No**

Travelling Time : :
Inspection Time : :
Officer **mmc**
Signature **m. [Signature]**

FINAL Inspection	OK	Not	N/A	Comments
1 Peer Review required (over 5yrs)				
2 Owners Application for CCC / Contractors list	<input checked="" type="checkbox"/>			
3 Consent Documents on Site				
4 Photos Taken	<input checked="" type="checkbox"/>			

FINAL Fireplaces Inspection	OK	Not	N/A	Comments
1 Smoke Alarms with Hush	<input checked="" type="checkbox"/>			
2 Hearth size & secured	<input checked="" type="checkbox"/>			
3 Fire Place clearances	<input checked="" type="checkbox"/>			
4 Fire Place secured	<input checked="" type="checkbox"/>			
5 Flue Shield	<input checked="" type="checkbox"/>			
6 Flashings / Flue height	<input checked="" type="checkbox"/>			
12 Wet back circulators correct size & fall				

PLUMBING	OK	Not	N/A	Comments
1 Waste pipe correct support & gradient				
2 Water Filtration system installed				
3 Hot Water pipe lagged				
4 1 metre minimum of copper outlet of HWC				
5 Hotwater cylinder seismic restraint				
6 Hot water tempering value set at 45/55 degrees				
7 Hot water energy cut out switch to all valve vented systems				
8 Hot water drain OK (falls to outside of building)				
9 Filter, non return, stop, cold water expansion, pressure reducing & pressure relief valves				
10 Notches & holes in joists & bearers				
11 Waste pipes sizing / fall / support / to gully trap				
12 Soil pipe sizing / fall / support				
13 Adequate support to water pipes				
14 Water supply Tank / bore / supply				
15 Back flow prevention where required				

FINAL Internal Inspection	OK	Not	N/A	Comments
1 Smoke alarms with Hush				
2 Sink insert secured correctly				
3 Service rooms Impervious walls				
4 Service rooms Impervious floors				
5 Producer statement membrane in wet areas				
9 Ceiling insulation (clear of Downlights)				
10 Safety glass where required				
11 Ventilation				
13 Stairs gap / tread / rise / handrails				
14 Barrier Height 1.0m / 1.1m / Stairs 900mm				
15 Safety from Falling eg. 100mm balustrade gaps				
16 Access for disabled - Commercial only				
17 Facilities for disabled - Commercial only				
18 All surfaces Completed				

ENTERED

FINAL EXTERIOR Inspection		OK	Not	N/A	Comments
1	Conditions on Resource/ Building Consent				
1a	Landscaping Complete				
2	Joints in bearers supported				
3	Ground clearance to u/side of floor				
4	Subfloor ventilation				
5	Subfloor bracing				
6	U/floor Insulation				
7	Finnished ground level				
8	Cladding (joints, corner, scribes window flashing etc)				
9	Cladding- painted / penetrations sealed				
10	Brick veneer weep holes cleared				
11	Roof & post fixings				
12	Roof, ridging & flashings fixed correctly				
13	Roof penetrations flashed correctly				
14	Spouting fixed correctly				
15	Down pipe clips at 1.2				
16	Vent pipe clips at 1.2				
17	Vent Dischrage/Vermin Cage				
18	Stairs gap / tread / rise/ handrails				
19	Barriers 1.0m /1.1m /Stairs 900mm				
20	Safe from Falling Balustrades				
21	RAMPS grade / slip resistance				
22	Safety Glass (Glass Visible-commercial)				
DRAINAGE		OK	Not	N/A	Comments
1	Asbuilt drainage plan s/water and sewer				
2	Gully dish 25 mm above sealed surface "A"				
3	Gully dish 75mm above unsealed surface "B"				
4	Relief gully installed				
5	Foulwater drain finished				
6	Ventilation to drains e.g. TV & or valves				
7	Stormwater drain finished				
8	Retaining wall drainage connected into stormwater drain				
9	Overflow to water tank				
10	Access for septic tank maintenance				
11	Commissioning statements				
12	Effluent Completed Barking/Planting				
Producer Statements		OK	Not	N/A	Comments
1	Engineer / Licenced Building Practioneer				
2	Membranes / Roof				
FINAL POOL Inspection		OK	Not	N/A	Comments
1	Pool Fencing Compliance. (Sheet completed)				
2	Back flow prevention where required				
ENERGY CERTIFICATES		OK	Not	N/A	Comments
1	Electrical				
2	Gas				
ROAD DAMAGE		OK	Not	N/A	Comments
1	Footpath & kerb damage				
2	Crossing installed				
COMMERCIAL		OK	Not	N/A	Comments
1	Compliance Schedule				
2	Fire Design Compliance				
3	FPIS report				
4	Certificate of Public Use				
5	Fire Service - Evacuation Scheme				
6	Fire Service - Conditions Meet				
7	Poducer Statemants- Fire alarm, Ventilation etc				

SCANNED



SCANNED



**FAR NORTH DISTRICT COUNCIL
NOTIFICATION OF LICENSED TRADESMEN**

(To be completed and returned to Council a minimum of 2 days prior to any work commencing)

BUILDING CONSENT NO: 2009978

APPLICANT:

BUILDER	
Name:	<u>Ambler Plumbing Kaitake</u>
Contact:	<u>Telephone: 4011592</u>
Address:	<u></u>

