

20210-591-00



DavidsonPartnersLtd

Structural Engineering
Civil Engineering
Building Design
Project Management

Practising in association with Ayson and Partners, Registered Surveyors

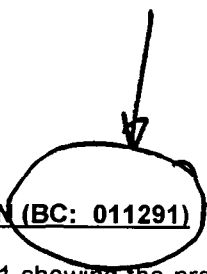
Our Ref: 22040

19 October 2001

Marlborough District Council
P O Box 443
BLLENHEIM

ATTENTION: Building Control

re: ALDAN LODGE, WELLINGTON STREET, PICTON (BC: 011291)



P.N. 513156

Please find attached three copies of plan number 22040/S1 showing the proposed work to the existing 450 mm diameter stormwater culvert to avoid passing under the building.

Kerry Walsh may need to inspect the plan and comment.

Please discuss if you wish.

DAVIDSON PARTNERS LTD

W L McGlynn

LM:RLF

Encl

| |
|------------------------------|
| FILE No: |
| OFFICER: <i>[Signature]</i> |
| DATE REC'D 23 OCT 2001 |
| MARLBOROUGH DISTRICT COUNCIL |

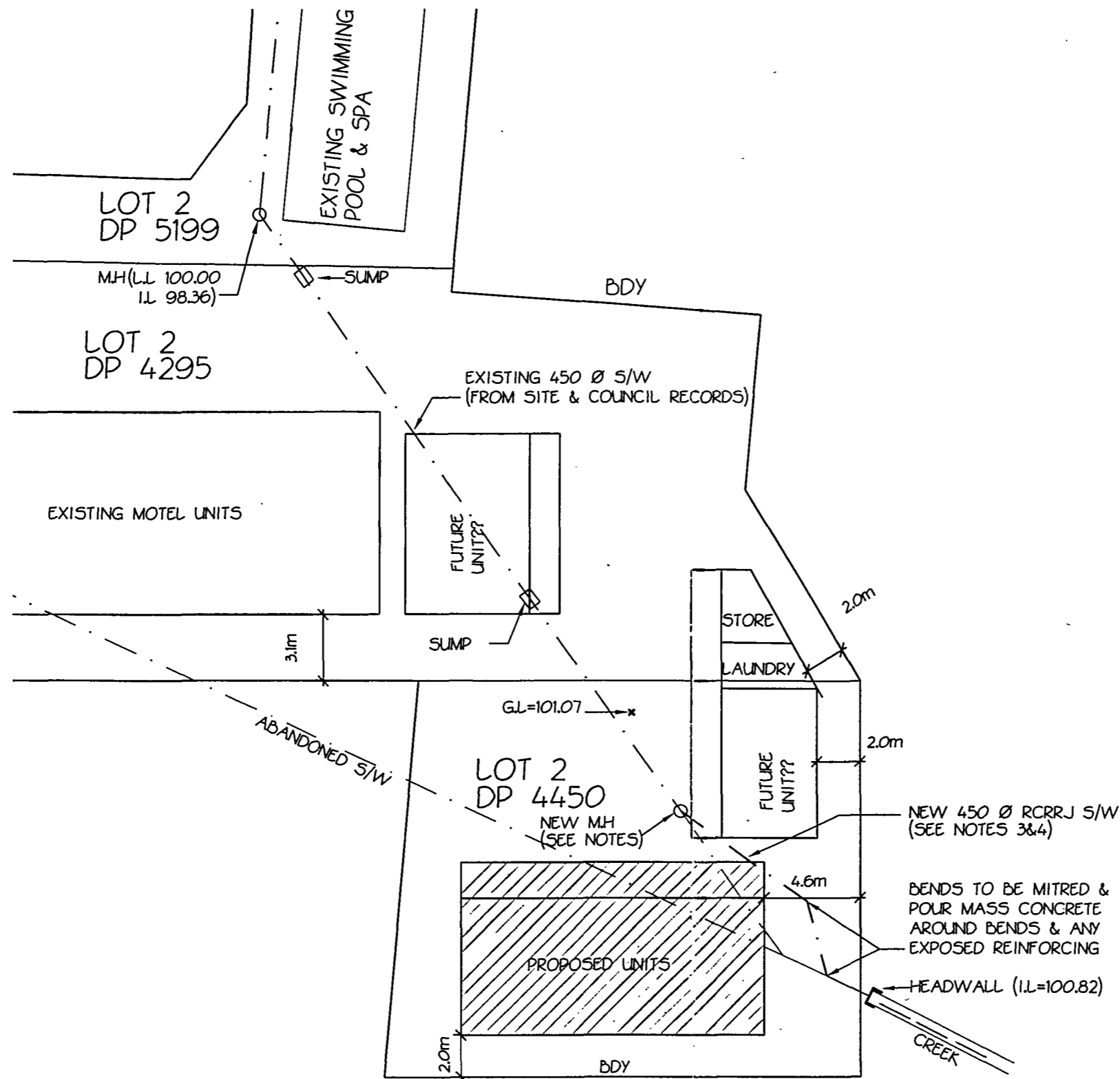
COPIES TO Endeavour Homes
5 Elmwood Avenue
BLLENHEIM