PROJECT AND LOCATION	
Description of Work:	
Street Address:	
Area:	Property ID:

In compliance with the Plumbers, Drainlayers and Gasfitters Act 1976 and the Energy Sector Reform Act 1992, the following tradesman/men has/have been hired to carry out the work described in the above referenced Building Consent:

PLUMBER	
Name:	<u></u>
Address:	<u></u>
Telephone:	Licence No: <u></u>
Signature:	Date: <u></u>

DRAINLAYER	
Name:	<u></u>
Address:	<u></u>
Telephone:	Licence No: <u></u>
Signature:	Date: <u></u>

ELECTRICIAN	
Name:	<u></u>
Address:	<u></u>
Telephone:	Licence No: <u></u>
Signature:	Date: <u></u>

GASFITTER	
Name:	<u></u>
Address:	<u></u>
Telephone:	Licence No: <u></u>
Signature:	Date: <u></u>



Far North
District Council

ADVICE OF COMPLETION OF BUILDING WORK
UNDER SECTION 51 BUILDING ACT 2004

APPLICABLE TO BUILDING CONSENT NUMBER
BC-...2009.978.978.....

Applicant(s):
Mailing Address:
Contact:
Telephone:

Property Address:
Description of work:

Legal Description:
Property ID:


(MARK- EACH APPLICABLE CIRCLE AND ATTACH RELEVANT DOCUMENTS)

1. I wish to advise Council that:
☒ all
of the building work under the above building work has been completed to the extent
required by the building consent.
2. Council is requested to undertake the final inspection:
☒ a final
3. The attached particulars include:
☐ Building Certificates
☐ Producer Statements
☐ Energy Works Certificate
☐ Compliance Schedule
☐ Commissioning Certificate
☐ Any other amended plans not yet approved
4. Please provide "as laid" plans:
☐ Sanitary Drainage ☐ Stormwater Drainage

SIGNED AND DATED BY, OR ON BEHALF OF, THE APPLICANT(S)

Signature:-

Date:-



PLEASE CALL 0800 920 029 TO MAKE AN APPOINTMENT FOR A FINAL INSPECTION

Time:-

Date:-

RECEIVED

TRACKING SHEET

Fire Place BC Only

BUILDING CONSENT No. BC-2009-978/0

NAME: Makareta Mary Umbers/Riki
DATE: 9 February 2009
PROJECT DESCRIPTION: Freestanding Fireplace - Milan Caldo Rad Rustic
PROPERTY ID: 3326041 - 2426041 6
LEGAL DESCRIPTION: SEC 172 RAWENE TOWNSHIP
PROJECT LOCATION: 13 McDonell Street, Rawene 0443
NEW LOT / DP NUMBER:

BUILDING OFFICER

DATE: 09-02-09

SIGNED: *[Signature]*

CONDITIONS:

Fire Alarms.

FIRE DISPENSATION

DATE:

SIGNED

CONDITIONS:

Enter Swimming Pool Register	BWO / Compliance Schedule Required	NRC Septic Tank Booklet	NRC (Consent on behalf)	NUMBER OF INSPECTIONS	
				PREPAID	CHARGE
				1	

FIREPLACE - CPU CHECKLIST

ABA N° :

BC-2009-978/0

Name of Applicant :

Makareta Mary Umbers

	The issues below have been checked	YES	NO
1	PLAN : Location of fire within dwelling	✓	
2	MANUFACTURERS' DETAILS : Model Identified.	✓	
3	FREESTANDING :	✓	
4	INBUILT :		✓
5	WET BACK : (Registered Plumber/Drainlayer identified)		✓
6	HEARTH: Size & Construction	✓	
7	SEISMIC RESTRAINT:	✓	

Checklist Completed By (Print Name) :

D. Paraone

Dated :

9-2-09.

Signature :

D. Paraone

CONDITIONS :

Smoke Alarms.

Far North District Council

Unit: Building Processing Description: Applications File Complete checklist
 Document No.:
 Revision No.: Version: 2.1 Date issued: 19/09/08
 Applicant Name: Makareta Mary Umbers
 Application Number: BC-2009-978/0

Item Checked				Comments
Building Application Form	Y	N	N/A	
PIM	Y	N	N/A	
Resource Consent (form 4A)	Y	N	N/A	
All Plans - stamped correctly (drainage, elevations, site etc)	Y	N	N/A	
Specifications	Y	N	N/A	
Design Reports	Y	N	N/A	
Bracing / Engineering Calculations present	Y	N	N/A	
Producer Statements	Y	N	N/A	
Specified Systems information	Y	N	N/A	
Processing Checklists	Y	N	N/A	
Requests for additional information	Y	N	N/A	
Memoranda from NZ Fire Service Commission	Y	N	N/A	
Approval form NZ Historic Places Trust	Y	N	N/A	
Building Consent Conditions	Y	N	N/A	
Building Consent	Y	N	N/A	

Checked by: [Signature]

Date: 9-2-09

Compliance Schedules	Y	N	N/A	
Building Warrants of fitness	Y	N	N/A	
Test Certificates, Energy Certs, other Certs	Y	N	N/A	
Inspection records/sheets	Y	N	N/A	
T.33 Checklist	Y	N	N/A	
Code Compliance Certificate	Y	N	N/A	

Checked by:		Date	
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Y = Yes in file. N = Not on file. N/A = Not applicable to this file.

Note if "N, Not on file" is used, reasons why will need to be added to the Comments box.



PD 210.

APP #185

TITLE # 30

\$215

ENVIRONMENTAL
9-FEB-2009
RECEIVED

Application No. 2009 - 97810

Building Support Office: Solid Fuel Heater/Fireplace Checklist Including second-hand burners and restored burners.

Note: Wood burners on properties of less than 2Ha must comply with the National Environmental Standards.

We strongly advise you to book a Pre Application Vetting meeting **before** you lodge your PIM /Building consent. To assist you in completing this checklist, please read the attached Guidance Notes. These help explain each item and its requirements. This checklist can be used for either the standard Building Application Form or with the Heater Application Form

Please submit the number of copies stated. All plans must be to scale

	Yes	No	Council use only
1. Completed Application Form	<input type="checkbox"/>		<input type="checkbox"/>
2. Payment of Application Fee	<input type="checkbox"/>		<input type="checkbox"/>
3. Evidence of Ownership. * CT not more than 6 months old; *Lease agreement etc	<input type="checkbox"/>		<input type="checkbox"/>
4. Floor plan of building <i>LEGAL DESCRIPTION</i>	<input type="checkbox"/>		<input type="checkbox"/>
5. 2 copies Fireplace/Heater Specification <i>APPLICANT NAME</i>	<input type="checkbox"/>		<input type="checkbox"/>
6. 2 copies of Smoke Detection Installation details <i>FLUE HEIGHTS</i>	<input type="checkbox"/>		<input type="checkbox"/>
7. 2 copies of Wet Back Installation details If applicable	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Dispensation Form for a second-hand fireplace if applicable	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Signed by applicant:.....Date.....

Any outstanding items:

Checked by FNDC (Print name).....Accepted: ☐ Yes ☐ No

Signature of officer *[Signature]* Date *9-2-09*

For Building Enquiries please contact the Far North District Council Ph: 0800-920-029 . You may also visit our web site: www.fndc.govt.nz

AMBLER PLUMBING
TO SEND MAIL WITH OWNER'S NAME,
VALU. OF PROPER FLOOR/ROOF DIMENSIONS.

HOUSING NZ?

Guidance notes

Planning Guidance notes

It is strongly recommended that you ask your Building Professional to complete your application forms and checklists. Council regrets that, under the provisions of The Building Act 2004, its officers are unable to offer technical advice on specific projects.

It is important to talk to Planning Guidance staff at your earliest convenience. Your project will need to comply with the District Plan and Resource Management Act 1991. If you need a Resource Consent, or need to get neighbours consent, for example, you should organise these before you lodge your Building Consent. Please phone 0800- 920-029 to arrange an appointment.

1. **Application Form.** This includes all checklists and other supporting documents required for your application
2. **Fees:**

Fees payment will be required as part of the application for consent. Please check our *Fees and Charges* booklet to calculate your fees due for the type of consent you are applying for, or the Building Officer will do this for you if you prefer. Payment options are cash, cheque or Eftpos/credit cards.
3. **Evidence of Ownership.** This is an important document that identifies which piece of land the project is to be built on and **must** be supplied with all applications. The Certificate of Title must be no more than 6 months old. This can be obtained from Land Information New Zealand; or from the FNDC on request; an application form is included in your Development Pack. There is a fee for this service details of which are in the *Fees & Charges* booklet enclosed. Also supply a copy of any consent notice, Building Line Restrictions and Transit Gazette Notice that maybe registered against the title and show compliance with these notices.
If a Certificate of Title is not submitted, another form of Proof of Ownership or authorisation to allow this installation to be undertaken must be included.
4. **Scaled floor plan of all floors and room(s) in which the fireplace/heater is installed**

Please supply this scaled floor plan, detailing:

 - Location of Heater & smoke/fire detectors in each room.
 - Location of water cylinder if a wetback or booster is fitted.
 - Measurements from the fire box to any windows. There is a minimum 1m separation from the fire box to any curtains. This is for fire safety reasons as these curtains could drape over the firebox and ignite, unless they are tied back, or weighted down. Please detail this where applicable.
 - Measurement from a timber mantel piece to inbuilt heater, where applicable. There is a minimum 500mm separation from the top of the firebox, to the underside of the mantle piece, unless a heat shield is fitted. Please detail this where applicable.
5. **Fireplace/Heater specifications**

A copy of the heater brochure is an acceptable specification provided it includes measurements of the heater and flue away from the wall, hearth sizes, details of flue through the building and height of flue above roof line. Please ensure heater is approved to use under the new "Clean Air" guidelines. If in doubt, please discuss with our Technical Officer (AS/NZS 4013)

 - Details of how the installation will be weatherproofed, compliant with the Building Code.
 - Seismic Restraints.
6. **Smoke detector**

It is a requirement that New Zealand Fire Service approved smoke detection devices are fitted to all buildings in which a solid fuel heater/ fireplace has been installed. Please provide copies of the manufacturer's specification and installation guide.
7. **Wet back installation**

Please supply the following:

 - A plumbing schematic of the water supply from hot water cylinder to wetback and back to cylinder
 - Confirmation from the plumber that the hot water cylinder is suitable to accept the wetback
8. **Dispensation form (if applicable)**

If you are installing a second-hand heating appliance there may be certain dispensations. Your installer will be able to advise you if these apply and you should ask him to complete the necessary Dispensation Form.