~~Aldan Lodge
86 Wellington Street
PICTON~~



Davidson Ayson House, 4 Nelson Street,
P.O. Box 256, Blenheim, New Zealand
Telephone 03 578 7029 Fax 03 578 7028
Email: davidson.partners@xtra.co.nz

Principals
Ron Melton, BE, M.IPENZ, REGD
Stephen Sheat, BE, M.IPENZ, REGD
Leigh McGlynn, BE, M.IPENZ, REGD



FILE No.:
 OFFICER:
 DATE RCV'D 23 OCT 2001
 MARLBOROUGH DISTRICT COUNCIL

NOTES:

1. MANHOLE TO BE 1050 Ø WITH DEPTH TO BE CONFIRMED BUT LIKELY TO BE ABOUT 1200mm MAX.
2. MANHOLE TO BE CONSTRUCTED IN ACCORDANCE WITH MDC STANDARDS.
3. 450 Ø CONCRETE PIPE TO BE CONSTRUCTED WITH TYPE B BEDDING (GRANULAR MATERIAL) AS SET OUT IN NZS 4452
4. EXISTING LOCATION OF S/W PIPE TO BE POTHOLED & CONFIRMED PRIOR TO CONSTRUCTION. ALL NEW PIPEWORK TO PASS UNDER DECKS ONLY- NOT MAIN BUILDING.