Note – In built fire places require a Pre-Inspection, before installation, and one after installation

SOURCES OF INFORMATION

In addition to the help that Council officers are able to offer, there are numerous other sources of information which you might find useful when planning your project and completing your application forms. Most of these are available from FNDC Service Centres or via the website at www.fndc.govt.nz or the websites of the organisations concerned, which are included in the list below:

FNDC Information & Guidance on Building, Planning & Development

FNDC Fees & Charges Booklet

FNDC Pamphlets (available at Service Centres and the FNDC website, www.fndc.govt.nz)

Guidance Notes at the back of every Application Form and Checklist

NZ Home Owners Builders Guide

DBH, Guide to applying for a Building Consent (simple residential buildings)

(Also see the DBH website, www.dbh.govt.nz, and the Consumer Build website

www.consumerbuild.org.nz)

23 JAN 2009

C0030307.doc

CENTRE



**Far North
District Council**

Request for Certificate of Title

Application Form

A fee of \$25.00 is charged for obtaining this information on your behalf from Landonline NZ. This application must be signed and the fee paid upon application.

NB. This service is only available when applied for in conjunction with a PIM, Building Consent or Resource Consent

1. Applicant Details :

1.1 Name and Address of Applicant :

Ambler Plumbers
Box 122
Kaikohe

1.2 Contact details : *Wilma*

Phone Number : Business : *4011592* Home :

Mobile : Fax :

Email :

1.3 Name and Address of the Property Owner (if other than applicant) :

Riki *15 Mc Donell Street* *Rawene*

1.4 Address of Property for which Certificate of Title is required :(if different from above)

15 Mc Donell Street
Rawene

1.5 Legal Description :

LOT: DP: CT N° (If known):

Signature of applicant : *[Signature]*

Date : *23.1.09*

Office Use Only

Amount Paid : *25.00*

Receipt N° :

- Certificate of Title attached to application for RC/BC (YES/NO)

Didi Paraone

From: Ambler Plumbing [amblerplumbing@ihug.co.nz]

Sent: Monday, 9 February 2009 10:24 a.m.

To: Didi Paraone

Subject: B/C Mrs M Riki

Dear Didi

The Building consent and title are for Mrs M Riki formerly Miss M Umbers at 13 McDonnell Street, Rawene.

Sorry for the inconvenience, hope this will be satisfying.

Regards

Wilma, Ambler Plumbing

9/02/2009

Bob Wright

From: Ambler Plumbing [amblerplumbing@ihug.co.nz]
Sent: Tuesday, 3 February 2009 3:54 p.m.
To: Bob Wright
Subject: certificate of title

Good afternoon Bob. After our conversation I did ring Mrs Riki and she confirmed that it is nr 13 McDonnell Street Rawene.

Riki is her married name. Humbers her maiden name

The estimated value of the fire place is \$3,200.00

The flue details I have to send to you later.

I hope this will be helpfull for you

Please phone me if any more problems are coming up

Kind regards

Wilma

Ambler plumbing

4011592



Far North
District Council

March 2008

KAIKOHE SERVICE

23 JAN 2009

CENTRE

Private Bag 752, Memorial Ave

Kaikohe 0400, New Zealand

Freephone: 0800 920 029

Phone: (09) 405 2750

Fax: (09) 401 2137

Email: ask.us@fndc.govt.nz

Website: www.fndc.govt.nz

Dear Sir / Madam

BUILDING, RESOURCE CONSENT AND PROJECT INFORMATION MEMORANDUM APPLICATIONS

Due to recent changes in building legislation, Council will not be able to accept Building Consent (BC) and Resource Consent (RC) applications (including Project Information Memorandums (PIMs) for processing until a Vetting Officer has confirmed they are complete. This will apply from Tuesday March 25.

The Pre-Application Vetting service can only be offered at Council's Kaikohe, Kaitaia and Kerikeri service centres where there are sufficient technically trained back-up staff to carry out this process.

Applications can be handed in at the Kaeo, Kawakawa or Rawene service centres, but cannot be accepted formally at these sites. They will be forwarded on to the nearest main Council office for Pre-application vetting and acceptance that they are complete, before processing time frames can commence.

Alternatively, you may choose to hand in your applications at Kaikohe, Kaitaia or Kerikeri where the same pre-application vetting process will ensue, or you can contact a Vetting Officer on 0800 920-029 to organise an appointment for a Pre-application vetting meeting at one of these sites at a convenient date and time. If this application is accepted as complete at this meeting, processing times can commence from that point.

If you choose to hand in your applications rather than attend a pre-application vetting meeting, please complete the form below.

I accept that this application for:

BC / RC / PIM / ALL (delete as appropriate)

Address: 15 McDowell Street Rawene

Owner / Agent: Riki (delete as appropriate)

has not been pre-vetted and has not been formally accepted by the Far North District Council at this time. Processing time frames can only commence once it has been pre-vetted, accepted as being complete, and the appropriate payment has been confirmed and received by Council.

Name: WILMA DATEMA (please print clearly)

Signature: W. Datema

Date: 23/01/09

Patrick Schofield
Development Consents General Manager



Far North
District Council

Te Kaunihera o Tai Tokerau Ki Te Raki

**SOLID FUEL HEATER INSTALLATION
APPLICATION FOR BUILDING CONSENT**

ENVIRONMENTAL
9-11-2009
RECEIVED

In the Far North District

Section 44 - 45, The Building Act

APPLICANT

Applicant's Name :

AMBLER PLUMBING

Mailing Address :

Plumbers & Drainlayers

Telephone :

Box 122 Phone 401 1592

Email Address :

Installer's Name :

KAIKOHE

Installer's Address :

Telephone :

Email Address :

PROJECT

Make & Model of Heater :

milan caldo rad rustic

Serial Number :

Is the heater Approved & Compliant with AS/NZS 4013:1999?(circle appropriate box)

YES

NO

If No – has a dispensation been obtained?

YES

NO

INSTALLATION DETAILS

Type of Installation?

Is it, Free Standing? ☒

In-Built? ☐

or, Other? ☐

If in Built - Type of Chimney?

Is it Brick? ☐

Pumice? ☐

or, Block? ☐

Fitting a Water Booster?

Yes? ☐

or, No? ☒

Estimated Value of Heater (including installation) : \$ *3,000*

PROJECT LOCATION

Street Address : *15 McDonnell Street Rawene*

Legal description (as shown on your certificate of title) :

See C/T

Area : m²/ha

Valuation N° :

Rapid N° :

Please Provide :

1. Three copies of the Floor Plan showing location of heater (see overleaf).
2. Three copies of the manufacturers installation instructions.

Fee Payable :

See information/ fee booklet or consolidated schedule of fees

Please Note : that the installation of solid fuel heaters must be in accordance with the manufacturers instructions and AS/NZS 2918 2001 and are to have seismic restraints to comply with B1.3.3 of the Building Regulations

Signed :

M. D. D. D.

Date : *23/1/09*

Receipt N° :

Amount Paid : \$ *210.00*

Date : *23/1/09*

Consent Issued by :

J. D. D. D.

NON TECHNICAL ASSESSMENT

Date : *9.2.09*

CAT 1 2 3 4

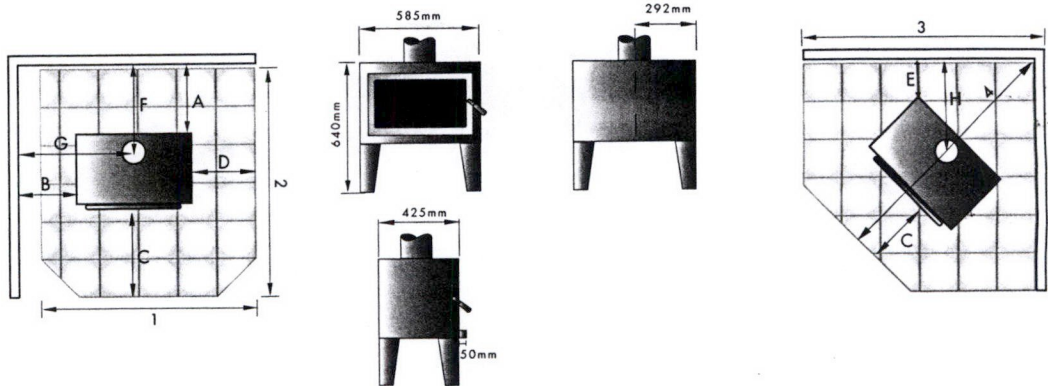
SIGNED: *J. D. D. D.*

TECHNICAL ASSESSMENT

CAT 1 2 3 4

SPECIFICATIONS

Caldo Rad Rustic Harmony



NOTE: Caldo Rad Rustic Harmony Series model must not be fitted with a Wetback/Waterbooster.

NOTE: Fuel must be loaded front to back in firebox in Milan Harmony Series models.

Minimum Clearance to Combustibles in Millimetres AS/NZS2918 : 2001

New Zealand

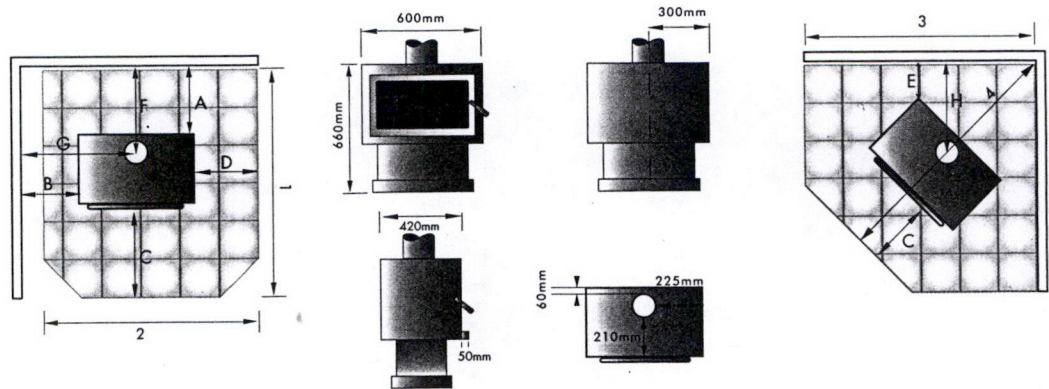
With s/s flue pipe shield

A	B	C	D	E	F	G	H
100	450	300	100	100	230	740	400

Floor Protector Dimensions

1	2	3	4
785	825	1030	1160

Caldo Harmony



NOTE: Caldo Harmony Series model must not be fitted with a Wetback/Waterbooster.