SITE PLAN
 1:250

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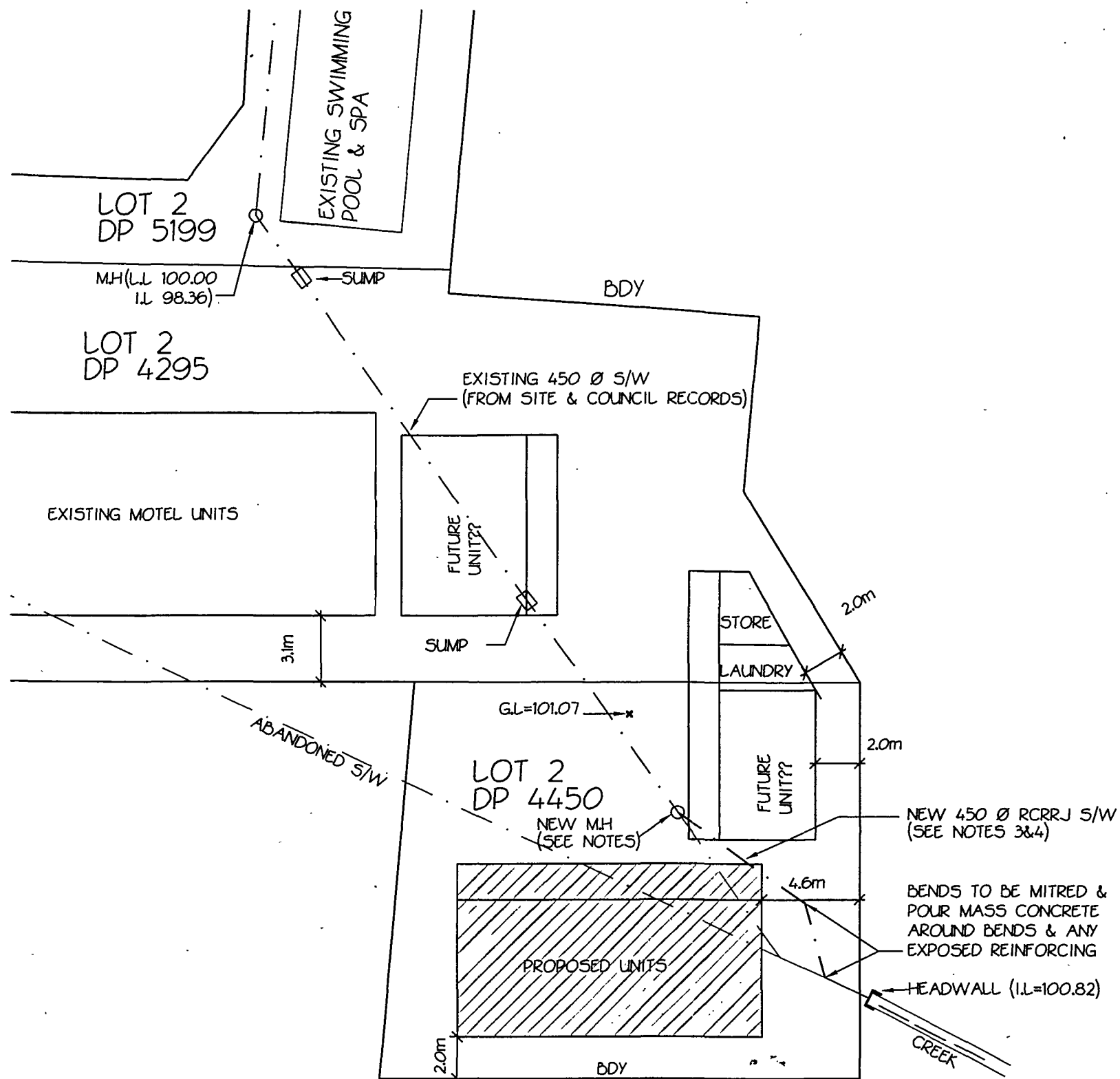
ALDAN LODGE
 STORMWATER INVESTIGATION
 PICTON.

site plan

| DATE | ORIGINAL SIZE | DRAWING No. | SHEET | ISSUE |
|---------|---------------|-------------|-----------------------|-------|
| 07/01 | A3 | 22040 | S1 | A |
| DES L.M | DRN A.W | CKI | CAD C:\ACAD\22040.DWG | |

0mm

100mm



FILE No.:
 OFFICER:
 DATE REC'D 23 OCT 2001
 MARLBOROUGH DISTRICT COUNCIL

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ALDAN LODGE
 STORMWATER INVESTIGATION
 PICTON

site plan

| DATE | ORIGINAL SIZE | DRAWING No. | SHEET | ISSUE |
|---------|---------------|-------------|-----------------------|-------|
| 07/01 | A3 | 22040 | S1 | A |
| DES L.M | DRN A.W | CHK W | CAD C:\ACAD\22040.DWG | |