NOTE: Fuel must be loaded front to back in firebox in Milan Harmony Series models.

Minimum Clearance to Combustibles in Millimetres AS/NZS2918 : 2001

New Zealand

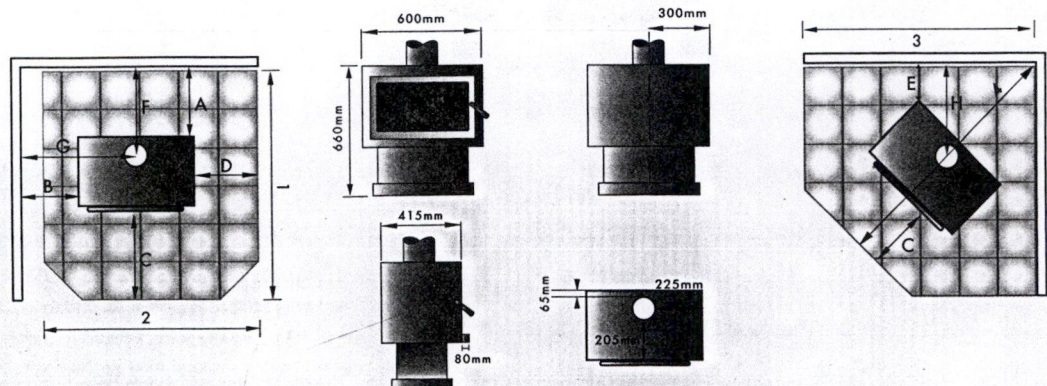
With s/s flue pipe shield

A	B	C	D	E	F	G	H
100	225	300	100	50	235	525	365

Floor Protector Dimensions

1	2	3	4
835	800	1000	1105

Piccolo Harmony



NOTE: Piccolo Harmony Series model must not be fitted with a Wetback/Waterbooster.

NOTE: Fuel must be loaded front to back in firebox in Milan Harmony Series models.

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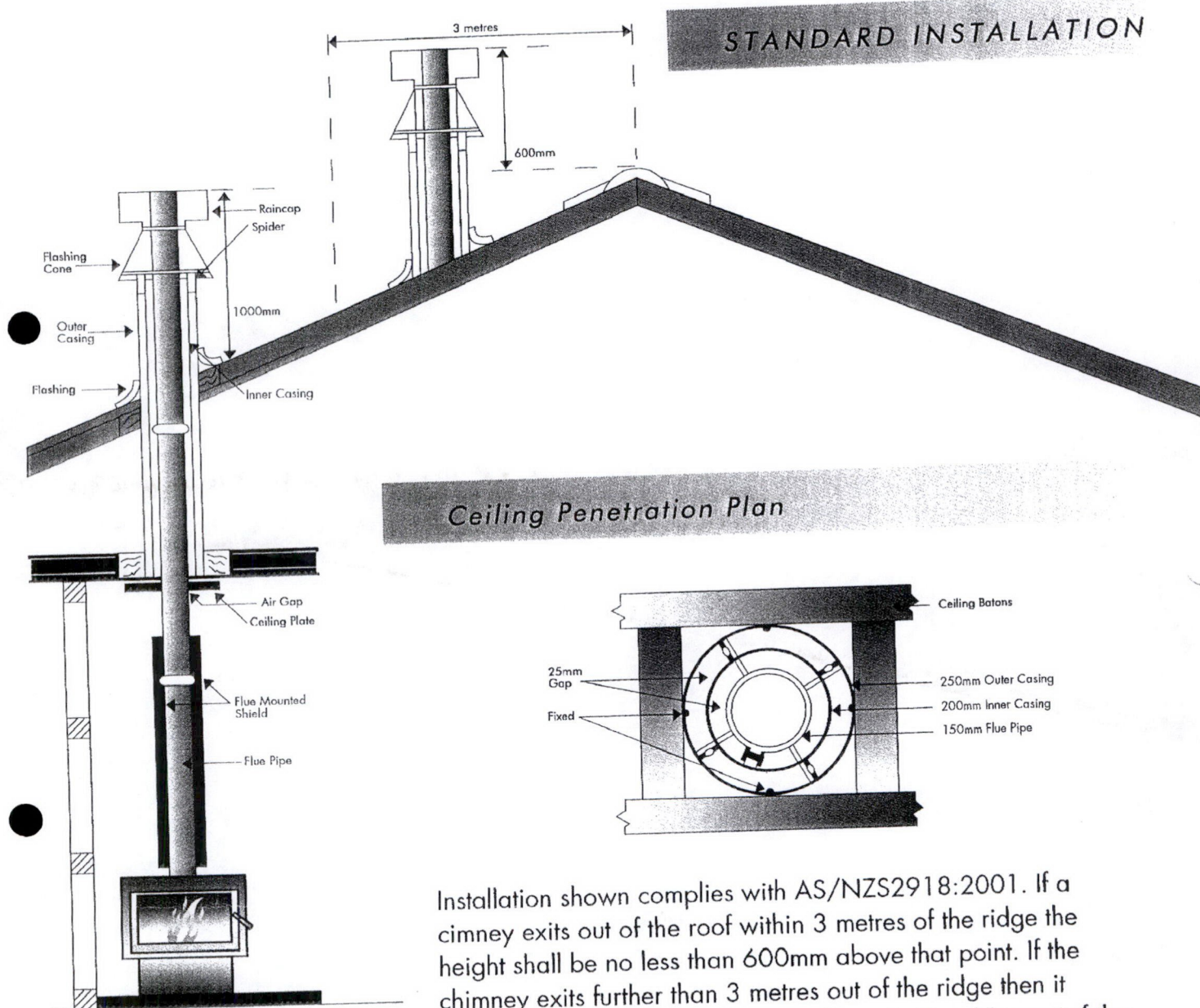
With s/s flue pipe shield

A	B	C	D	E	F	G	H
100	225	300	100	50	235	525	365

Floor Protector Dimensions

1	2	3	4
820	800	1000	1105

Milan Heating Systems Ltd



Installation shown complies with AS/NZS2918:2001. If a chimney exits out of the roof within 3 metres of the ridge the height shall be no less than 600mm above that point. If the chimney exits further than 3 metres out of the ridge then it should project 1000mm above roof penetration. No part of the building or any adjacent building may be in or above a circular area of horizontal radius of 3 metres from the flue exit.

For optimum performance overall flue length should be between 4.2m and 4.8m and have no bends. Flue pipes should be 150mm in diameter. Due to factors such as roof pitch, predominant winds, nearby obstructions (i.e. trees, buildings), and fire placement, flue lengths, hats and cowls may vary.

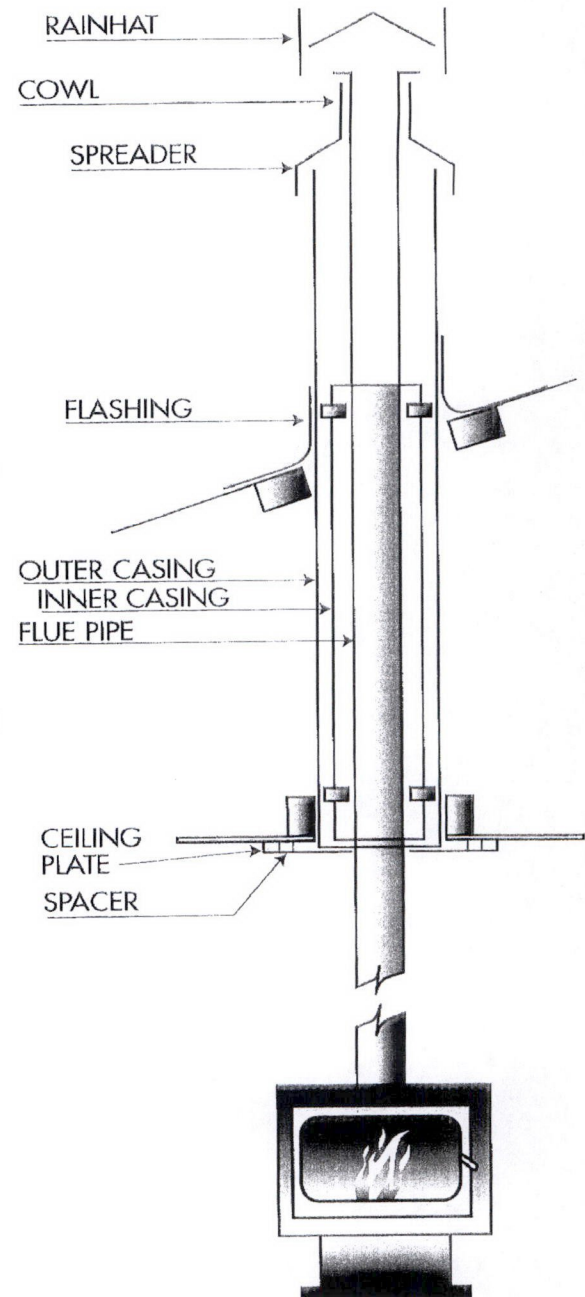
FREESTANDING FLUE SYSTEM INSTALLATION INSTRUCTIONS

TESTED TO APPENDIX F OF AS/NZS2918:2001

MEANING THAT IT CAN BE INSTALLED ON ANY APPLIANCE
WHICH HAS BEEN TESTED TO THE OLD OR NEW STANDARD

These instructions are to be read in conjunction with the manufacturer's instructions.