0mm

100mm

BC011291

WELLINGTON STREET

Lot 2
DP 4295

Lot 2
DP 4450

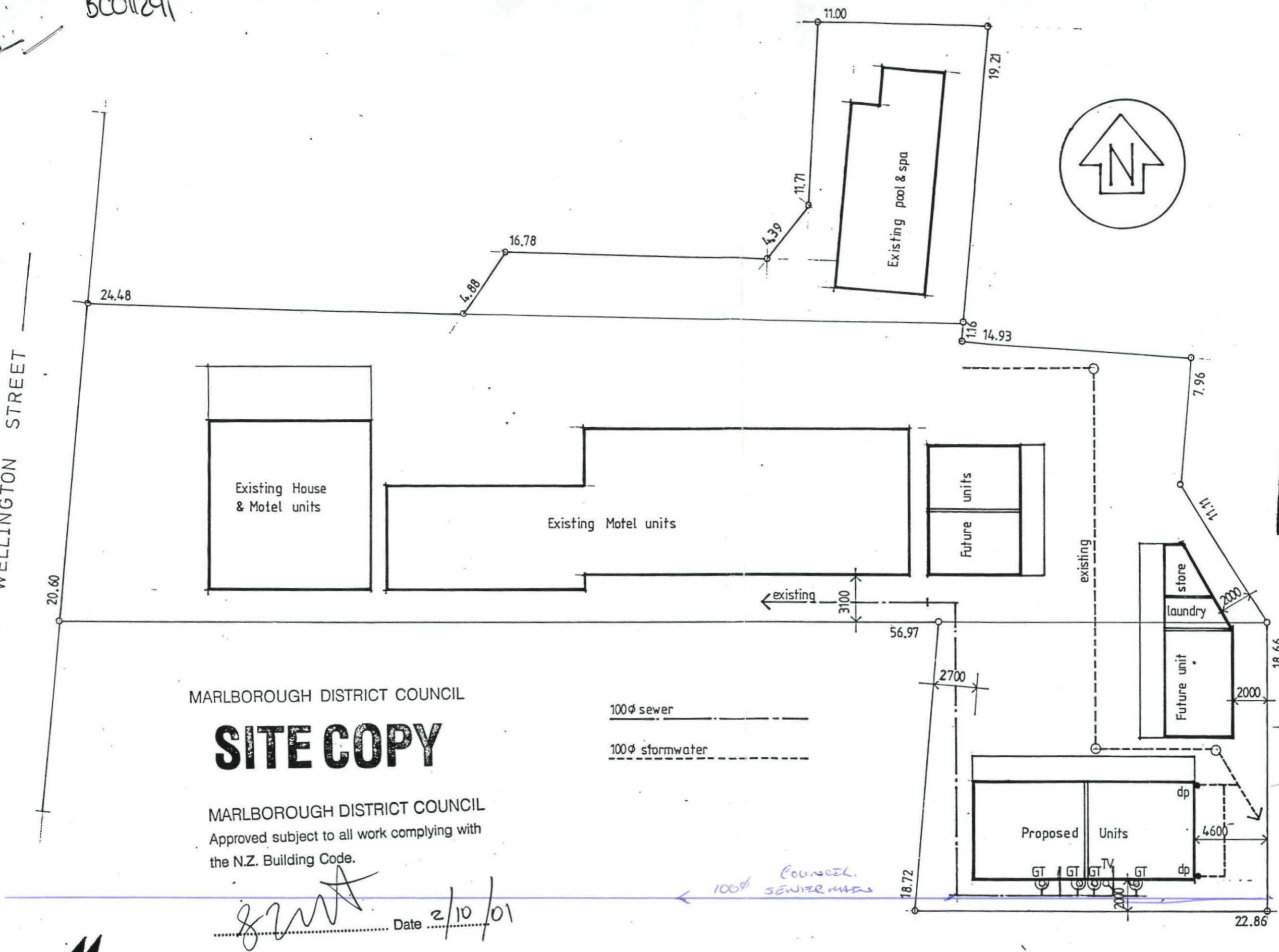
Lot 2
DP 5199

Total area 2136m
Urban Residential Zone



RECEIVED
13 AUG 2001
MARLBOROUGH DISTRICT COUNCIL

10/10/01
Kerry Walsh has approved this drainage amendment.



MARLBOROUGH DISTRICT COUNCIL
SITE COPY

MARLBOROUGH DISTRICT COUNCIL
Approved subject to all work complying with the N.Z. Building Code.

[Signature] Date 2/10/01

Endeavour Homes

DICK BAKER KEVIN SATHERLEY
93 Gladstone Road, Richmond
Ph (03) 544-0886
Fax (03) 544-0887



ALDAN LODGE
SHEET TITLE
SITE PLAN

| | |
|---------------------|---------------------|
| AMENDED 6-8-2001 | DRAWN Steve Arps |
| | DATE 24-5-2001 |
| | SCALE 1:250 |
| | SHEET NO 1 |

25 October 2001

Building Consent No. 011291

Foundation inspection, two new motel units

Owner: Alden Lodge, 86 Wellington Street, Picton

Builder: Graeme Taylor

Graeme plus his staff were on site

The foundation is the correct width and depth. Very firm clay ground. It has got two D12 rods in the bottom. On the highest part of the foundation, that is on the north side I have asked them to put an extra rod around the top of the foundation approximately 800mm high in this area. So therefore it will have four rods horizontally around the highest part. It has got three around the rest of it. It has got R10 starters at 600 centres. Wastepipes and toilet blocks are in place. Everything is okay to pour the foundation.