1. Position heater on floor protector ensuring all heater clearances are correct as per manufacturer's instructions.
2. Once the location is confirmed, the appliance and floor protector shall be mechanically fixed to the floor itself (refer to manufacturer's instructions).
3. Extend a plumb line from the centre of the fire flue pipe spigot to the ceiling. Mark position on ceiling and roof.
4. Cut a 260mm square penetration for the passage of the flue pipe and casings through the ceiling. Trim hole and nog as required to fix the outer casing on all four sides.
5. Cut and frame (when required) an opening in the roof and position that outer casing through the roof until it is flush with the underside of the ceiling. Fix with 4 screws or clouts to the framing of the square opening in the ceiling at the points where outer casing and timber meet.
6. Fix appropriate flashing around outer casing to the roof to ensure a weatherproof seal.
7. Assemble flue pipe sections ensuring all seams are in line, the assembly is straight and crimped, and ends are pointing downwards. Fix each joint with three stainless steel or monel rivets and seal.
8. Place ceiling plate with folded edges upwards over heater spigot.
9. Position the flue pipe into the heater spigot. The flue pipe can either be lowered from the top as a single unit or fed up from the room a length at a time, ensuring that all joints are fixed properly.
10. Slide the inner casing into place, between the outer casing and the flue pipe.
11. The flue pipe must extend 200mm above the outer casing. Note: Extra lengths of flue pipe, inner and outer casing may be required to achieve the minimum clearance from the roof.
12. Slide top spreader over flue pipe down into outer and inner casing and tighten.
13. Slide cowl over flue pipe until it rests on spreader. Secure with rivets or self-tapping screws.
14. Fit rainhat. Do not fasten as it must be removable for flue pipe cleaning.
15. Fix ceiling plate to ceiling maintaining an even gap all around flue pipe.
Note: Ensure ceiling plate is spaced off from the ceiling with ceramic spacers supplied.



CAUTION: Mixing of appliance or flue system components from different sources or modifying the dimensional specifications of components may result in hazardous conditions. Where such action is considered the manufacturer should be consulted in the first instance.

WARNING: The appliance and flue system shall be installed in accordance with AS/NZS2918:2001 and the appropriate requirements of the relevant building code or codes.

Notes (see diagram page 29)

1. The flue pipe shall extend not less than 4.6m above the top of the floor protector.
2. The flue cowl must be at least 600mm above the highest point of the roof if within 3 metres of it, or 1 metre above the roof penetration if more than 3 metres from the ridge.
3. No part of the building, or any adjacent building may be in or above a circular area of a horizontal radius of 3 metres from the flue exit.

ABA CHECKLIST DETAILS

ABA NO: _____

Please check Items 5 & 17 of the application form and write in application type, e.g.:

ABACOM, ABABC, ABABCE, ABACOA, ABAPIM, ABASAS etc.

Type Of Application: ABA

Name Of Applicant: Ambler Plumbers

Received by: Flora

Date Received: 23.1.2009

CLO CHECKLIST REQUIREMENTS		YES
1	Payment (Check if this is for a "Building Consent" or "Certificate of Acceptance")	✓
2	Certificate Of Title (and / or Maori occupation order (with stamped site plan from Maori Land Courts), Sale & Purchase agreement, etc.) 1. Current Certificate of Title, no more than 6 months old (check date at bottom right of CT) 2. Certificate of Title to include page 2 showing the site plan 3. Copy of any Consent Notice Sec 221 schedules listed on CT 4. Copy of any Building Line Restriction schedule listed on CT	Paid for 1 to be obtained.
3	Signature (of both Owner and Agent)	Agent
4	Site Plan Of Proposed Project (showing distances to boundaries and to all other existing buildings)	
5	3 sets of plans (other than commercial) 4 sets if commercial NB: 1 set of plans must be no larger than A3 size	✓
6	TP58 or Connection form Fees required for Connection Form	
7	Customer's checklist Completed dated and signed	
8	Disclaimer form Completed dated and signed	✓

NOTES:

chg attached - Flora



DOMESTIC SMOKE ALARMS

Every household unit requires domestic smoke alarms in accordance with NZBC Clause F7/AS1.3.1.

Smoke Alarms may be battery powered but shall have a hush facility and must comply at least with one of the following: UL 217, CAN/ULC S531, AS 3786, BS 5446: part 1.

Smoke Alarms shall be installed near the ceiling and located on escape routes in every sleeping space or within 3.0m of every sleeping space door.

HEATER

1. If this heater is to be installed in an existing chimney, prior to installation, the chimney must be inspected and approved by an authorised officer of the Far North District Council.
2. The heater is to be installed in strict compliance with the manufacturer instructions to AS/NZS 2918.2001. Notification is required when the unit is installed. The heater must not be used until inspected and approved by an authorised officer of the Far North District Council.
3. If a wetback is fitted to this heater, a craftsman plumber must carry out all plumbing work. A hot water tempering valve is required to be installed to the hot water storage heater as detailed in the New Zealand Building Code, clause G12.
4. The manufacturer installation instructions are to be available to the Council officer at the time of inspection.
5. If this heater is a second hand unit it must be inspected and approved by a suitably qualified and approved person, with a statement of condition being forwarded to Council, prior to installation.
6. Craftsman gasfitter must submit to Council an Energy Works Certificate covering the installation of the gas pipe-work and fitting and if required as part of the installation.
The balanced Flue system:

Ensure that the minimum clearance is maintained from any flammable materials that may occasionally be within the zone around the heater (curtains etc.)

HEATER – UNTESTED APPLIANCE

NO EVIDENCE HAS BEEN PRESENTED WITH THE APPLICATION TO PROVE THE HEATER HAS BEEN TESTED IN NEW ZEALAND BY A TELARC APPROVED AGENCY, THEREFORE THIS APPLIANCE MUST BE INSTALLED IN ACCORDANCE WITH THE NEW ZEALAND STANDARD NZS 7421:1990 AS AN **UNTESTED APPLIANCE**.

PLEASE DISREGARD THE ABOVE STATEMENT IF INSTALLATION INSTRUCTIONS FOR THE APPLIANCE, AVAILABLE TO THE AREA INSPECTION AT THE TIME OF INSPECTION, STATE OTHERWISE.