Hazards on site:

Unfenced openings in floors, trenches

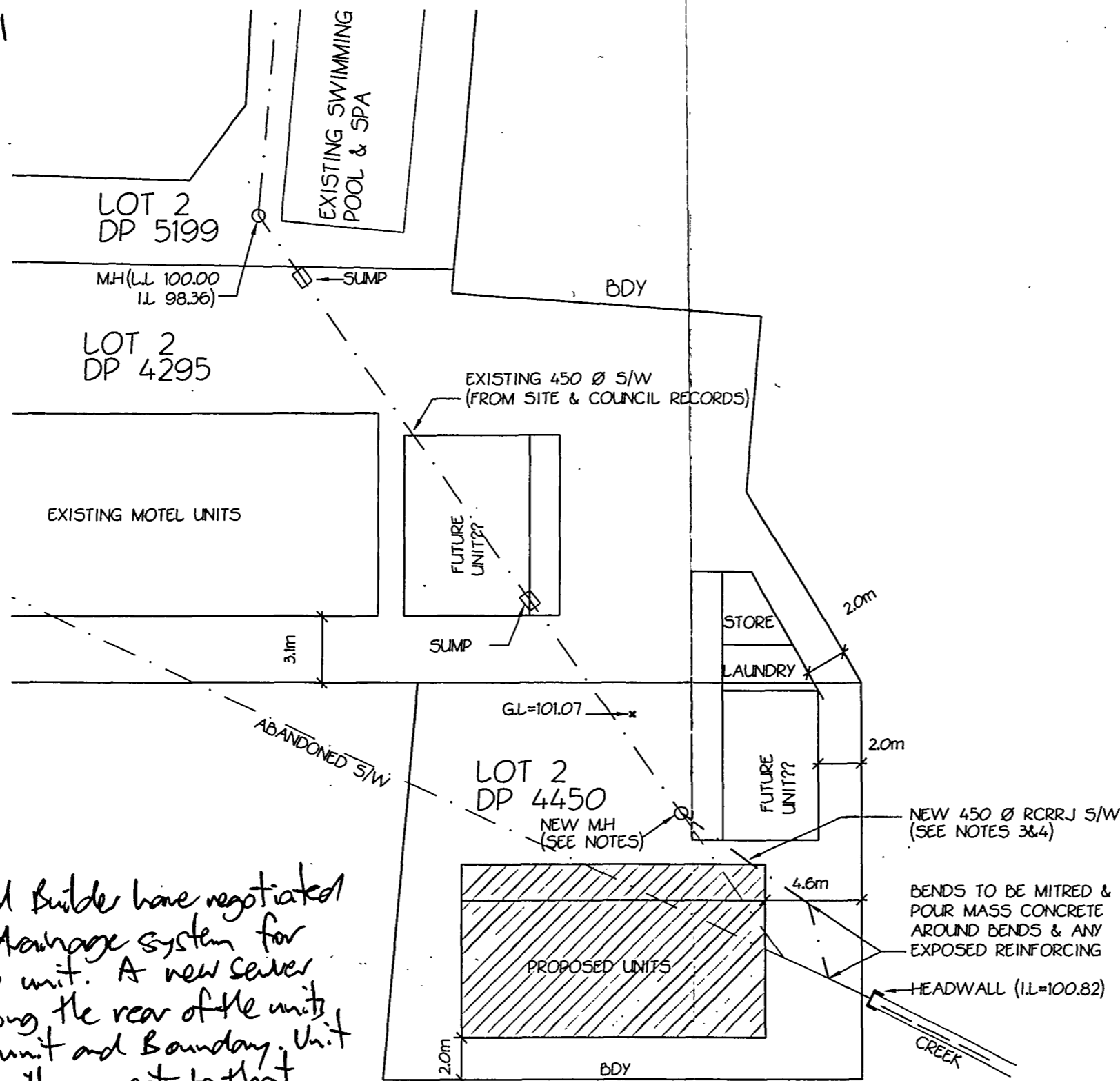
Pointed or sharp elements

Warning notices

C Wratt

ATTACH TO FIELD SHEET PLEASE

BC 011291



FILE No.:
 OFFICER:
 DATE REC'D 23 OCT 2001
 MARLBOROUGH DISTRICT COUNCIL

- NOTES:
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Note
 Owner and Builder have negotiated revised drainage system for the new unit. A new sewer runs along the rear of the unit between unit and Boundary. Unit sewage will connect to that. S.W. is slightly different to this plan but is similar. Kerry Walsh has negotiated the change & WWA 1/11/01.

SITE PLAN
 1:250

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| | | | | |
|---|---------------------|----------------------|-----------------------|------------|
| ALDAN LODGE STORMWATER INVESTIGATION PICTON | | | | |
| site plan | | | | |
| DATE 07/01 | ORIGINAL SIZE A3 | DRAWING No. 22040 | SHEET S1 | ISSUE A |
| DES L.M | DRN A.W | CHK W | CAD C:\ACAD\22040.DWG | |

0mm 100mm

12 November 2001

Building Consent No. 011291

Floor inspection, two new units

Owner: Alden Lodge Limited, 86 Wellington Street, Picton

Builder: Graeme Taylor

Graeme on site

The floor is compacted firmly. It has got dpc right over the floor area. It has got mesh right over the total floor area. This is deformed 668 mesh. It is all lapped sufficiently and tied as well as tied to the starter rods. It is held up with plastic chairs. Wastepipes and toilet pipes are in place. They are lagged where they come up through the floor. Everything is okay to pour the floor. Graeme Taylor will be checking for BR9s.

Hazards on this site:

Unfenced openings in floors, trenches

Pointed or sharp elements

Warning notices

C Wratt

30 November 2001

Building Consent No. 011291

Preline plumbing inspection

Owner: Aldan Lodge Limited, 86 Wellington Street, Picton

Builder: Graeme Taylor, Endeavour Homes

Plumber: Andrew Bishell

Graeme Taylor's builder on site

This was a preline plumbing inspection for two motel units. There is a sound and fire wall in between the units. The gib runs right up to the underside of the roofing iron. The purlins are cut and are fixed either side of this wall. The moisture content ranged from 12 - 16%. All the purlins are fixed correctly with z nails and the trusses are z nailed on correctly at the back and at the front there is a combination of cyclone ties and z nails for the cantilevered trusses. On the back wall there are some BR4 strapping which is missing and they will place in the lumberlok 6kn stud to bottom plate connectors in these areas. Building paper is around the exterior and under the roof and batts have just been placed while on site. Once these straps are placed, all okay to carry on and line.

The plumbing has been pressure tested. He was using a polybutelene plumbing system.

Hazards on site:

Construction material through building

A Buckley

12 December 2001

Building Consent No. 011291

Drainage inspection, two new motel units

Owner: Aldan Lodge Limited, 86 Wellington Street

Drainlayer: Simcox

Drainlayer not on site

It appears some 100mm sewer work has been done around the back of the two new units connecting onto an existing ceramic drain each end. This drain has not been very well bedded and this will need to be attended to. At this stage the branch drains have not been run to the toilet pans or to the gully traps. A new 90mm stormwater drain has been run from the west end of the new units and this runs down and joins into an existing 100mm drain at the east end of the existing motel units. This drain too has not been very well bedded. In fact the bedding has disappeared. They appeared to have used sand and it has all washed away, so this drain will need to be rebedded and regraded to give an even grade over the whole length of the drain. This drain also requires an access point near the top of the drain to allow for cleaning. I will contact Simcox about these matters. An as built drainage plan still required.

K Curtin

\\SUm...O\Reg\Build\fieldnotes\KCu12December2001-fi.doc Saved 14/12/01 10:24

Rang Ian same day JKK

14-12-01 confirmed what was required. to Builder JKK

18 December 2001

Building Consent No. 011291

Drainage and hot water cylinder inspection

Owner: Aldan Lodge Limited, 86 Wellington Street

Drainlayer: Simcox Construction

Andrew on site

Andrew Bishell on site

Both hot water cylinders were 180 litre Rheems mains pressure. They were both strapped in place. Both of the cylinders had temperature relief valves, cold water expansion valves and tempering valves in place. The valve drain ran into the gully traps outside. The owner is going to have a screw panel on the hot water cylinders to gain access and Andrew has asked me to inspect these while on site during the drainage inspection so the painters can continue and paint these cupboards.

This was a drainage inspection to connect into an existing sewer line which Kerry Walsh has given permission to connect into. The drain was laid to a good grade in a chipped trench. The gullies were in place. A test was on and holding. Two toilet pans. There is a terminal vent on the outside. A drainage plan is still to be supplied. Also Andrew has put on an inspection for the stormwater on the top corner south west part of the building as asked for by Ken Curtin.

Hazards on site:

Open trenches

State of site - wet and muddy

A Buckley

BC 01291
PN 513156

MARLBOROUGH DISTRICT COUNCIL

Endeavour Homes
- Bldr

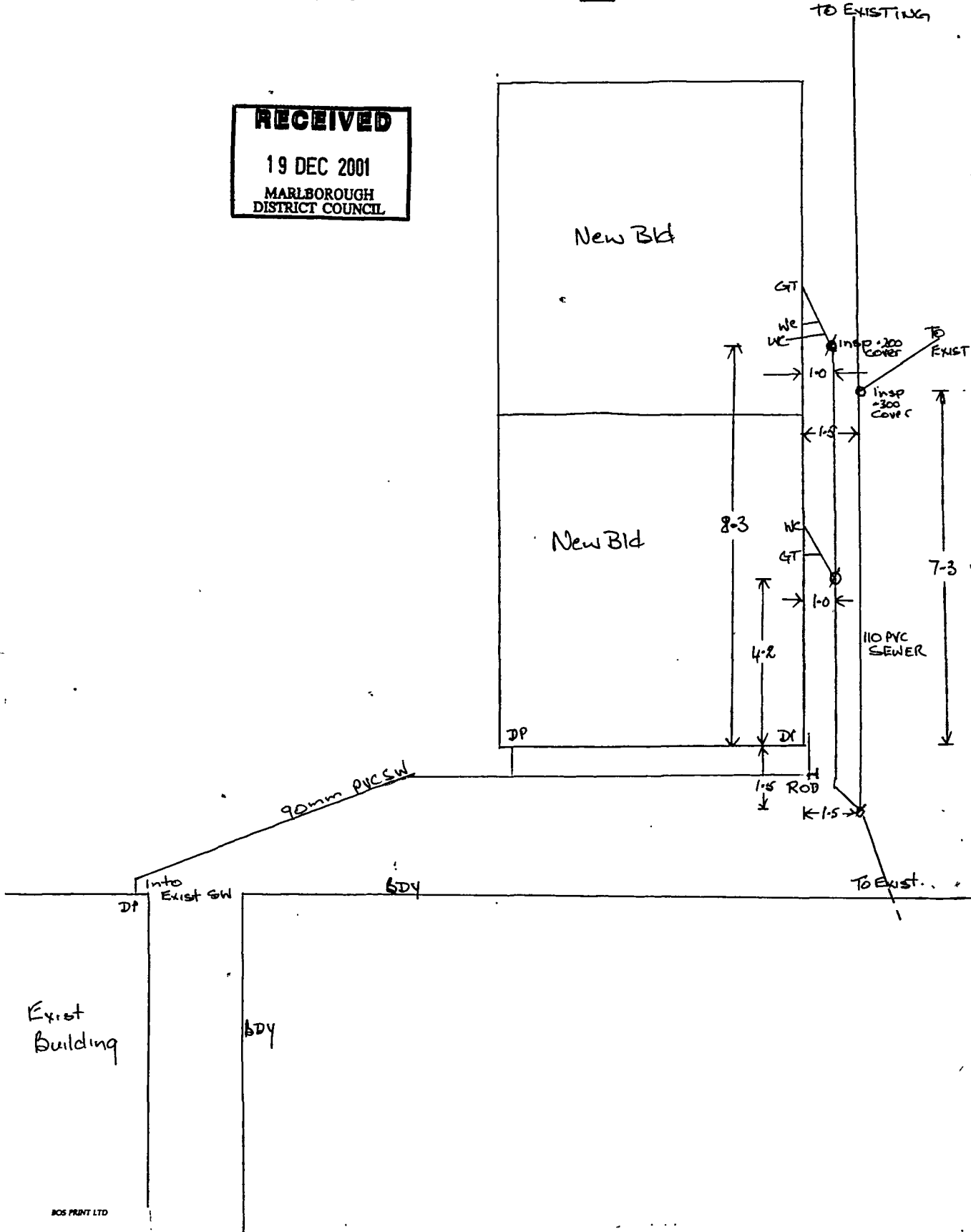
Bdr

DRAINAGE PLAN

Drainlayer Simcox Const Ltd Plumber Date of Inspection 18/12/01
Name Aldan Lodge Street 86 Wellington St, Picton
Lot 2 D.P. 4295 Section _____

NOTE—For drainage work, a scale plan in ink showing street line, section, boundaries, building in outline, sanitary fittings, lines of drains, inspection pipes, etc. MUST be supplied.

RECEIVED
19 DEC 2001
MARLBOROUGH
DISTRICT COUNCIL



19 December 2001

Building Consent No. 011291

Half brick veneer inspection

Owner: A Dwyer, Aldan Lodge Limited, 86 Wellington Street

Andrew Dwyer on site

Veneer has been taken up half way and ties have been screw fixed to framing as required. Building paper has been placed over timber framing and a 40mm cavity has been maintained. This is a single wall veneer and it is okay to complete.

No significant hazards present on site.

C Hight

\\SUM...O:\Reg\Build\fieldnotes\CH\19December2001-fl.doc Saved 21/12/01 09:29

20 February 2002

Property No: 513156

Building Consent No: 011291

Final inspection

Owner: Aldon Lodge Ltd, 86 Wellington Street, Picton

Owner on site

Externally all gully traps were well above ground level and the waste pipes were sealed into the rear of the gully with silicon (they are well sealed). The floor level is a good distance above ground level; there are no safety barriers on the front deck, but because this is less than a metre above ground, they are not required. This aspect is complying.

Internally, the plumbing was all functioning satisfactorily; the linings in the bath and kitchen area were complying, as were the floor coverings. Window joinery all has head flashing in place.

This project is now completed and a Code Compliance Certificate can be issued.



G Roberts

STAPLE

MARLBOROUGH DISTRICT COUNCIL CREDITOR PAYMENT APPROVAL

NOTE: FOR GST

If there is NO GST on this invoice - (please tick)

(Otherwise leave blank)



Only use this section when an URGENT PAYMENT is required

Cheque to: _____

Address: _____

Signed _____ Date: _____

Position _____

ORDER No. _____

CREDITOR NAME Endeavour Homes Ltd

SUPPLIER No.
5,3,4,2,2,7

INVOICE No.
L, E, T, T, E, R, , , ,

INVOICE DATE
2, 2, 0, 2, 0, 2

ORDER No.
R, E, F, U, N, D

| GENERAL LEDGER CODE | QUANTITY | NARRATION | AMOUNT |
|---------------------|----------------------------|---|-------------------------|
| <u>0,3</u> | <u>2,0,5: 3,6,5,0, , ,</u> | <u>R, E, F, U, N, D, B, C, O, 1, 1, 2, 9, 1</u> | <u>, , , 4, 5, 0, 0</u> |
| <u>0,3</u> | <u>2,0,5: 3,8,8,8, , ,</u> | <u>I, N, S, P, E, C, T, I, O, N, , ,</u> | <u>, , , 6, 9, 0</u> |
| | | <u>R, E, F, U, N, D, B, C, O, 1, 1, 2, 9, 1</u> | |
| | | <u>T, R, A, V, E, L, , , ,</u> | |
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NB Shaded area is for Ledger Number. Dots must be entered as separators between elements. Where no Sub/Activity or Location, (2) dots must precede the item code.

PLEASE CLEARLY INDICATE THE DOT SEPARATORS.

INVOICE TOTAL
, , , 5, 1, 9, 0

Compiled / Reconciled (Staff initials)

Goods received / Services satisfactory [Signature]

Extensions checked

Account approved for payment
(Approving officer with delegated authority)

CREDITOR'S USE
Date dispatched:
Date returned: