



## LAND INFORMATION MEMORANDUM

# 40 BOUVERIE STREET PETONE VOLUME 2 OF 2

Produced by Hutt City Council

26/02/2026



## 6. Information concerning any consent, certificate, notice, order, or requisition affecting the land or any building on the land previously issued by the territorial authority (whether under the Building Act 1991, the Building Act 2004, or any other Act)

### SECTION 44A(2)(D)

*Note: if the land is part of a cross-lease title or unit title, consents and permits for the other flats or units may be included in this lim. If the land has been subdivided there may be consents and permits included that relate to the original property. It is recommended that the full property file is viewed and compared with the actual building and activities on the land to identify any illegal or unauthorised building works or activities.*

### SECTION 73 NOTICES

No information is currently available

### RAPID BUILDING ASSESSMENTS

No information is currently available

### FINANCIAL / DEVELOPMENT CONTRIBUTIONS

Financial and development contributions are relevant for recently subdivided land, new residential units or where there is further development of a site. If any financial or development contribution has not been paid, Council can recover outstanding amounts from a subsequent owner of the land.

### RESOURCE CONSENTS

Below is a list of resource consents (if applicable) that the council has issued from 1991 onwards under the Resource Management Act 1991. If there are any conditions, please refer to the Property File. The applicant should satisfy themselves as to whether all conditions of resource consents for this property have been met. To obtain Resource Consent documents you can search online for free using council's [Property search](#). It is important you ensure that the consent has been acted on and that each of the consent conditions are complied with, within the allocated timeframe (where applicable) from the decision date. The decision date is the date the resource consent was granted. You will find the consent conditions listed in the decision document. For more information on resource consents, click [here](#).

For dispensations council issued under the Town and Country Planning Act 1953, see the planning file references in the archives section.

Consent number	Description	Process	Decision date
RM070488	Right of Way	Granted	26/09/2007
RM070769	2 Lot Subdivision	Granted	13/02/2008
RM080333	Subdivision of an existing allotment which is a contaminated site into two allotments.	Granted	17/09/2008
RM090213	Establishment of a Trading Warehouse (Humes Pipe Systems).	Granted	03/07/2009

RM100488	Proposed Retail Activity in the General Business Activity Area.	Granted	18/01/2011
RM130009	Establish 6 off Street Carparks	Granted	12/02/2013

**Please see volume 2 of this LIM report for Resource Consents documents.**

### MONITORING AND ENFORCEMENT

A resource consent relates to a property, not its owner at the time the resource consent was granted. If a building or parcel of land is sold without having satisfied the conditions of a resource consent, it becomes the responsibility of the subsequent owner to arrange council inspections and ensure compliance with resource consent conditions. Work for which the council grants a resource consent must be largely complete within five years. For the first year, the council actively monitors a project. For the next four, it makes periodic checks. See the contact list to make inquiries about a property with an outstanding resource consent.

### BUILDING PERMITS AND CONSENTS

The building card (also called "Building Permit Record" or "Drainage and Plumbing Register"), a copy of which is below, contains a list of all known building permits and building consents for the property up until the early 2000s, at which point the records were digitised. Borough councils may have issued some of these building permits before their amalgamation into Hutt City Council.

Below is a list of building consents (if applicable) issued from 1991 onwards, copies of the following are included in this section:

- Code compliance certificate (CCC)
- Floor plans
- Elevation drawings

Note: Building consents, and code compliance certificates came into existence with the passing of the Building Act 1991. Before then, councils issued only building permits. Building work carried out earlier than 1 July 1992 may quite legitimately have no code compliance certificate.

Consent Number	Approval Date	Description	CCC issued date
ABA980320	25/03/1998	Storage Facility	19/03/1999
BC050271	20/04/2006	Concrete Pad for Interceptor Tank	Refused
BC060454	15/06/2006	Building Alteration – Wall/Wash Down Area	02/03/2007
BC061321	08/11/2006	Building Alteration - Fitout	27/04/2007
BC070093	27/04/2007	Building Alteration – Stair/Entry Doors	26/07/2007
BC070903	20/08/2007	Minor Interior Fitout Alterations	22/04/2008
BC090882	09/11/2009	New Offices/Warehouse	07/04/2010
BC110026	16/02/2011	Alterations to Existing Structure to Create New Warehouse, Showroom & Associated Offices	17/05/2011
BC131225	22/01/2014	Seismic Work to Section of Building Used for Offices	17/07/2014

BC201071	20/01/2021	Plumbing World - Seismic Strengthening	05/04/2022
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**Please see volume 2 of this LIM report for Building Consents documents.**

For further information and copies of pre-1991 permits that may not be included in this report but held on file, you can search online for free using council's [Property search](#).

Alternatively you can also order a copy of this information in electronic or hard copy format ([fees apply](#)):

- by phoning us on 04 570 6666/0800 HUTT CITY
- or sending an [email](#)
- or request in person from our team at the [council offices](#).

#### **NOTICE TO FIX**

No information is currently available

#### **OWNER SUPPLIED INFORMATION**

No information is currently available

#### **CERTIFICATE OF ACCEPTANCE**

No information is currently available

#### **COMPLIANCE SCHEDULES (BUILDING WARRANT OF FITNESS)**

Council records indicate the building(s) on the property contains specified systems. These have been captured on compliance schedule CS1335.

A compliance schedule is a document issued by council for buildings containing specified systems (for example; sprinkler systems fire alarms, automatic sliding doors, lifts, escalators, backflow preventers). The compliance schedule states the specified systems, their performance standards and includes the inspection, maintenance and reporting procedures needed to keep them in good working order.

A building warrant of fitness is a written statement issued annually to the council, a copy of which is also publicly displayed in the building. The building warrant of fitness is a declaration by the building owner, or the building owner's agent, that all the specified systems in the building have been inspected, maintained and reported on in accordance with the compliance schedule for a period of 12 months prior to the issue date and will continue to perform in accordance with the relevant standards.

The building warrant of fitness CS1335 for 40 Bouverie Street, Petone is current. The warrant will expire on 20 August 2026.

Did you know that you can now view your Compliance Schedules online. To do so, just follow this link:

<https://www.huttcity.govt.nz/property-and-building/search-property-and-building>

<b>Compliance Schedule Number</b>	<b>Expiry Date</b>	<b>Description</b>	<b>Issued Date</b>
CS1335	20/08/2026	Plumbing World AMS Group & Ministry of Fisheries	20/08/2004
CS1643	20/08/2026	Humes	20/08/2010

If you're unsure or require further information, please click [here](#) or contact the council on 04 570 6948.

## **FENCING OF SWIMMING POOLS**

Under the Building Act 2004 residential pools capable of holding a depth of water of 40cm (400mm) or more are required to have barriers that restrict access by unsupervised children under 5 years of age to protect them from drowning. All residential pools (other than small heated pools, such as spa pools and hot tubs that don't follow the acceptable solutions for small heated pools), must be inspected every 3 years. For further information, please see [Safety guidance for pool owners | Building Performance](#)

## **EARTHQUAKE PRONE BUILDING**

### **Seismic Rating Unknown:**

Council is required to identify potentially earthquake-prone buildings or parts of buildings under the Building Act 2004 using the Earthquake-prone Building (EPB) methodology. The methodology uses categories of buildings, known as profile categories, to identify potentially earthquake-prone buildings or parts of buildings. Further information on the EPB methodology is available on the Ministry of Business Innovation and Employment website: <https://www.building.govt.nz/managing-buildings/managing-earthquake-prone-buildings/>

**Council holds no record of the current seismic rating for the buildings or parts of buildings on the property.**

There are circumstances where Council may require an assessment or reassessment to consider whether a building is earthquake prone. These may include changes to legislation or where the Council receives further information.

## **CO-SEISMIC SUBSIDENCE**

For information on estimated subsidence of the valley floor during a Wellington Fault rupture, the GNS Science Report *Estimating co-seismic subsidence in the Hutt Valley associated with rupture of the Wellington Fault* is available to download from the following website <http://shop.gns.cri.nz/estimating-co-seismic-subsidence-in-the-hutt-valley-associated-with-rupture-of-the-wellington-fault>

## **DANGEROUS GOODS (FOR COMMERCIAL ONLY)**

The premises did not have to be licensed for the storage of dangerous goods in 2003-04 before the introduction of new legislation dealing with hazardous substances.

Council does not know if they have one or require one.

## **HAZARDOUS SUBSTANCES (CONTAMINATED BUILDINGS)**

No information is currently available.

Contact: Emily Bayliss  
Group/Division: Environmental Consents  
Telephone: 570 6914  
Facsimile: 570 6799  
E.Mail: emily.bayliss@huttcity.govt.nz  
OurReference: RM20-B40-40

26 September 2007

Michael Snow  
Beca Infrastructure  
PO Box 3942  
Wellington

Attn: Michael Snow

Dear Sir,

**APPLICATION PURSUANT TO SECTION 348 OF THE LOCAL GOVERNMENT ACT 1974 FOR A RIGHT OF WAY OVER 40 BOUVERIE STREET (LOT 2 DP 87775) IN FAVOUR OF 38 BOUVERIE STREET (LOT 1 DP 87775) TO BE ALTERED.**

## **1 Decision**

That pursuant to Section 348 of the Local Government Act 1974, the Hutt City Council gives permission for a right of way over 40 Bouverie Street (Lot 2 DP 87775) in favour of 38 Bouverie Street (Lot 1 DP 87775) to be altered in accordance with the application referenced RM070488.

## **2 The Proposal**

The applicant proposes to alter a right of way in favour of 38 Bouverie Street over 40 Bouverie Street. The area of land subject to this application is a strip of land adjacent to the existing ROW on Lot 2 DP87775 at the rear of the commercial premises at 40 Bouverie Street. The applicant submits that the current ROW created by B756747.2 (labelled 'A' on Scheme Plan 3270807-R003) will be extinguished and replaced with the proposed ROW, (labelled 'B').

Both the proposed and the existing ROW are sealed in asphalt. The ROW is being altered to allow for construction on the site of 40 Bouverie Street, while still maintaining the ROW rights of 38 Bouverie Street.

## **3 Statutory Considerations**

The creation of easements or rights of way is subject to section 348 of the Local Government Act 1974. Specifically section 348 of the Local Government Act states:

*[348. Powers of council with respect to private roads and private ways –*

- (1) Except with the prior permission of the council, no person shall lay out or [[form]] any private road or private way, or grant or reserve a right of way over any private way, in the district.

(2) Subject to section 347 of this Act, in granting any such permission the council may –

- (a) *Impose such conditions as to widths, levels, entrances, courses, formation, cost of formation, maximum number of buildings to be erected fronting any such private road or private way, minimum distances between any 2 buildings, position of building line, and otherwise in all respects whatsoever as the council thinks fit; and*

This provision enables Council to grant a right of way on any land appropriate for that purpose, and permits Council to impose conditions to ensure that the right of way is formed and managed to an appropriate standard, able to accommodate the proposed number of access users.

Council can set conditions under s. 348(2), and can then require the work to be carried out pursuant to s. 348(4).

#### **4 Comment**

Council's Subdivision Engineer has reviewed the application for the creation of a right of way. He has no objection to the proposed application. Council's Subdivision Engineer advises that no engineering works are required and as such no conditions are imposed on this consent.

The creation of the right of way will not result in any bulk and location non-compliances associated with the existing structures on numbers 38 and 40 Bouverie Street. The proposal will not result in any additional traffic using the existing right of way. The creation of the right of way will not result in any new or additional adverse effects on the safety and efficiency of the road network or the users of the right of way. No works are required to create the new right of way and the applicant submits no changes to the existing activities on site.

For the reasons discussed above, the creation of the right of way is hereby approved pursuant to Section 348 of the Local Government Act, 1974.

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Emily Bayliss – Resource Consent Planner

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26.09.2007

Contact: Rachel Helme  
Group/Divison: Environmental Consents  
Telephone: 570 6905  
Facsimile: 570 6799  
E.Mail: rachel.helme@huttcity.govt.nz  
Our reference: RM20-B40-40

District Land Registrar  
Land Registry Office  
PO Box 5014  
WELLINGTON

**RESOLUTION PURSUANT TO  
SECTION 348 OF THE LOCAL GOVERNMENT ACT 1974**

In the matter of a resolution pursuant to section 348 of the Local Government Act 1974 in respect of a right of way lodged for deposit shown on the deposit plan no. 3270807-R003 Rev A submitted with the application dated August 2007.

*I, Rachel Helme, Authorised Officer of the Hutt City Council, hereby certify that pursuant to Section 348 of the Local Government Act 1974, the Hutt City Council gives approval for the right of way to be created over LOT 2 DP87775 (40 Bouverie Street) in favour of LOT 1 DP87775 (38 Bouverie Street; and that the existing right of way labelled "A" on the scheme plan 3270807-R003, Rev A be extinguished, as applied for within the application dated 18 May 2007.*

Dated at Lower Hutt this                      day of                      2008

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**Rachel Helme**  
**Acting Team Leader, Resource Consents**

Ddi +64-4-495 6596 Mobile +64-27-498 3260  
michael.snow@beca.com  
www.beca.com


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**From:** Richard Chesney [mailto:Richard.Chesney@brandons.co.nz]  
**Sent:** Tuesday, 15 July 2008 3:01 p.m.  
**To:** Michael Snow  
**Subject:** bouverie st

Mike

LINZ have requested a confirmation that the reference in the surrender of easement is consistent with the easement referred to in the resolution.

If we can get this hopefully it will get processed. Can you weave your magic?



 Regards  
Richard Chesney  
Partner  
Brandons

Tel 04 472 6904 DDI 04 498 3563  
Fax 04 499 2818  
Email [richard.chesney@brandons.co.nz](mailto:richard.chesney@brandons.co.nz)

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**From:** Konica352@brandons.co.nz [mailto:Konica352@brandons.co.nz]  
**Sent:** Tuesday, 15 July 2008 3:25 p.m.  
**To:** Richard Chesney  
**Subject:** Message from C352 215700638

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# BRANDONS

BARRISTERS – SOLICITORS – NOTARIES

## FAX

**TO:** Becker & Co  
**ATTENTION:** Mike Snow  
**FAX:** (04) 496 2539  
**FROM:** Richard Chesney  
**OUR FAX:** (04) 499 2818  
**DATE:** 15 July 2008  
**No OF PAGES (including cover):**

This facsimile contains information that is confidential and which may be subject to legal privilege. If you have received it in error please telephone us (collect immediately). Thank you.

**38 BOUVERIE STREET**

Thank you for providing the further resolution pursuant to section 348 of the Local Government Act 1974 from Hutt City Council.

Land Information New Zealand has now rang me to advise that in their view the reference to the easement being extinguished in the resolution referred to as existing right of way labelled A on the scheme plan 3270807-R003 needs to be consistent with the reference to the area over which the easement is to be surrendered on the surrender of easement document i.e "area marked "C" on DP 87775.

They have advised me if we can obtain written confirmation from the Hutt City Council that the areas are in fact the same then we will be able to complete our dealing.

We would appreciate if you could ask Hutt City to send you a fax or us a fax confirming that in respect of their resolution pursuant to section 348 of the Local Government Act 1974 dated 1 July 2008 in regard to the right of way to be extinguished the reference to the existing right of way labelled A on the scheme plan 3270807-R003 is the same easement and right of way as is referred to in the surrender of easement instrument which refers to Transfer B756747.2 in respect of the area marked "C" on DP 87775.

We enclose a copy of DP 87775 for your reference.

We appreciate your assistance in getting the confirmation from the Hutt City Council we require to complete the registration process for the surrender and creation of the right of way easement. We understand Vector have lodged a change of name after this dealing so we would like to get this dealing through.


We have added a confirmation to the end of this fax as it may be easier for Hutt City Council to complete this.

BRAEMAR BUILDING 32 THE TERRACE WELLINGTON NEW ZEALAND  
PO BOX 36 TELEPHONE (04) 472-6904 DX SF20016 FAX (04) 499-2818

Partners: • RICHARD BERTRAND CHESNEY • ANDREA JANE COOP • DONALD ERIC FORSYTH  
FRANCIS GEORGE GRADWELL • PETER WALL MARTIN • JOHN GERARD O'REGAN • STUART ALEXANDER McCRAE PERRY

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Yours faithfully  
**BRANDONS**



Richard Chesney

DDI: (04) 498 3563

Email: [richard.chesney@brandons.co.nz](mailto:richard.chesney@brandons.co.nz)

Hutt City Council hereby confirms that in respect of the resolution passed pursuant to section 348 of the Local Government Act 1974 dated 1 July 2008 in regard to the extinguishment of a right of way the reference in the resolution to the existing right of way labelled A on the scheme plan 3270807-R003 is the same easement and right of way as is referred to in the surrender of easement instrument which refers to Transfer B756747.2 in respect of the area marked "C" on DP 87775.



Signed for and on behalf of Hutt City Council

By Rachel Mary Heime

Scale 1:500

Approved as to Survey by  
 UNITED NETWORKS LIMITED  
 by the Attorney SIMON DOUGLAS  
 WHITE of Auckland  
*Simon Douglas*

REGISTERED SUBCONTRACTORS  
 I HEREBY CERTIFY THAT THIS PLAN HAS  
 APPROVED BY THE CITY COUNCIL  
 PURSUANT TO SECTION 223 OF THE RESOURCE  
 MANAGEMENT ACT 1991 ON THE 11th DAY  
 OF FEBRUARY 2009 SUBJECT TO THE  
 QUANTITIES OF RESOURCES OF THE  
 RESERVE SET OUT IN THE  
 MEMORANDUM SETTING OUT FOR THE  
 PURPOSES OF SECTION 223(2)  
 ALL OF THE CONDITIONS OF THE  
 SUBDIVISION CONSENT HAVE BEEN  
 COMPLIED WITH TO THE SATISFACTION  
 OF THE SAID COUNCIL.

MEMORANDUM OF CONDITIONS

PURPOSE	SECTION	SECTION	SECTION
A.O.H	A,B,C	LOT 1	LOT 2
C		LOT 2	LOT 1

SCHEDULE OF EXISTING EASEMENTS

PURPOSE	SECTION	SECTION
WATER	1,2	SECTION 2
DRAINAGE	1	SECTION 2

SCHEDULE OF EASEMENTS

PURPOSE	SECTION	SECTION	GRANTED
ELECTRICITY IN LOT 2			UNITED NETWORKS LIMITED

NOTE - WITHIN LAND IS SUBJECT TO  
 CONSENT NOTICE 877703/1 UNDER  
 SECTION 223(1) RESOURCE MANAGEMENT  
 ACT 1991.

Total Area 1,644.0m<sup>2</sup>

Comprised in ALL CT 58A/027.F

**SIMON DOUGLAS GUNN**  
 I, SIMON DOUGLAS GUNN  
 Registrar and holder of an annual practicing certificate for  
 the survey act 1988 hereby certify that this plan has been made from  
 surveys conducted by me or under my direction, that such plans and  
 surveys are correct and true and comply with the survey regulations 1991 as they apply to the plan in question.  
 Signed at Auckland this 22nd day of FEBRUARY 2009  
 of 2009  
 Field Book 6276, 6277, 6278, 6279, 6280, 6281, 6282, 6283, 6284, 6285, 6286, 6287, 6288, 6289, 6290, 6291, 6292, 6293, 6294, 6295, 6296, 6297, 6298, 6299, 6300, 6301, 6302, 6303, 6304, 6305, 6306, 6307, 6308, 6309, 6310, 6311, 6312, 6313, 6314, 6315, 6316, 6317, 6318, 6319, 6320, 6321, 6322, 6323, 6324, 6325, 6326, 6327, 6328, 6329, 6330, 6331, 6332, 6333, 6334, 6335, 6336, 6337, 6338, 6339, 6340, 6341, 6342, 6343, 6344, 6345, 6346, 6347, 6348, 6349, 6350, 6351, 6352, 6353, 6354, 6355, 6356, 6357, 6358, 6359, 6360, 6361, 6362, 6363, 6364, 6365, 6366, 6367, 6368, 6369, 6370, 6371, 6372, 6373, 6374, 6375, 6376, 6377, 6378, 6379, 6380, 6381, 6382, 6383, 6384, 6385, 6386, 6387, 6388, 6389, 6390, 6391, 6392, 6393, 6394, 6395, 6396, 6397, 6398, 6399, 6400, 6401, 6402, 6403, 6404, 6405, 6406, 6407, 6408, 6409, 6410, 6411, 6412, 6413, 6414, 6415, 6416, 6417, 6418, 6419, 6420, 6421, 6422, 6423, 6424, 6425, 6426, 6427, 6428, 6429, 6430, 6431, 6432, 6433, 6434, 6435, 6436, 6437, 6438, 6439, 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Contact: Brenda MacCormick  
 Group/Division: Information Services  
 Telephone: 5706994  
 Facsimile: 5706836  
 E.Mail: Brenda.MacCormick@huttcity.govt.nz  
 Our Reference: RM20-B40-40

12 December 2007

~~The Director  
 Beca Infrastructure Ltd  
 P O Box 3942  
 Wellington 6140~~

~~Attn: Boyd Peacock~~

Copy to Paul Head

**PROPOSED SUBDIVISION OF LOT 2 DP 87775 - 40 BOUVERIE STREET  
 PETONE**

With reference to your application for the above mentioned sub-division. I can confirm, that **provided the application is approved**, the street/postal numbers designated to the proposed new land parcels are as listed below.

<b>Proposed</b>	Lot 1	40 Bouverie Street (Existing)
	Lot 2	50 Bouverie Street

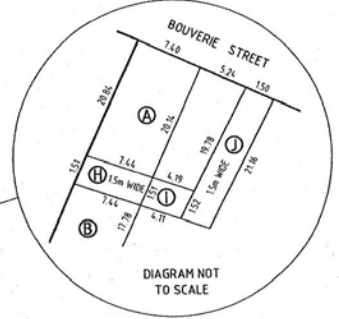
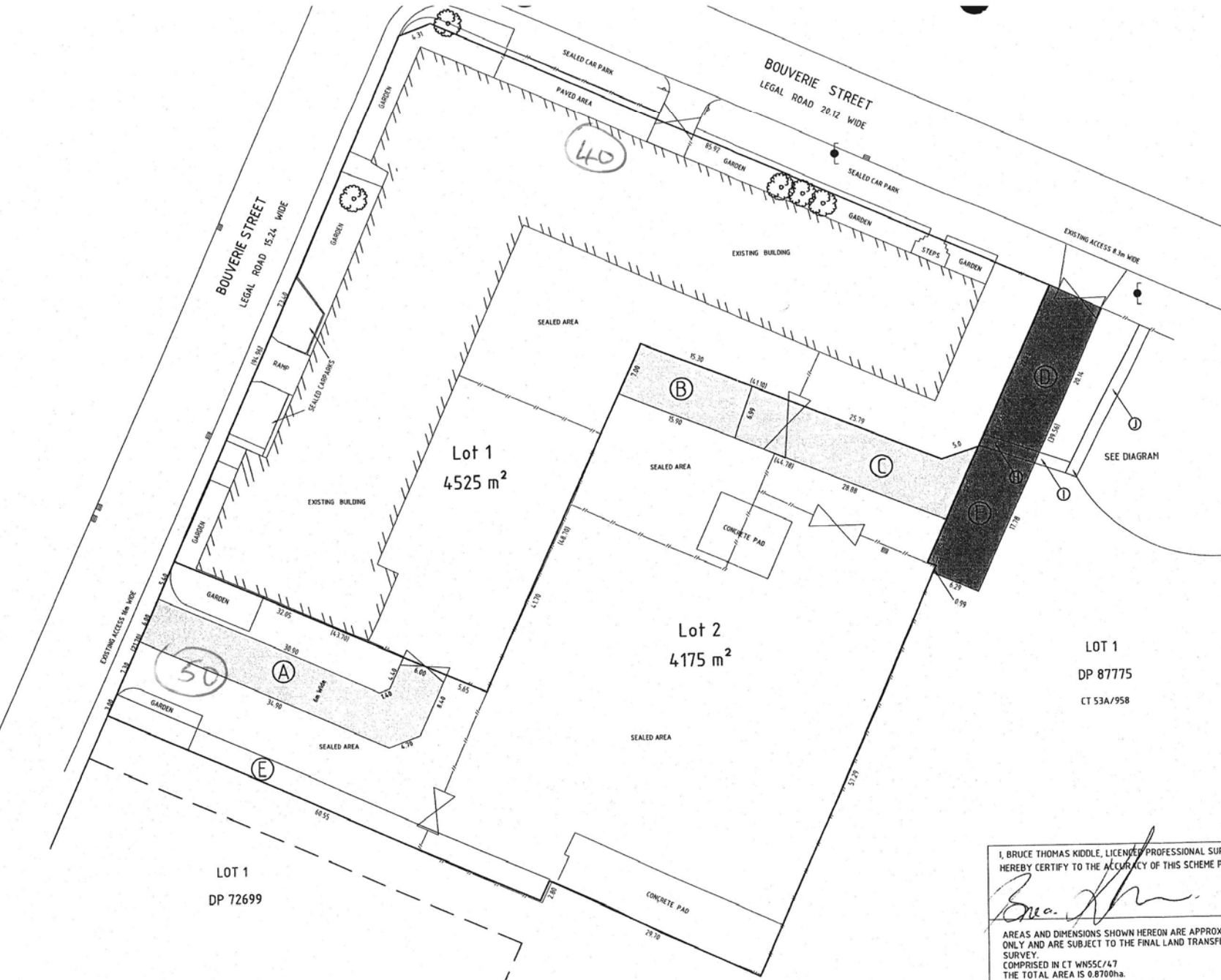
It would be appreciated if you would inform your client accordingly. The numbers should be displayed in a prominent position on these prospective land parcels as soon as it is possible to do so.

Yours sincerely

Brenda MacCormick  
 Land Records Officer

**IM/07/8112**





LOT 1  
DP 87775  
CT 53A/958

LOT 1  
DP 72699

I, BRUCE THOMAS KIDDLE, LICENSED PROFESSIONAL SURVEYOR,  
HEREBY CERTIFY TO THE ACCURACY OF THIS SCHEME PLAN.

*Bruce Thomas Kiddle*

AREAS AND DIMENSIONS SHOWN HEREON ARE APPROXIMATE  
ONLY AND ARE SUBJECT TO THE FINAL LAND TRANSFER  
SURVEY.  
COMPRISED IN CT WN55C/47  
THE TOTAL AREA IS 0.8700ha.

MEMORANDUM OF EASEMENTS			
PURPOSE	SHOWN	DOMINANT TENEMENT	SERVIENT TENEMENT
RIGHT OF WAY	A, B, C	Lot 1	Lot 2
		Lot 1 & 2	Lot 1 DP 87775
MEMO OF EXISTING EASEMENTS IN GROSS			
PURPOSE	SHOWN	SERVIENT TENEMENT	GRANTEE
ELECTRICITY	E	Lot 2	UNITED NETWORKS LIMITED
MEMORANDUM OF EXISTING EASEMENTS			
PURPOSE	SHOWN	DOMINANT TENEMENT	SERVIENT TENEMENT
RIGHT OF WAY	C	Lot 1 DP 87775	Lot 2
WATER DRAINAGE	H, I, J	Lot 1 & 2	Lot 1 DP 87775

ALTERATIONS AND ADDITIONS	DATE	BY
D ALTERATIONS AND ADDITIONS	26.11.07	BTK
C GARDEN AND CARPARK DETAIL	05.06.07	BTK
B STORM WATER ADDED	31.05.07	BTK
A FOR INFORMATION	29.05.07	BTK

Drawing Originator:  
**Engineers • Planners • Managers**

Original Scale	Design	Date	Approved For Construction
A1	BRLP	05.06.07	Approved For Construction
A2	Drawn	05.06.07	
A3	Day Verifier	05.06.07	
A4	Dwg Check	05.06.07	

Client: MCCOMBIE GIECK FAMILY TRUST No2 NOMINEES LTD

Project: 40 BOUVERIE STREET PETONE LOWER HUTT

Title: PROPOSED SUBDIVISION LOT 2 DP 87775

Discipline	Survey
Drawing No.	3270807-R004
Rev.	D



Contact: Rachel Helme  
 Group/Divison: Environmental  
 Consents  
 Telephone: 570 6905  
 Facsimile: 570 6799  
 E.Mail: rachel.helme@huttcity.govt.nz  
 Our reference: RM20-B40-40

(F) (2)

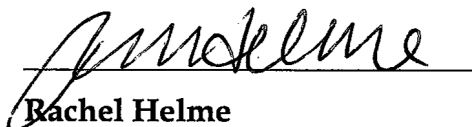
District Land Registrar  
 Land Registry Office  
 PO Box 5014  
 WELLINGTON

**RESOLUTION PURSUANT TO  
 SECTION 348 OF THE LOCAL GOVERNMENT ACT 1974**

In the matter of a resolution pursuant to section 348 of the Local Government Act 1974 in respect of a right of way lodged for deposit shown on the deposit plan no. 3270807-R003 Rev A submitted with the application dated August 2007.

*I, Rachel Helme, Authorised Officer of the Hutt City Council, hereby certify that pursuant to Section 348 of the Local Government Act 1974, the Hutt City Council gives approval for the right of way to be created over LOT 2 DP87775 (40 Bouverie Street) in favour of LOT 1 DP87775 (38 Bouverie Street; and that the existing right of way labelled "A" on the scheme plan 3270807-R003, Rev A be extinguished, as applied for within the application dated 18 May 2007.*

Dated at Lower Hutt this 15<sup>th</sup> day of July 2008



**Rachel Helme**  
**Acting Team Leader, Resource Consents**



**FILE REF:** RM20-B40-40

**TO:** Rachel Helme

**FROM:** Philip Murphy

**DATE:** 8 February 2008

**SUBJECT:** 40 BOUVERIE STREET – 2 LOT SUBDIVISION -  
ENGINEERING CONDITIONS

Engineering conditions relevant to the Utility Services Division:

1. The development shall be substantially in accordance with the information and plans (drawing number 3270807-R004) submitted with the application and held on Council File RM20-B40-40.

WITH THE EXCEPTION THAT THE LOT 2 FRONTAGE WIDTH ONTO BOUVERIE STREET IS TO BE AMENDED TO ALIGN WITH THE UPPER STOREY OVERHANG OF THE EXISTING BUILDING ON LOT 1 (AND NOT THE GROUND FLOOR AS SHOWN)

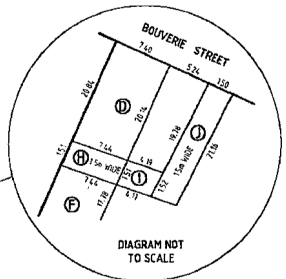
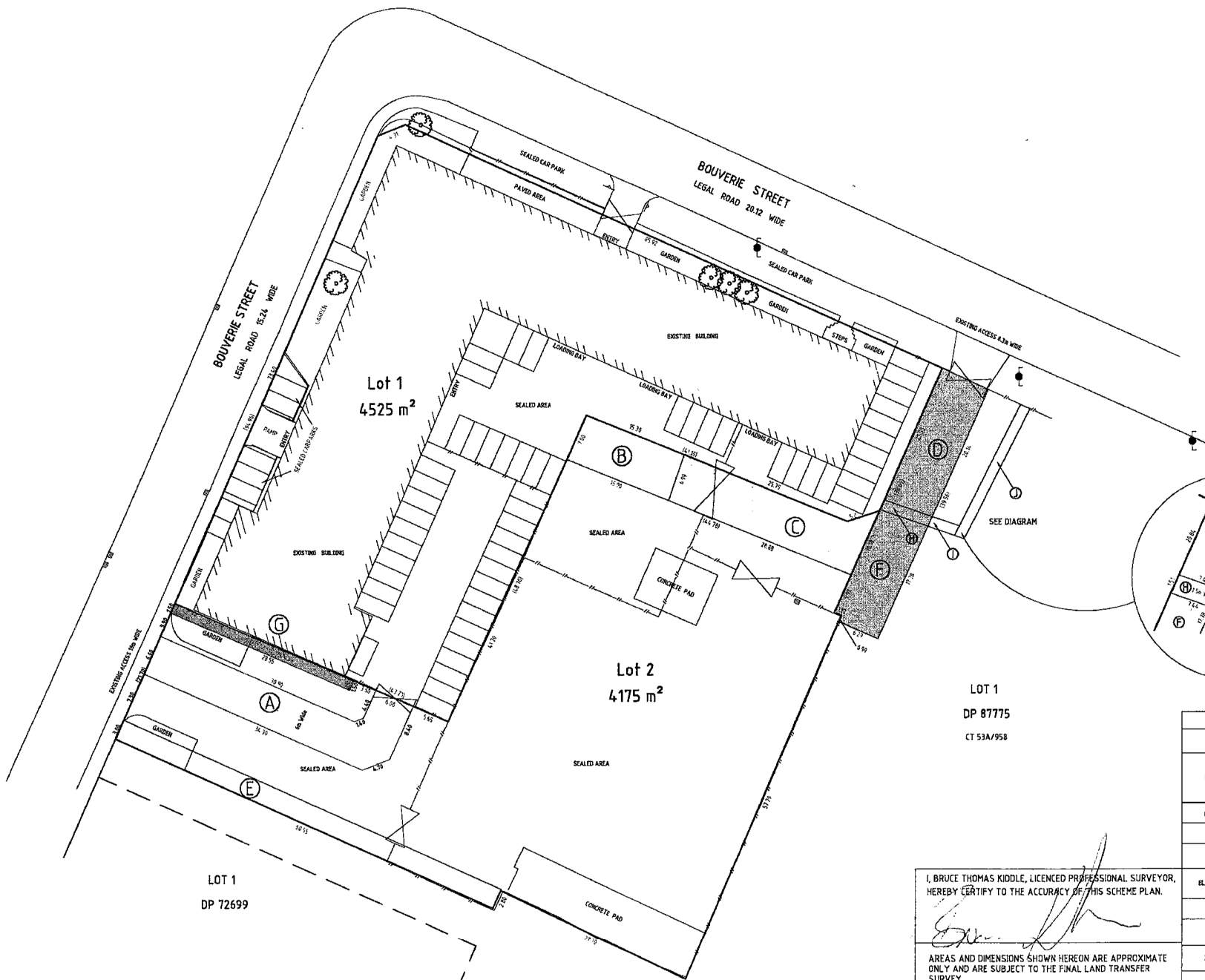
2. The consent holder shall pay Hutt City Council an engineering fee based on the Hutt City Council Scale of Engineering Fees being 3.43% of the construction costs (including GST) of providing Council services or access or any other work approved, inspected or tested by the Senior Road Asset Engineer or his representative, (as separate from work that is covered under any Building Consent). The minimum fee is set at \$132.30 (GST inclusive) irrespective of whether any construction work is necessary.
3. Prior to certification under Section 223 of the Resource Management Act 1991, the location and full extent of the existing private stormwater services are to be investigated and plotted on an "as-built" plan, certified by the Surveyor or Consulting Engineer (and 3 copies provided to the Senior Road Asset Engineer), in order that appropriate easements can be determined.
4. Electrical services must be provided and provision made to ensure that natural gas (where available or likely to become available) and telephone services can be made to lot 2.
5. Written confirmation shall be supplied to the General Manager, Asset Services that Telecom Corporation of New Zealand (or the network

supply authority) and United Networks Ltd conditions have been satisfied in regard to the supply of their respective utilities to lot 2.

6. A written certificate shall be supplied to the General Manager, Asset Services by the Surveyor that all existing services have been adjusted so that they are contained within the lot serviced (or are protected by an appropriate easement) and that the ends of all abandoned lines have been sealed, all in accordance with Council requirements, or written confirmation that no such adjustments/sealing are necessary.
7. Appropriate easements shall be provided for public and private services where necessary. Easements shall be shown as a Memorandum of Easements on the land transfer title plan and the easement documents shall be prepared by the consent holder's solicitors and at their cost. Easements for public services **(in this case a 1350mm diameter stormwater main laid north to south diagonally across both lots)** are to be shown on a plan with a minimum of 3.0m width centred over the service, or twice the depth of the trench, whichever is the greater, and shall be shown in gross with Hutt City Council as grantee.
8. Granting of the easements of right of way (and in this case also "light and air") in terms of the scheme plan. Easements shall be shown as a Memorandum of Easements on the land transfer title plan and the easement documents shall be prepared by the consent holder's solicitors and at their cost.
9. If shown to be appropriate, a Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered on the Certificate of Title of lots 1 and 2 to ensure future owners are aware that the properties share common, private stormwater drains.
10. A Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered on the Certificate of Title of lot 2 to ensure future owners are aware that the property is not serviced with sewer or water connections to the public mains at the time of subdivision.
11. The costs associated with the registration of the Consent Notices are to be met by the consent holder.

#### NOTES:

1. The consent holder shall pay Hutt City Council a Development Contribution of \$..... (including GST) in respect of one lot. This payment is required prior to certification under Section 224(c) of the Resource Management Act 1991.



LOT 1  
DP 87775  
CT 53A/958

MEMORANDUM OF EASEMENTS			
PURPOSE	SHOWN	DOMINANT TENEMENT	SERVANT TENEMENT
RIGHT OF WAY	A, B, C	Lot 1	Lot 2
RIGHT OF WAY	D, E, H	Lot 1 & 2	Lot 1 DP 87775
LIGHT AND AIR		Lot 1	Lot 2

MEMO OF EXISTING EASEMENTS IN GROSS			
PURPOSE	SHOWN	SERVANT TENEMENT	GRANTEE
ELECTRICITY	E	Lot 2	LIMITED NETWORKS LIMITED

MEMORANDUM OF EXISTING EASEMENTS			
PURPOSE	SHOWN	DOMINANT TENEMENT	SERVANT TENEMENT
RIGHT OF WAY	C	Lot 1 DP 87775	Lot 2
WATER DRAINAGE	H, I, J	Lots 1 & 2	Lot 1 DP 87735

I, BRUCE THOMAS KIDDLE, LICENCED PROFESSIONAL SURVEYOR, HEREBY CERTIFY TO THE ACCURACY OF THIS SCHEME PLAN.

*[Signature]*

AREAS AND DIMENSIONS SHOWN HEREON ARE APPROXIMATE ONLY AND ARE SUBJECT TO THE FINAL LAND TRANSFER SURVEY.  
COMPRISED IN CT WN55C/47  
THE TOTAL AREA IS 0.870oha.

F	ADDITIONAL EASEMENT	BRLP	BTX	BTX	07.01.08
E	CAR PARKING LAYOUT	BRLP	BTX	BTX	13.12.07
D	ALTERATIONS AND ADDITIONS	LPWD	BTX	BTX	30.11.07
C	GARDEN AND CARPARK DETAIL	BRLP	SRW	BTX	03.06.07
B	STORM WATER ADDED	BRLP	SRW	BTX	31.05.07

Drawing Originator:  
**HT**

Original Scale: 1:41  
1:250  
Design: BRLP 05.06.07  
Drawn: BRLP 05.06.07  
Dig. Verifier: BTX 05.06.07

MCCOMBIE GIECK FAMILY TRUST No 2 NOMINEES LTD

Project: 40 BOUVERIE STREET PETONE

Title: PROPOSED SUBDIVISION LOT 2 DP 87775

Discipline: SURVEY  
Drawing No. 1 Rev



Contact: Robert Hayles  
Group/Division: Environmental Consents  
Telephone: DDI 570 6927  
Facsimile: 04 5706 799  
Email: Robert.Hayles@huttcity.govt.nz  
Our Reference: RM20-B40-40

20 December 2007

Beca Infrastructure Ltd  
P O Box 3942  
Wellington  
Att: Boyd Peacock

Dear Sir/Madam,

**REQUEST FOR FURTHER INFORMATION FOR A RESOURCE CONSENT APPLICATION FOR SUBDIVISION AT 40 BOUVERIE STREET PETONE 5012. (RESOURCE CONSENT NO: RM070769)**

I refer to your application received on 06 Dec 2007. Under section 92 of the Resource Management Act 1991, the Council requests further information for your application to undertake the above activity for resource consent (Our Ref: RM070769).

This further information is detailed below. It will help us to better understand your proposed activity, its effect on the environment and the ways any adverse effects on the environment might be mitigated.

The following comments have been received from the Utility Services Division and should be responded to.

- 1) "The Schedule of Existing Easements should be modified to exclude the proposed lot 2 from water drainage rights over "H, I and J"-it will not have direct access to this easement.
- 2) The road frontage for lot 2 onto Bouverie Street is shown as 21.70m. This takes it more or less up to the ground floor wall of the building on lot 1. However the upper storey protrudes out from this wall. I measure the upper storey wall as being 21.3m from the southern boundary.
- 3) The southern wall on the building on lot 1 is not fire rated-it is glass windows on the upper storey.
- 4) Is it possible for the lot1/lot 2 boundary along this wall to be moved 1.5m south? This would allow a side yard and enable access for maintenance, window cleaning etc.
- 5) There is a storm water manhole at the entrance of ROW "A" within lot 2. This has an outlet pipe of approximately 300mm from the property. This is private and it is necessary to determine the extent of this storm water system within the property.



order to establish the necessary easements or works to separate the system as Lot 1 obviously feeds into it.

- 6) Unless the applicant can indicate a particular sized water and sewer connection to suit any proposed development of the new vacant lot 2 it would be my intention to require a consent notice on that lot to indicate that at the time of subdivision lot 2 is unserved for water and sewer. That lot does have storm water –the pipe referred to in Clause 5)”

In accordance with section 88B of the Resource Management Act 1991, I will suspend processing your application until I receive your comments on the above. Within 15 days of the date of this letter please either supply the information, or confirm that you are willing to provide this information (in order for Council officers to supply you with a date by which the information is to be supplied). You can object to this request for further information by writing to the council within 15 working days of receiving this request. You must state your reasons for objecting and you should address your objection to me.

Please note that if one of these options above is not taken by the applicant, the Council has the option of declining the application.

If you have any further queries please do not hesitate to contact me on ph. 570 6666.

Yours sincerely



Robert Hayles  
Resource Consent Planner

**FILE REF:** RM20-B40-40  
**TO:** Rachel Helme  
**FROM:** Philip Murphy  
**DATE:** 18 December 2007  
**SUBJECT:** 40 BOUVERIE STREET – 2 LOT SUBDIVISION -  
ENGINEERING CONDITIONS

Engineering **comment** relevant to the Utility Services Division:

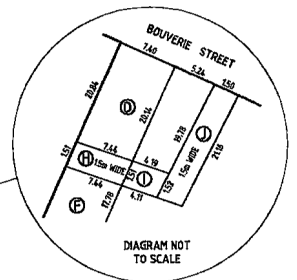
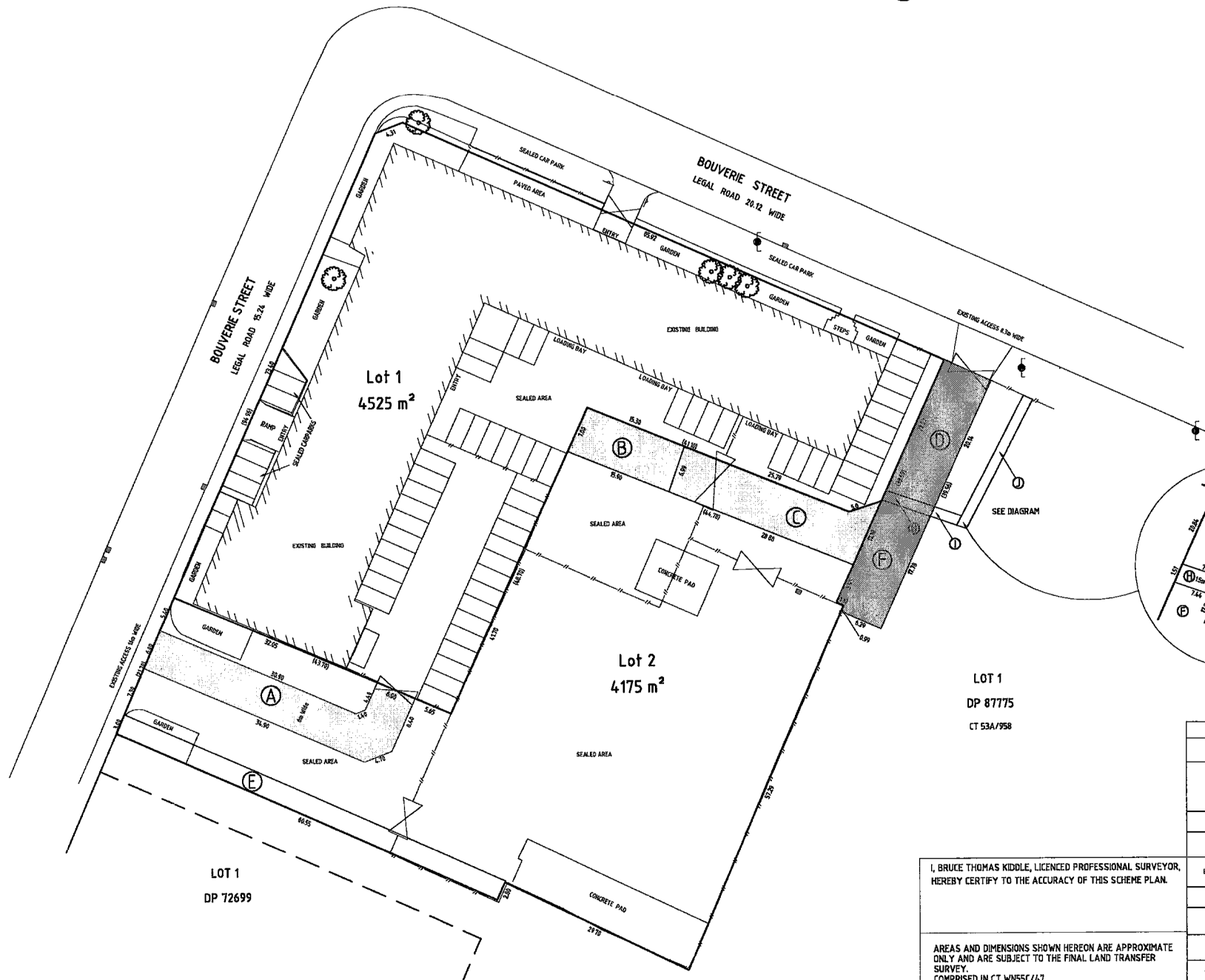
1. THE SCHEDULE OF EXISTING EASEMENTS SHOULD BE MODIFIED TO EXCLUDE THE PROPOSED LOT 2 FROM WATER DRAINAGE RIGHTS OVER "H, I AND J". – IT WILL NOT HAVE DIRECT ACCESS TO THIS EASEMENT.
2. THE ROAD FRONTAGE FOR LOT 2 ONTO BOUVERIE SREET IS SHOWN AS 21.70M. THIS TAKES IT MORE OR LESS UP TO THE GROUND FLOOR WALL OF THE BUILDING ON LOT 1 – HOWEVER THE UPPER STOREY PROTRUDES OUT FROM THIS WALL. I MEASURE THE UPPER STOREY WALL AS BEING APPROX. 21.3M FROM THE SOUTHERN BDY.
3. THE SOUTHERN WALL OF THE BUIDING ON LOT 1 IS NOT FIRE-RATED – IT IS GLASS WINDOWS ON THE UPPER STOREY.
4. WHY CAN'T THE LOT 1/LOT 2 BOUNDARY ALONG THIS WALL BE MOVED 1.5M SOUTH? THIS WOULD ALLOW A SIDE YARD AND ENABLE ACCESS FOR MAINTENANCE/WINDOW CLEANING ETC. ALONG THIS WALL.
5. THERE IS A STORMWATER MANHOLE AT THE ENTRANCE OF ROW "A' WITHIN LOT 2. THIS HAS AN INLET PIPE OF APPROX. 300MM FROM THE PROPERTY. IT IS PRIVATE. THE APPLICANT NEEDS TO SUBMIT THE EXTENT OF THIS STORMWATER SYSTEM WITHIN THE PROPERTY IN ORDER TO ESTABLISH THE NECESSARY EASEMENTS OR WORKS TO SEPARATE THE SYSTEM AS OBVIOUSLY LOT 1 FEEDS INTO IT.
6. UNLESS THE APPLICANT CAN INDICATE A PARTICULAR SIZED WATER AND SEWER CONNECTION TO SUIT ANY PROPOSED DEVELOPMENT OF THE NEW VACANT LOT 2 IT WILL BE MY INTENTION TO HAVE A CONSENT NOTICE ON THAT LOT TO

INDICATE THAT AT THE TIME OF SUBD'V. THIS LOT IS UNSERVICED FOR WATER AND SEWER. - IT DOES HAVE STORMWATER (THE PIPE MENTIONED IN CLAUSE 5).

Regards

**PHILIP MURPHY**  
**SENIOR ROAD ASSET ENGINEER**





LOT 1  
DP 87775  
CT 53A/958

LOT 1  
DP 72699

MEMORANDUM OF EASEMENTS			
PURPOSE	SHOWN	DOMINANT TENEMENT	SERVANT TENEMENT
RIGHT OF WAY	A, B, C	Lot 1	Lot 2
		Lot 1 & 2	Lot 1 DP 87775

MEMO OF EXISTING EASEMENTS IN GROSS			
PURPOSE	SHOWN	SERVANT TENEMENT	GRANTEE
ELECTRICITY	E	Lot 2	UNITED NETWORKS LIMITED

MEMORANDUM OF EXISTING EASEMENTS			
PURPOSE	SHOWN	DOMINANT TENEMENT	SERVANT TENEMENT
RIGHT OF WAY	C	Lot 1 DP 87775	Lots 2
WATER DRAINAGE	H, I, J	Lots 1 & 2	Lot 1 DP 87775

I, BRUCE THOMAS KIDDLE, LICENCED PROFESSIONAL SURVEYOR, HEREBY CERTIFY TO THE ACCURACY OF THIS SCHEME PLAN.

AREAS AND DIMENSIONS SHOWN HEREON ARE APPROXIMATE ONLY AND ARE SUBJECT TO THE FINAL LAND TRANSFER SURVEY.  
COMPRISED IN CT W555C/47  
THE TOTAL AREA IS 0.8700ha.

E CAR PARKING LAYOUT	BR/PL	BT/K	BT/K	13.12.07
D ALTERATIONS AND ADDITIONS	IL/PWD	BT/K	BT/K	30.11.07
C GARDEN AND CARPARK DETAIL	BR/PL	SR/W	BT/K	05.06.07
A PRELIMINARY APPROVAL	BR/PL	SR/W	BT/K	17.03.07

Drawing Originator:

Original Scale (A1)	Design	BR/PL	BT/K	05.06.07	Approved For Construction
1:250	Drawn	BR/PL	BT/K	05.06.07	
Reduced	Check	Verthier	BT/K	05.06.07	

Client: MCCOMBIE GIECK FAMILY TRUST No2 NOMINEES LTD

Project: 40 BOUVERIE STREET PETONE

Title: PROPOSED SUBDIVISION LOT 2 DP 87775

Deep/Dope: SURVEY  
Drawing No. Rev.



Contact: Rachel Helme  
Group/Divison: Environmental Consents  
Telephone: 570 6905  
Facsimile: 570 6799  
E.Mail: rachel.helme@huttcity.govt.nz  
Our reference: RM20-B40-40

District Land Registrar  
Land Registry Office  
PO Box 5014  
WELLINGTON

**RESOLUTION PURSUANT TO  
SECTION 348 OF THE LOCAL GOVERNMENT ACT 1974**

In the matter of a resolution pursuant to section 348 of the Local Government Act 1974 in respect of a right of way lodged for deposit shown on the deposit plan no. 3270807-R003 Rev A submitted with the application dated August 2007.

*I, Rachel Helme, Authorised Officer of the Hutt City Council, hereby certify that pursuant to Section 348 of the Local Government Act 1974, the Hutt City Council gives approval for the right of way to be created over LOT 2 DP87775 (40 Bouverie Street) in favour of LOT 1 DP87775 (38 Bouverie Street; and that the existing right of way labelled "A" on the scheme plan 3270807-R003, Rev A be extinguished, as applied for within the application dated 18 May 2007.*

Dated at Lower Hutt this 15<sup>th</sup> day of July 2007

**Rachel Helme**  
**Acting Team Leader, Resource Consents**





▪ report

# **Application For Right of Way Approval - Bouverie Street, Petone**

▪ report

# **Application For Right of Way Approval - Bouverie Street, Petone**

Prepared for

Hutt City Council

On Behalf Of

McCombie Gieck Family Trust No2  
Nominees Ltd

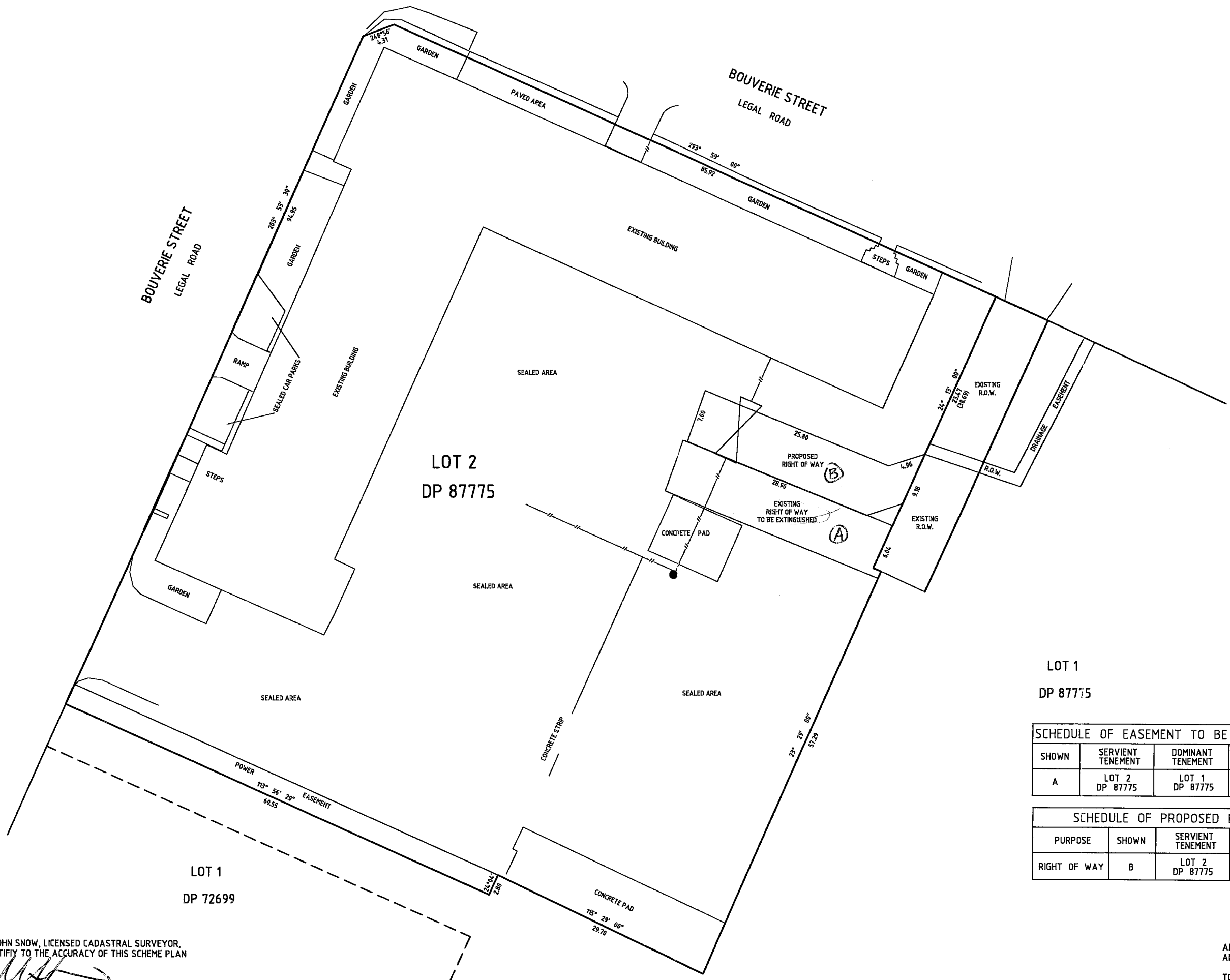
By

Beca Infrastructure Ltd

August 2007

- Appendix A

## **Legal Plan With Certification**



LOT 1  
DP 87775

SCHEDULE OF EASEMENT TO BE SURRENDERED			
SHOWN	SERVIENT TENEMENT	DOMINANT TENEMENT	CREATED BY
A	LOT 2 DP 87775	LOT 1 DP 87775	B756747.2

SCHEDULE OF PROPOSED EASEMENTS			
PURPOSE	SHOWN	SERVIENT TENEMENT	DOMINANT TENEMENT
RIGHT OF WAY	B	LOT 2 DP 87775	LOT 1 DP 87775

I, MICHAEL JOHN SNOW, LICENSED CADASTRAL SURVEYOR,  
HEREBY CERTIFY TO THE ACCURACY OF THIS SCHEME PLAN

AREAS AND DIMENSIONS ARE APPROXIMATE ONLY  
AND SUBJECT TO FINAL LAND TRANSFER SURVEY.

TOTAL AREA : 8700m<sup>2</sup>  
COMPRISED IN CT WN55C/47

- Appendix B

## **Copy of Relevant Aerial Photography**



# Hutt City Council - Property Enquiry Report



**PROPERTY DETAILS**

Property Address **40 Bouverie Street PETONE**  
 Legal Description **LOT 2 DP 87775 SUBJ TO & INT IN R/W 55C/47**  
 Certificate of Title **55C/47**  
 Total Property Area (sq.mts.) **8700**  
 Property Improvements **BLDG OI**  
 Valuation Number **1659012502**  
 Property Rating Status **Current**  
**RATING YEAR** **2007-2008** **2008-2009**

**ANNUAL RATES**

Rates - City Council **\$27,940.75** Not Yet Available  
 Rates - Regional Council **\$2,711.93** Not Yet Available  
 Total Rates Charge **\$30,652.68** Not Yet Available

**RATING FACTORS**

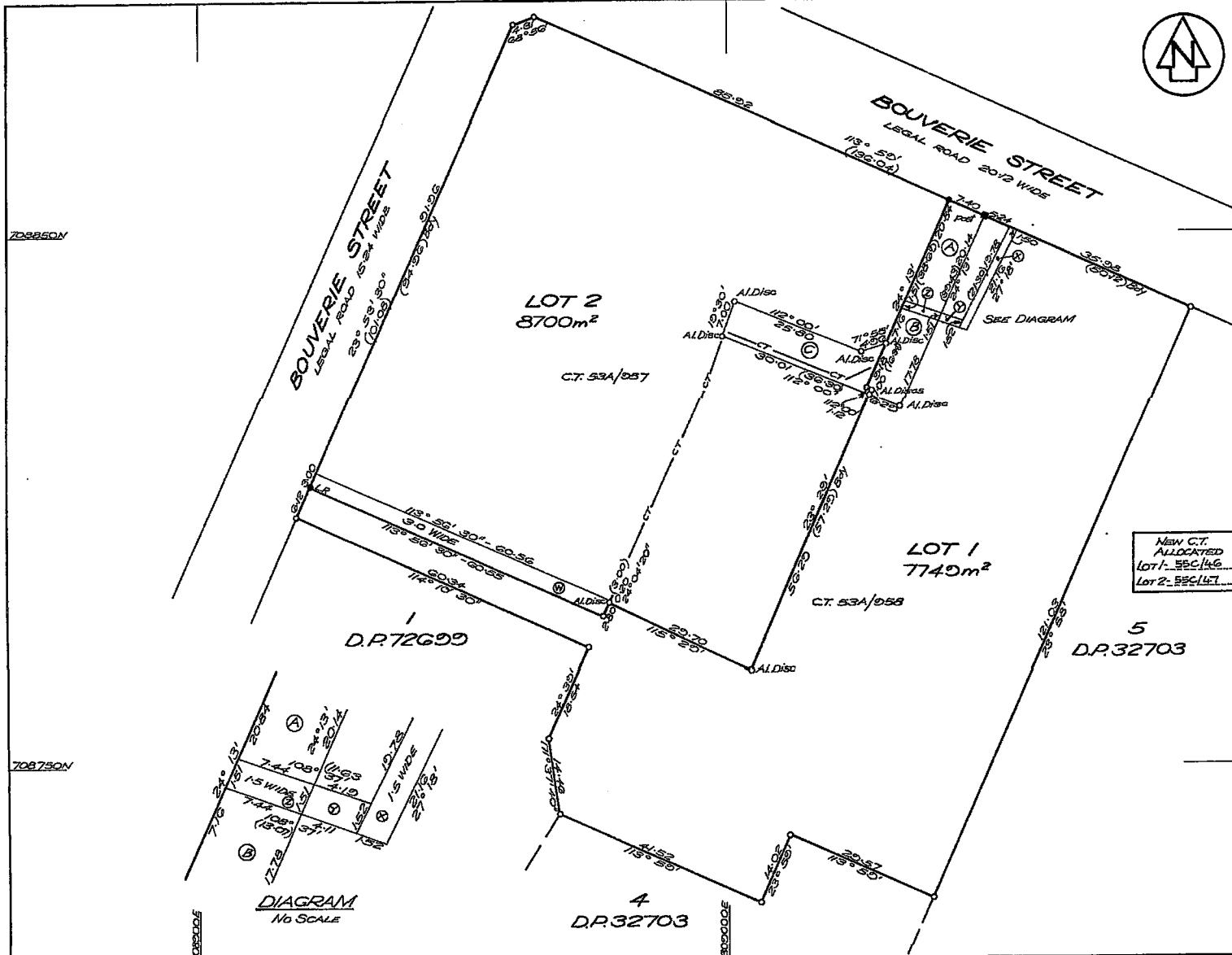
Differential Rating Category	<b>Business Suburban</b>	<b>Business Suburban</b>
Capital Value	<b>\$1,850,000.00</b>	<b>\$1,850,000.00</b>
Land Value	<b>\$450,000.00</b>	<b>\$450,000.00</b>
Water units	<b>1</b>	<b>1</b>
Wastewater Units(Full)	<b>1</b>	<b>1</b>
Wastewater Units(Half)	<b>15</b>	<b>15</b>
Separately occupied parts	<b>1</b>	<b>1</b>
Bovine TB Area (Hectares)	<b>0</b>	<b>0</b>
Private Drains(Cost of Works)	<b>\$0.00</b>	<b>\$ 0.00</b>



- Selection
- Reserves
- Schools
- Properties
- Parcels
- Storm Water Pipe
- Storm Water Lateral Pipe
- Water Main Pipe
- Water Main Lateral Pipe
- Sewer Pipe
- Sewer Lateral Pipe

**IMPORTANT NOTICE:** Ratesbook information is provided under Section 28 of the Local Government (Rating) Act 2002 as an online representation of a Public Register. Although the graphical information displayed in the Property Enquiry System application has been prepared with care and in good faith, the Property Enquiry System is an information service and is designed to be illustrative only. The Council cannot guarantee the accuracy or completeness of the graphical information and accepts no liability for any loss suffered as a result of reliance on the information. Any person wishing to rely on the information within the Property Enquiry System application should independently verify that information. The map display is a composite of property and services information supplied under licence to Hutt City Council and Hutt City Council information. The composite map display incorporates an error rate. In urban areas error rate is generally ± 1m, in rural areas the error rate is generally ± 25m. The confidence in these error rates is 95 %. Accurate information relating to legal title can be obtained from Land Information New Zealand. A surveyor can provide accurate information on the boundaries for a property. Cadastral information sourced from LINZ. CROWN COPYRIGHT RESERVED.

- Appendix C  
**Certificate of Title  
Information**



New CT ALLOCATED  
 Lot 1 - E5C146  
 Lot 2 - E5C147

Approvals  
 Approved as to Survey by  
 UNITED NETWORKS LIMITED  
 by its Attorney SIMON DOUGLAS  
 WHITE of Auckland *Simon Douglas*

REGISTERED PROPRIETORS  
 I HEREBY CERTIFY THAT THIS PLAN WAS  
 APPROVED BY THE HUTT CITY COUNCIL  
 PURSUANT TO SECTION 223 OF THE RESOURCE  
 MANAGEMENT ACT 1991 ON THE 11th DAY  
 OF 11 FEBRUARY 1999 SUBJECT TO THE  
 GRANTING OF RESERVINGS OF THE  
 EASEMENTS SET OUT IN THE  
 MEMORANDUM HEREOF AND FOR THE  
 PURPOSES OF SECTION 224 (2)  
 RESOURCE MANAGEMENT ACT 1991 THAT  
 ALL OF THE CONDITIONS OF THIS  
 SUBDIVISION CONSENT HAVE BEEN  
 COMPLIED WITH TO THE SATISFACTION  
 OF THE SAID COUNCIL.

*MWA*  
 GENERAL LEGAL COUNSEL

MEMORANDUM OF EASEMENTS			
PURPOSE	SHOWN	SERVIENT TENEMENT	DOMINANT TENEMENT
R.O.W	A, B, Z	LOT 1	LOT 2
	C	LOT 2	LOT 1

SCHEDULE OF EXISTING EASEMENTS			
PURPOSE	SHOWN	DOCUMENT	
WATER DRAINAGE	Y, Z	E/C 8.670705-3	
	X	T 8.670705-4	

SCHEDULE OF EASEMENTS			
PURPOSE	SHOWN	SERVIENT TENEMENT	GRANTEE
ELECTRICITY	W	LOT 2	UNITED NETWORKS LIMITED

NOTE - WITHIN LAND IS SUBJECT TO  
 CONSENT NOTICE 8670705-1 UNDER  
 SECTION 22(1) RESOURCE MANAGEMENT  
 ACT 1991.

Total Area 15,440m<sup>2</sup>  
 Comprised in All CT 53A/057 &  
 53A/058

**SIMON DOUGLAS GAWIN**  
 Registered Surveyor and holder of an annual practising certificate for  
 who may act as a registered surveyor pursuant to section 26 of the  
 Survey Act 1980) hereby certify that this plan has been made from  
 surveys executed by me or under my directions, that both plan and  
 survey are correct and have been made in accordance with the Survey  
 Regulations 1972 or any regulations made in substitution thereof,  
 Dated at Wellington this 25th day of FEB 1999  
 of 1999 1999 Signature *Simon Douglas*

Field Book 6434, p. 25-101, Inverse Book 6434, p. 112-114  
 Reference Plans 832703, 832600, 832602,  
 832603, 832607  
 Examined ..... Correct D. Harrison

Approved as to Survey  
 17 FEB 1999  
 Deputy Chief Surveyor  
 day of February 1999  
 for Registrar General of Land

File 38842 PLANNING  
 Received 01 FEB 1999  
 Instructions  
**87775**

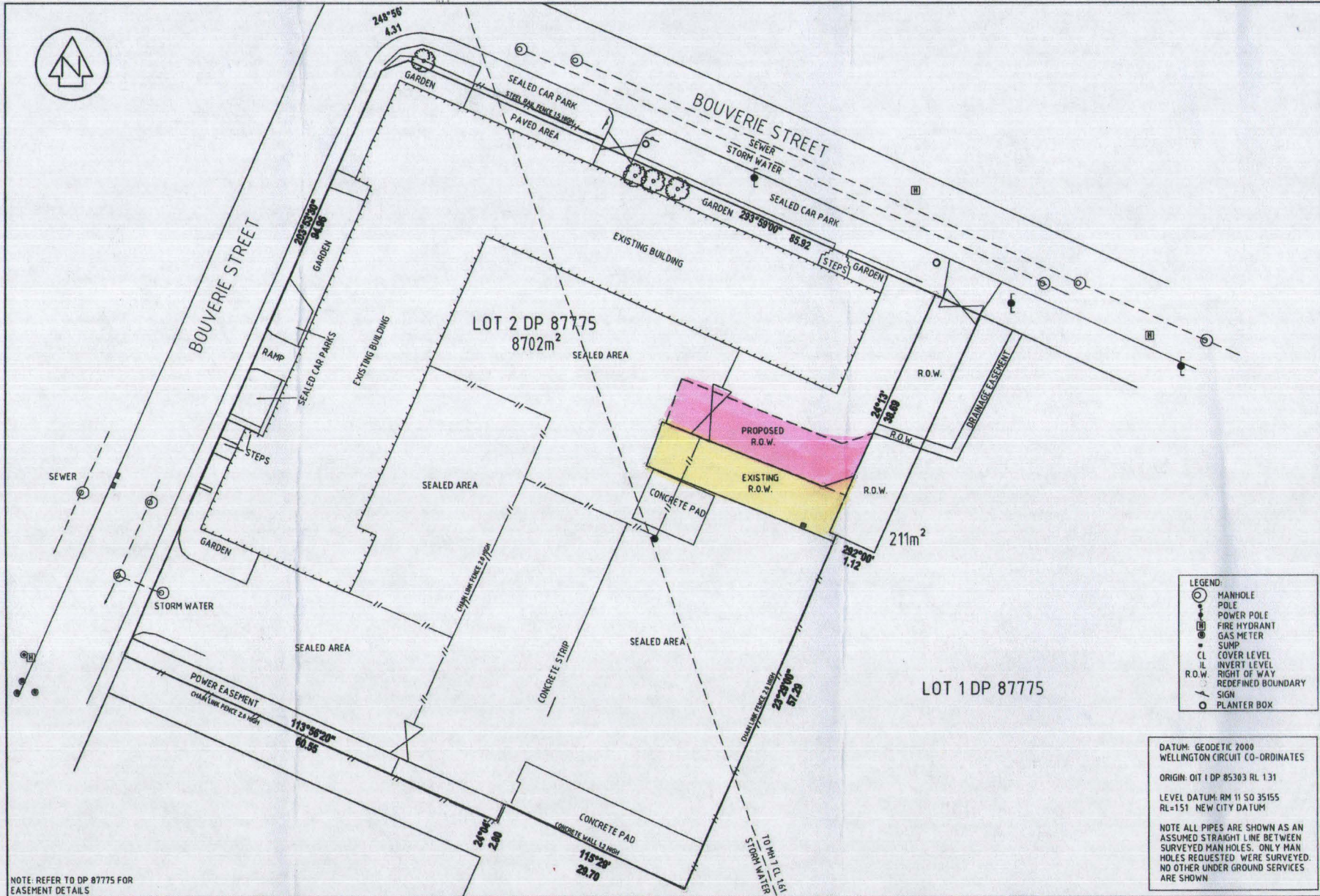
LAND DISTRICT WELLINGTON  
 SURVEY BLK. & DIST. XIII BELMONT  
 NZMS 261 SHT RECORD MAP No

LOTS 1 & 2 BEING SUBDIVISION OF  
 LOTS 1 & 2 D.P. 85303

TERRITORIAL AUTHORITY HUTT CITY  
 Surveyed by TSE GROUP LTD  
 Scale 1:500 Date FEB 1999

- Appendix D

## **Copy of Agreement with Dominant Tenement**



- LEGEND:**
- MANHOLE
  - POLE
  - ⊕ POWER POLE
  - ⊞ FIRE HYDRANT
  - ⊙ GAS METER
  - SUMP
  - CL COVER LEVEL
  - IL INVERT LEVEL
  - R.O.W. RIGHT OF WAY
  - REDEFINED BOUNDARY
  - SIGN
  - PLANTER BOX

DATUM: GEODETIC 2000  
 WELLINGTON CIRCUIT CO-ORDINATES  
 ORIGIN: OIT 1 DP 85303 RL 1.31  
 LEVEL DATUM: RM 11 SO 35155  
 RL=151 NEW CITY DATUM

NOTE ALL PIPES ARE SHOWN AS AN ASSUMED STRAIGHT LINE BETWEEN SURVEYED MAN HOLES. ONLY MAN HOLES REQUESTED WERE SURVEYED. NO OTHER UNDER GROUND SERVICES ARE SHOWN

NOTE: REFER TO DP 8775 FOR EASEMENT DETAILS

B DRAWING UPDATED		SRM	HIS	MJK	27.07.07
A FOR INFORMATION		SRM	BTX	BTX	12.07.07
No.	Revision	By	Chk.	Appd.	Date

Original Scale (A1)	Design	Approved For Construction
1:105	Drawn	SRM
Released Scale (A3)	Design Checker	BTX
1:250	Checked	BTX
	Date	12.07.07

\* Refer to Revision 1 for Original Signature

Client: MCCOMBIE GIECK FAMILY TRUST NO2 NOMINEES LTD

Project: 40 BOUVERIE STREET PETONE LOWER HUTT

PROPOSED RIGHT OF WAY REPOSITION		SURVEY	
Page 34 of 318	13/07/07-R002	Rev.	B

8



Contact: Robert Hayles  
 Group/Division: Environmental Consents  
 Telephone: 570 6927  
 Facsimile: 04 5706 799  
 E.Mail: Robert.Hayles@huttcity.govt.nz  
 Our Reference: RM20-B40-40, RM070769

13 February 2008

Beca Infrastructure Ltd  
 P O Box 3942  
 WELINGTON  
 Att: Boyd Peacock

Dear Sir

**RESOURCE CONSENT APPLICATION (RM070769) - PROPOSED SUBDIVISION OF LOT 2 DP 87775 INTO TWO LOTS AT 40 BOUVERIE STREET PETONE 5012.**

**1 Decision**

I refer to your application received 6 December 2007, and shown on plan no 3270807-R004. in connection with the above matter and wish to advise that, in exercise of delegated authority, in terms of Parts VI and X of the Resource Management Act 1991 the **subdivision consent** be granted subject to the following conditions:

1. The development shall be substantially in accordance with the information and plans (drawing number 3270807-R004) submitted with the application and held on Council File RM20-B40-40 except that the lot 2 frontage width onto Bouverie Street is to be amended to align with the upper storey overhang of the existing building on lot 1 (and not the ground floor as shown). This amendment shall be shown on the survey plan submitted for approval under section 223 of the Act.
2. The consent holder shall pay Hutt City Council an engineering fee based on the Hutt City Council Scale of Engineering Fees being 3.43% of the construction costs (including GST) of providing Council services or access or any other work approved, inspected or tested by the Senior Road Asset Engineer or his representative, (as separate from work that is covered under any Building Consent). The minimum fee is set at \$132.30 (GST inclusive) irrespective of whether any construction work is necessary.
3. Prior to certification under Section 223 of the Resource Management Act 1991, the location and full extent of the existing private stormwater services are to be investigated and plotted on an "as-built" plan, certified by the Surveyor or Consulting Engineer (and 3 copies provided to the Senior Road Asset Engineer), in order that appropriate easements can be determined.
4. Electrical services must be provided and provision made to ensure that natural gas (where available or likely to become available) and telephone services can be made to lot 2.



5. Written confirmation shall be supplied to the General Manager, Asset Services that Telecom Corporation of New Zealand (or the network supply authority) and United Networks Ltd conditions have been satisfied in regard to the supply of their respective utilities to lot 2.
6. A written certificate shall be supplied to the General Manager, Asset Services by the Surveyor that all existing services have been adjusted so that they are contained within the lot serviced (or are protected by an appropriate easement) and that the ends of all abandoned lines have been sealed, all in accordance with Council requirements, or written confirmation that no such adjustments/sealing are necessary.
7. Appropriate easements shall be provided for public and private services where necessary. Easements shall be shown as a Memorandum of Easements on the land transfer title plan and the easement documents shall be prepared by the consent holder's solicitors and at their cost. Easements for public services (**in this case a 1350mm diameter stormwater main laid north to south diagonally across both lots**) are to be shown on a plan with a minimum of 3.0m width centred over the service, or twice the depth of the trench, whichever is the greater, and shall be shown in gross with Hutt City Council as grantee.
8. Granting of the easements of right of way (and in this case also "light and air") in terms of the scheme plan. Easements shall be shown as a Memorandum of Easements on the land transfer title plan and the easement documents shall be prepared by the consent holder's solicitors and at their cost.
9. If shown to be appropriate, a Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered on the Certificate of Title of lots 1 and 2 to ensure future owners are aware that the properties share common, private stormwater drains.
10. A Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered on the Certificate of Title of lot 2 to ensure future owners are aware that the property is not serviced with sewer or water connections to the public mains at the time of subdivision.
11. That the existing encumbrance B679705.1 be recreated over both new allotments.
12. The costs associated with the registration of the Consent Notices are to be met by the consent holder.
13. The consent holder shall pay a contribution to Council's Reserves Purchases and Development Account for residential subdivisions at the rate of 5.5% of the market valuation of the 2 new lots. The amount required will be determined on the basis of a market value assessment from a registered valuer. It is the owner's responsibility to instruct the valuer and supply Council with an assessment.

**Notes:**

- This resource consent is valid for five years from the date it was granted.
- This resource consent is specific to the application received by Council. Any changes to the proposal may require a new resource consent and additional application fee.

- Plans submitted with the application have only been checked for compliance with the Resource Management Act 1991.
- Any building work associated with the proposed activity should not commence until a building consent has been obtained under the Building Act 2004.
- The applicant is reminded that this resource consent is not a licence to create adverse effects. You still have a duty under the Act to avoid, remedy or mitigate adverse effects. Notwithstanding any resource consents held, section 17 of the Act continues to apply and will take enforcement action where necessary.
- Council may issue an abatement notice if the conditions of this resource consent are not complied with. Contravention of an abatement notice may incur a fine up to \$200,000.
- Reconsideration of this decision and/or conditions of the resource consent may be sought under section 357 of the Act. Applications for reconsideration should be made to the Council in writing within 15 working days of the date the decision was made. Applications must set out the reasons for the objection and include a review fee of \$600.00
- The applicant for resource consent, consent holder or any person who made a submission on the application may also appeal this decision to the Environment Court within 15 working days of notice of the decision being received.
- The fee associated with the processing of any certificates as to compliance with subdivision conditions under the provisions of section 224 of the Resource Management Act is \$150.00.

On compliance with the foregoing conditions, please forward two copies of the title plan for Council's approval.

Yours sincerely



Robert Hayles

**RESOURCE CONSENT PLANNER**

## RESOURCE CONSENT APPLICATION – 40 BOUVERIE STREET PETONE 5012.

### 1. Decision

On 6 December 2007, the applicant applied for Resource Consent under the Resource Management Act 1991 (the Act) to subdivide 40 Bouverie Street, Petone (being Lot 2 DP87775) into 2 allotments. The application is a Controlled Activity under the City of Lower Hutt District Plan. The application has been considered as a non-notified application under section 94 of the Act and resource consent has been **granted** for a Controlled Activity pursuant to sections 104, 108 and 220 of the Resource Management Act 1991 for the following reasons:

- The proposal complies with the minimum allotment size, frontage and the shape factor requirements of the District Plan;
- The application is for a controlled activity and therefore Council cannot decline the consent nor seek the written approval of any party.
- The adverse effects of the proposal on the environment are considered to be no more than minor.
- The proposal has been assessed and supported by a Council Subdivision Engineer, subject to suitable conditions being imposed onto the consent application.

The **subdivision consent** is granted subject to the following conditions:

1. The development shall be substantially in accordance with the information and plans (drawing number 3270807-R004) submitted with the application and held on Council File RM20-B40-40 except that the lot 2 frontage width onto Bouverie Street is to be amended to align with the upper storey overhang of the existing building on lot 1 (and not the ground floor as shown). This amendment shall be shown on the survey plan submitted for approval under section 223 of the Act.
2. The consent holder shall pay Hutt City Council an engineering fee based on the Hutt City Council Scale of Engineering Fees being **3.43%** of the construction costs (including GST) of providing Council services or access or any other work approved, inspected or tested by the Senior Road Asset Engineer or his representative, (as separate from work that is covered under any Building Consent). The minimum fee is set at **\$132.30** (GST inclusive) irrespective of whether any construction work is necessary.
3. Prior to certification under Section 223 of the Resource Management Act 1991, the location and full extent of the existing private stormwater services are to be investigated and plotted on an "as-built" plan, certified by the Surveyor or

Consulting Engineer (and **3 copies** provided to the Senior Road Asset Engineer), in order that appropriate easements can be determined.

4. Electrical services must be provided and provision made to ensure that natural gas (where available or likely to become available) and telephone services can be made to lot 2.
5. Written confirmation shall be supplied to the General Manager, Asset Services that Telecom Corporation of New Zealand (or the network supply authority) and United Networks Ltd conditions have been satisfied in regard to the supply of their respective utilities to lot 2.
6. A written certificate shall be supplied to the General Manager, Asset Services by the Surveyor that all existing services have been adjusted so that they are contained within the lot serviced (or are protected by an appropriate easement) and that the ends of all abandoned lines have been sealed, all in accordance with Council requirements, or written confirmation that no such adjustments/sealing are necessary.
7. Appropriate easements shall be provided for public and private services where necessary. Easements shall be shown as a Memorandum of Easements on the land transfer title plan and the easement documents shall be prepared by the consent holder's solicitors and at their cost. Easements for public services (**in this case a 1350mm diameter stormwater main laid north to south diagonally across both lots**) are to be shown on a plan with a minimum of 3.0m width centred over the service, or twice the depth of the trench, whichever is the greater, and shall be shown in gross with Hutt City Council as grantee.
8. Granting of the easements of right of way (and in this case also "light and air") in terms of the scheme plan. Easements shall be shown as a Memorandum of Easements on the land transfer title plan and the easement documents shall be prepared by the consent holder's solicitors and at their cost.
9. If shown to be appropriate, a Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered on the Certificate of Title of lots 1 and 2 to ensure future owners are aware that the properties share common, private stormwater drains.
10. A Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered on the Certificate of Title of lot 2 to ensure future owners are aware that the property is not serviced with sewer or water connections to the public mains at the time of subdivision.
11. That the existing encumbrance B679705.1 be recreated over both new allotments

12. The costs associated with the registration of the Consent Notices are to be met by the consent holder.

## **2 The Proposal**

The proposal is to subdivide an existing industrial lot into two lots, lot 1 with an area of 4525m<sup>2</sup> and lot 2 with an area of 4175m<sup>2</sup>. Access to the rear of lot 1 would be by way of a right of Way over Lot 2. Carparking for 60 cars is to be provided for the building on Lot 1 accessed via a Right of Way over Lot 2 or alternatively by a Right of Way over an adjacent Lot 1 DP 877775. Lot 2 would have street frontage to Bouverie Street and also Right of Way access.

## **3 The Site**

The site concerned is a corner site, is flat and contains an existing industrial type building erected along the Bouverie Street frontage. Lot 1 is 'L' shaped and would contain the existing building and carparking for the existing structure to the rear of the building. Lot 2 is currently vacant. Both Lots are traversed by a 1350mm Stormwater main.

The subject site is located within the General Business Activity Area of the City of Lower Hutt District Plan. The subject property has no special notations or restrictions registered within the District Plan which may affect this development.

The Certificate of Title for the property has a consent notice registered against it. That consent notice draws attention to the Stage 2 Environmental Site Investigation Report for the Petone Gas Works Site and the concentration of tar related chemicals known to be on site.

## **4 The Plan**

The appropriate planning instrument for assessing the proposed activity is the City of Lower Hutt District Plan. The site is within the General Business Activity Area.

### *Subdivision:*

Rule 11.2.2 of the District Plan allows for subdivision in the General business Activity Area as a Controlled Activity where the compliance standards are met.

Rule 11.2.2.1 of the District Plan lists the standards and terms by which Controlled Activity subdivisions are assessed. These are as follows:

1. Allotment Design Standards and Terms
2. Engineering Design Standards and Terms
3. Contamination Standards and Terms

The subdivision meets the minimum allotment design and standards as the proposed allotments meet the minimum size, frontage and shape factor requirements of the District Plan.

The Subdivision Engineer has confirmed that with adherence to certain conditions the proposal can meet the engineering design standards and terms.

The site is listed as a contaminated site on the Greater Wellington Regional Council SLUR database. The consent notice on the Certificate of Title refers to a report prepared for an earlier subdivision and that report concludes that the site is considered suitable for its current use of office building and warehouse complex, workshops and gas installations, provided that the soil is not exposed. However, remediation work will be required should the site be redeveloped for a more sensitive use. No wells may be drilled on site and excavation may expose workers to health risks particularly in the parts of the site containing concentrations of tar. Appropriate measures must be taken to protect workers when excavating or disturbing the site.

## 5 Notification

In considering whether the application must be notified (and if so how) the proposal has been considered as a Controlled Activity as provided for by Rule 11.2.2 of the Plan. Rule 17.2.1 of the District Plan states that applications for controlled activities shall not be publicly notified, nor shall the consent of any persons be required.

*Has the applicant requested notification?*

No.

## 6 Consideration of the application

Section 104 of the Act requires that when considering an application for resource consent that, subject to Part II of the Act, the Council must have regard to:

- Any actual and potential effects on the environment of allowing the activity;
- Any relevant provisions of a national policy statement, a New Zealand coastal policy statement, a regional policy statement or proposed regional policy statement and a plan or proposed plan;
- Any other matter the consent authority considers relevant and reasonably necessary to determine the application.

I address these matters below.

### Actual and Potential effects on the environment

In accordance with section 104(2), when forming an opinion on section 104(1) (a), Council may disregard an adverse effect of the activity on the environment if the plan permits an activity with that effect. In the case of this proposal there is no

permitted baseline as all subdivision consents (with the exception of minor boundary adjustments) require resource consent as controlled activities (providing they meet the allotment design and engineering standards) under the City of Lower Hutt District Plan.

The relevant objectives and policies of the District Plan for the General Business Activity Area and Subdivisions provide guidance for assessing the relevant effects of the proposal.

- The proposed allotments comply with the allotment size, shape, access and frontage requirements of the General Business Activity Area of the District Plan.
- The site is known to be contaminated however subdivision has been permitted in the past and the site is considered suitable for a range of activities permitted in the General Business Activity Area. There is a consent notice registered against the site and the provisions of this will continue to apply.
- The conditions of the consent will control any adverse effects of the proposal on the local environment to a level that is considered to be no more than minor.
- The proposal has been assessed by a Subdivisions Engineer who has concluded that provided the proposal adheres to certain conditions, then the application can meet the engineering standards of the District Plan. Council has accepted the conditions of consent and have included them on the consent.

The actual or potential effects created by the development will be minor and I do not consider that the proposal will have any resulting effect on any party.

### **Relevant Policy Statements and District Plan**

The most relevant Objectives and Policies to the application under consideration are:

#### ***11.1.1 Allotment Standards – Objective***

*To ensure that land which is subdivided can be used for the proposed use or development.*

#### ***Policy***

- (a) *To ensure that allotments have minimum design standards such as, minimum size, shape and frontage, which are suitable for the proposed use or development.*

Comment: The proposal is considered to be consistent with above Objective and Policy of the District Plan. The allotments created as a result of this proposal will

comply with the minimum allotment size, shape and frontage requirements of the District Plan.

### **11.1.2 Engineering Standards – Objective**

*To ensure that utilities provided to service the subdivision protect the environment and that there are no adverse effects on the health and safety of residents and occupiers.*

#### **Policy**

- (a) *To ensure that utilities provided comply with specified performance standards relating to such matters as access, street lighting, stormwater, water supply, wastewater, gas, telephone, electricity and earthworks.*

Comment: The proposal complies with the above Objective and Policy of the District Plan. The proposal has been assessed by a Subdivision Engineer and he has concluded that subject to appropriate conditions being imposed on the consent application the proposal will meet the engineering requirements of the District Plan.

### **Contamination Standards and Terms**

#### **11.2.2.1(c) Performance Objectives:**

*To prevent adverse effects on the occupants of the site, the community and the environment of contaminated sites.*

*To ensure that contaminated sites used are remedied to an acceptable standard.*

Comment: The site was the location of the Petone Gas Works and is known to be contaminated. A contamination report was prepared for an earlier subdivision of the site. That report suggested that remediation would be required for a sensitive use but provided the soil is not exposed the site was suitable for uses such as offices, warehousing and workshops.

Pursuant to section 104 (1) (b) it has also been determined that no Regional Plan or Regional Policy Statement will affect this application.

### **Section 106 of the Resource Management Act 1991**

Pursuant to Section 106 of the Act Council may refuse consent to a subdivision application in the following circumstances:

- a) *the land in respect of which a consent is sought, or any structure on the land, is or is likely to be subject to material damage by erosion, falling debris, subsidence, slippage, or inundation from any source; or*
- (b) *any subsequent use that is likely to be made of the land is likely to accelerate, worsen, or result in material damage to the land, other land, or structure by erosion, falling debris, subsidence, slippage, or inundation from any source; or*

(c) *sufficient provision has not been made for legal and physical access to each allotment to be created by the subdivision.*

It is considered that the proposed subdivision is not contrary to the requirements of Section 106 of the Resource Management Act. The subject site is flat and has no water bodies present within its confines or is in close proximity to a river or stream. The property is not bounded by steep terrain which may result in there being falling debris, erosion or slippage which may adversely affect the proposed allotments or any future dwellings.

Legal and physical access to the proposed allotments is satisfied either through direct frontage onto the local roading network or by a Right of Way.

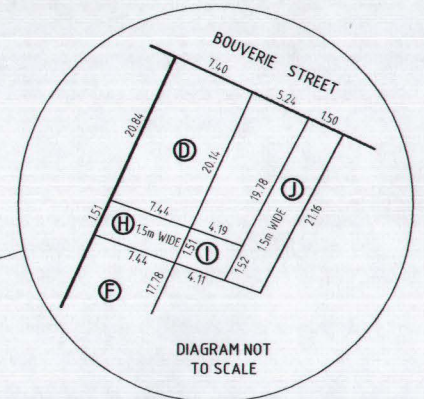
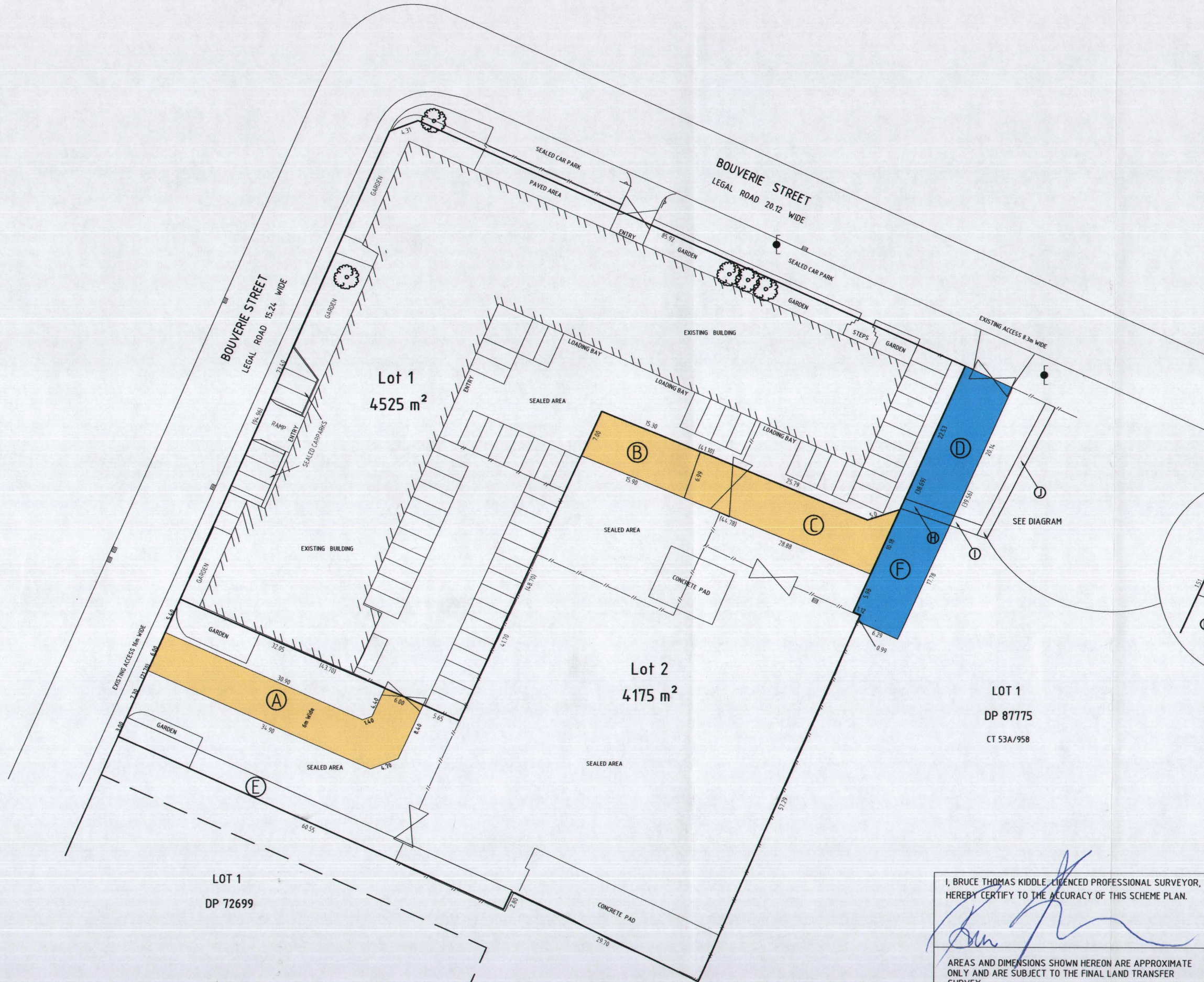
### **Part II Matters**

It is considered the proposal meets Part II Matters of the Resource Management Act 1991 for the aforementioned reasons. The proposal is considered consistent with sections 5(2) (c); *“Avoiding, remedying, or mitigating any adverse effects of activities on the environment”*, section 6(b): *“The protection of outstanding natural features and landscapes from inappropriate subdivision, use, and development”*, section 7(c) *“The maintenance and enhancement of amenity values”* and section 7(f) *“The maintenance and enhancement of the quality of the environment”*.

Pursuant to section 108 of the RMA, conditions have been applied to the consent to avoid, remedy and mitigate potential adverse effects the activity may have on the environment.

## **7 Conclusion**

The proposal is for the subdivision of Lot 2 DP 87775 into 2 allotments. The proposed allotments meet the size, shape, access and engineering requirements of the Subdivision Chapter of the City of Lower Hutt District Plan. Any environmental effects arising from the proposal are considered to be no more than minor and the proposal is considered to be consistent with the Objectives and Policies of the District Plan. Subdivision consent is hereby granted consent pursuant to Section 104A of the Resource Management Act 1991.



LOT 1  
DP 87775  
CT 53A/958

LOT 1  
DP 72699

MEMORANDUM OF EASEMENTS			
PURPOSE	SHOWN	DOMINANT TENEMENT	SERVIENT TENEMENT
RIGHT OF WAY	A, B, C	Lot 1	Lot 2
	F, D, H	Lot 1 & 2	Lot 1 DP 87775

MEMO OF EXISTING EASEMENTS IN GROSS			
PURPOSE	SHOWN	SERVIENT TENEMENT	GRANTEE
ELECTRICITY	E	Lot 2	UNITED NETWORKS LIMITED

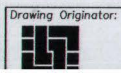
MEMORANDUM OF EXISTING EASEMENTS			
PURPOSE	SHOWN	DOMINANT TENEMENT	SERVIENT TENEMENT
RIGHT OF WAY	C	Lot 1 DP 87775	Lots 2
WATER DRAINAGE	H, I, J	Lots 1 & 2	Lot 1 DP 87775

I, BRUCE THOMAS KIDDLE, LICENCED PROFESSIONAL SURVEYOR, HEREBY CERTIFY TO THE ACCURACY OF THIS SCHEME PLAN.

*[Signature]*

AREAS AND DIMENSIONS SHOWN HEREON ARE APPROXIMATE ONLY AND ARE SUBJECT TO THE FINAL LAND TRANSFER SURVEY.  
COMPRISED IN CT WN55C/47  
THE TOTAL AREA IS 0.8700ha.

E	CAR PARKING LAYOUT	BRLP	BTK	BTK	13.12.07
D	ALTERATIONS AND ADDITIONS	LFWD	BTK	BTK	30.11.07
C	GARDEN AND CARPARK DETAIL	BRLP	SRW	BTK	05.06.07
B	STORM WATER ADDED	BRLP	SRW	BTK	31.05.07



Drawing Originator:	Original Scale (A1): 1:250	Design: BRLP 05.06.07	Approved for Construction: [Signature]
	Reduced:	Drawn: BRLP 05.06.07	Client: MCCOMBIE GIECK FAMILY TRUST No2 NOMINEES LTD
		Dsg Verifier: BTK 05.06.07	Project: 40 BOUVERIE STREET PETONE













Client: MCCOMBIE GIECK FAMILY TRUST No2 NOMINEES LTD

Project: 40 BOUVERIE STREET PETONE

Title: PROPOSED SUBDIVISION LOT 2 DP 87775



### Legend

-  Schools
-  Contours
-  Properties
-  Parcels
-  State Highways
-  SH 1
-  SH 2
-  SH 53
-  SH 57
-  SH 58
-  Roads Regional
-  Railways

Aerial Image was last updated on March 2003.

Scale 1:977

### PORTANT NOTICE :

ough the information displayed in the EView application has been prepared with care and in good faith, EView is an information service and is designed to be illustrative only. The Council cannot guarantee the accuracy completeness of the information and accepts no liability for any loss suffered as a result of reliance on the information. This map is a composite of property information (LINZ data) supplied under licence to Hutt City Council.



Contact: Robert Hayles  
 Group/Division: Environmental Consents  
 Telephone: DDI 570 6666  
 Facsimile: 04 5706 799  
 Email: Robert.Hayles@huttcity.govt.nz  
 Our Reference: RM20-B40-40

12 December 2007

Beca Infrastructure Ltd  
 P O Box 3942  
 WELLINGTON 6140

Attention Boyd Peacock

Dear Sir,

**REQUEST FOR FURTHER INFORMATION FOR A RESOURCE CONSENT APPLICATION FOR SUBDIVISION AT 40 BOUVERIE STREET PETONE 5012. (RESOURCE CONSENT NO: RM070769)**

I refer to your application received on 06 Dec 2007. Under section 92 of the Resource Management Act 1991, the Council requests further information for your application to undertake the above activity for resource consent (Our Ref: RM070769).

This further information is detailed below. It will help us to better understand your proposed activity, its effect on the environment and the ways any adverse effects on the environment might be mitigated.

You refer to there being sufficient space for 58 car parks on site. Can you please indicate which method, contained in Appendix Transport 3, was used to determine that number and provide a parking layout ensuring that motor vehicles do not obstruct any loading bays? Such parking layout should be designed in accordance with Australian Standard AS2890 and parking spaces should have dimensions as per Australian Standard AS 2890 Part 1. Can you also confirm that such parking area will be formed and maintained for use in all weathers and should be sealed or appropriately maintained at all times with a dust free surface?

Please confirm that (B) on the Diagram on drawing 3270807-R004 should read (F).

Please note also that this application is also being assessed by Council's Subdivisional Engineer and additional requests for further information may be required with respect to servicing or other requirements.

In accordance with section 88B of the Resource Management Act 1991, I will suspend processing your application until I receive this information. Within 15 days of the date of this letter please either supply the information, or confirm that you are willing to provide this information (in order for Council officers to supply you with a date by which the information is to be supplied). You can object to this request for further information by writing to the council within 15 working days of receiving this request. You must state your reasons for objecting and you should address your objection to me.

Please note that if one of these options above is not taken by the applicant, the Council has the option of declining the application.

If you have any further queries please do not hesitate to contact me on ph. 570 6666

Yours sincerely

  
 Robert Hayles





Contact: Robert Hayles  
 Group/Division: Environmental Consents  
 Telephone: DDI 570 6666  
 Facsimile: 04 566 7098  
 Email: Robert.Hayles@huttcity.govt.nz  
 Our Reference: RM070769

12 December 2007

Beca Infrastructure Ltd  
 P O Box 3942  
 WELLINGTON 6140

Attention Boyd Peacock

Dear Sir,

**ACKNOWLEDGEMENT OF APPLICATION FOR RESOURCE CONSENT**

**Resource Consent No.:** RM070769  
**Date Received:** 06 Dec 2007  
**Primary Property:** 40 Bouverie Street PETONE 5012  
 Other Property:  
**Legal Description:** LOT 2 DP 87775  
 Other Property:

Your application for resource consent is acknowledged.

You are advised that your application is currently being assessed and you may be asked to supply additional information in order for the application to be properly determined under the legislation. You can be assured that should this situation arise you will be given all reasonable advice of those requirements to minimize delays to your application.

If this does occur, your application will be suspended until the information requested has been received by Council.

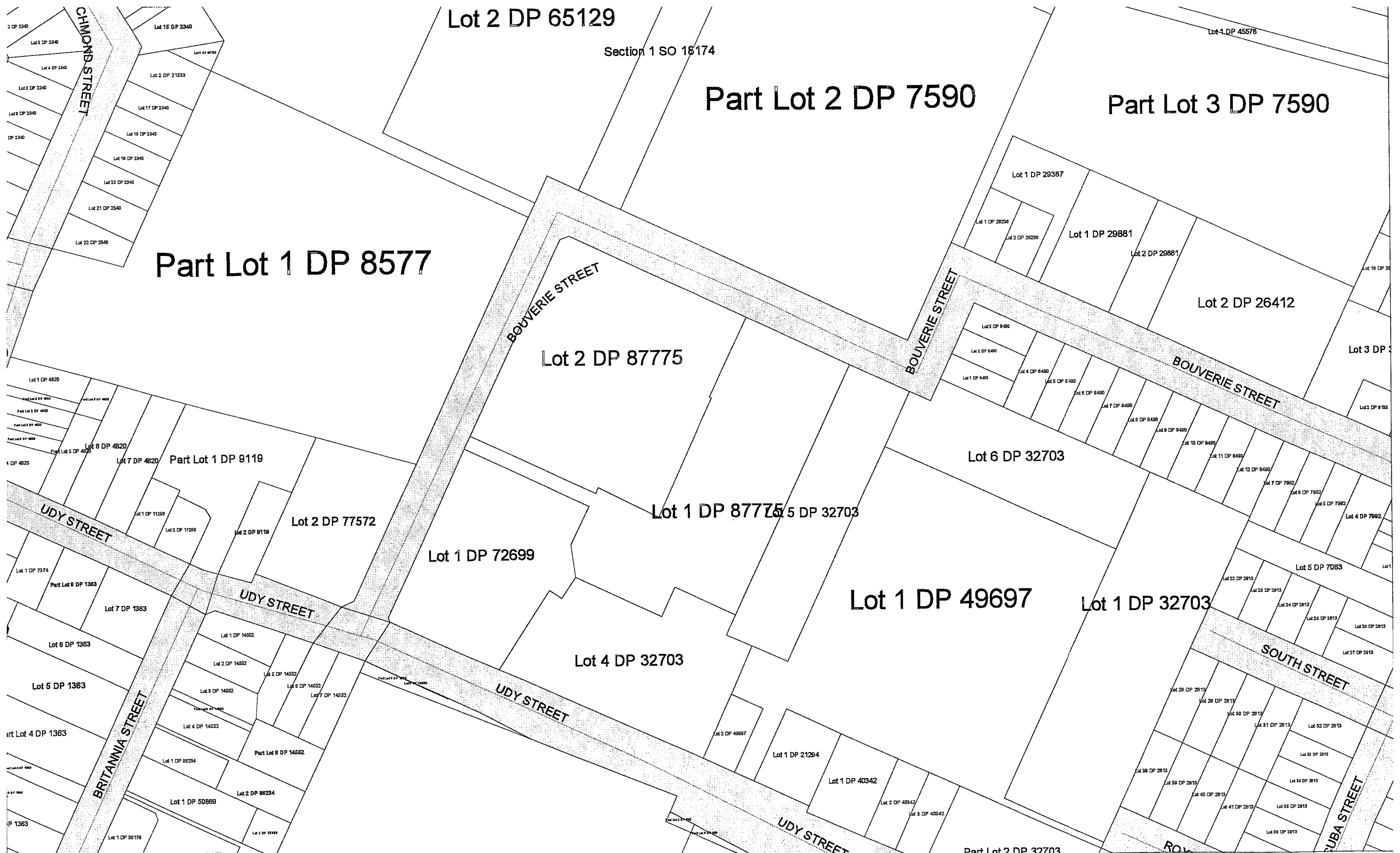
The deposit fee already paid is for a non-notified application. If this consent application is required to be notified, you will need to pay an additional fee before we can proceed any further.

In the mean time, if you have any queries, please contact me on 570 6666 quoting your Resource Consent Number.

Yours sincerely

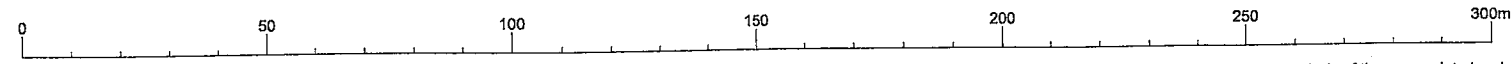
Robert Hayles  
**RESOURCE CONSENT PLANNER**





Spatial Map Print

Scale 1 : 1500



This data has been compiled from official records. Location of boundaries requires an analysis of all relevant information in compliance with the Survey Regulations. Attribute data requires an analysis of the appropriate legal record.





**COMPUTER FREEHOLD REGISTER  
UNDER LAND TRANSFER ACT 1952**



**Search Copy**

  
R. W. Muir  
Registrar-General  
of Land

**Identifier** **WN55C/47**  
**Land Registration District** **Wellington**  
**Date Issued** 25 November 1999

**Prior References**

WN53A/957                      WN53A/958

---

**Estate**                      Fee Simple  
**Area**                        8700 square metres more or less  
**Legal Description** Lot 2 Deposited Plan 87775

**Proprietors**

McCombie Gieck Family Trust No. 2 Nominees Limited

---

**Interests**

B679705.1 Consent Notice pursuant to Section 221(1) Resource Management Act 1991 - 13.8.1998 at 3.55 pm  
Appurtenant hereto is a water drainage right as specified in Easement Certificate B679705.3 - 13.8.1998 at 3.55 pm (affects part formerly CT WN53A/957)  
The easements specified in Easement Certificate B679705.3 are subject to Section 243 (a) Resource Management Act 1991  
Appurtenant hereto are rights of way created by Transfer B756747.2 - 25.11.1999 at 11.05 am  
Subject to a right of way over part marked C on DP 87775 created by Transfer B756747.2 - 25.11.1999 at 11.05 am  
The easements created by Transfer B756747.2 are subject to Section 243 (a) Resource Management Act 1991  
Subject to a right to convey electricity (in gross) over part marked W on DP 87775 in favour of (now) Vector Limited created by Transfer B756747.5 - 25.11.1999 at 11.05 am  
6705072.3 Mortgage to (now) Westpac New Zealand Limited - 23.12.2005 at 9:00 am



THE HUTT CITY COUNCIL

CONSENT NOTICE PURSUANT TO SECTION 221  
RESOURCE MANAGEMENT ACT 1991

IN THE MATTER of Lots 1 and 2 Deposited  
Plan 05305

AND

IN THE MATTER of Subdivision Consent  
pursuant to sections  
105, 220 and 221 of  
the Resource  
Management Act  
1991

Pursuant to section 220(1)(c) of the Resource Management Act 1991 The Hutt City Council by resolution passed under delegated authority on 26 June 1997 imposed the following condition on the subdivision consent for the subdivision of Lot 1 and Part Lot 2 Deposited Plan 24727 that:

The owners attention is drawn to the Stage 2 Environmental Site Investigation Report for the Petone Gas Works Site prepared by Pattle Delamore and Partners Limited dated June 1996, and in particular to the following matters:

- a) The concentration of tar related chemicals high enough to be of concern to human health if regular contact with soil is made. In this respect, the report concludes that the site is considered suitable for the current use of office building and warehouse complex, workshops and gas installations, provided the soil is not exposed. However, remediation work will be required should the site be redeveloped for a more sensitive use.
- b) No wells may be drilled on the site.
- c) Excavation may expose workers to health risks particularly in the tarry parts of the site. Appropriate measures must be taken to protect workers if excavation is undertaken.

DATED at Lower Hutt this 5<sup>th</sup> day of December 1997.

For and on behalf of  
THE HUTT CITY COUNCIL

*Donna Anderson*

Donna Anderson  
LEGAL ADVISOR

**CONO B679705.1 Consent**

Cpy - 01/01, Pgs - 002, 23/06/05, 11:48



DocID: 411337389

TRANSFER  
Land Transfer Act 1952

B756747.2

TSwa9 11086



If there is not enough space in any of the panels below, cross-reference to and use the approved Annexure Schedule: no other format will be received.

Land Registration District

WELLINGTON

Certificate of Title No.	All or Part?	Area and legal description – Insert only when part or Stratum, CT
53A	958	Part
		1674m2 being that part of Lot 2 DP85303 being more particularly shown as <u>Part Lot 2 DP87775</u>

Transferor Sumames must be underlined or in CAPITALS

UNITEDNETWORKS LIMITED

Transferee Sumames must be underlined or in CAPITALS

Grant William HUTCHINGS and Lesley WALKER

Estate or Interest or Easement to be created: Insert e.g. Fee simple; Leasehold in Lease No .....; Right of way etc.

Fee simple together with Right of Way (continued on page 2 annexure schedule)

Consideration

\$104,625.00

Operative Clause

For the above consideration (receipt of which is acknowledged) the TRANSFEROR TRANSFERS to the TRANSFEE all the transferor's estate and interest described above in the land in the above Certificate(s) of Title and if an easement is described above such is granted or created.

Dated this 20th day of October 1999

Attestation

UnitedNetworks Limited by its attorney SIMON DOUGLAS WHYTE

Signed in my presence by the Transferor  
Signature of Witness

Witness to complete in BLOCK letters  
(unless typewritten or legibly stamped)

Witness name N. B. Hoskins

Occupation Course

Address AUCKLAND

Signature, or common seal of Transferor


Certified correct for the purposes of the Land Transfer Act 1952

Certified that no conveyance duty is payable by virtue of Section 24(1) of the Stamp and Cheque Duties Act 1971.  
(DELETE: INAPPLICABLE CERTIFICATE)

**CERTIFICATE OF NON-REVOCATION  
OF POWER OF ATTORNEY**

I, Simon Douglas Whyte, of Ponsonby, Auckland, New Zealand,  
Company Secretary / Legal Counsel, certify that:

- 1 By deed dated 29 April 1999 United Networks Limited (AK562416) a company having its registered office at 44 Taharoto Road, Takapuna, Auckland, appointed me its attorney on the terms and conditions set out in the power of attorney, a copy of which is deposited in the Land Titles Office at Wellington under number B.721054.1.
- 2 I have executed the attached document under the powers conferred on me by the power of attorney.
- 3 At the date of this certificate I have not received any notice or information of the revocation of the appointment by the dissolution of United Networks Limited or otherwise.

  
Simon Douglas Whyte

**Dated:**

20/10/99

Annexure Schedule

TRANSFER

Dated

<sup>20</sup>  
~~28~~ October 1999

Page

1

of

1

Pages



CONTINUATION OF "ESTATE OR INTEREST OR EASEMENT TO BE CREATED"

1 Right of Way over the First Servient Land

- 1.1 The transferee shall have a right of way over the First Servient Land to be forever appurtenant to the Transferee's Land.
- 1.2 The transferee shall have the full free and unrestricted right, liberty and privilege for the transferee and the transferee's agents, servants, workers, tenants, licensees and invitees and other authorised persons at all times, by day and by night to pass and repass with and without motor vehicles, machinery and implements of any kind over and along the First Servient Land.

2 Right of Way over the Second Servient Land

- 2.1 The transferor shall have a right of way over the Second Servient Land to be forever appurtenant to the Transferor's Land.
- 2.2 The transferor shall have the full free and unrestricted right, liberty and privilege for the transferor and the transferor's agents, servants, workers, tenants, licensees and invitees and other authorised persons at all times, by day and by night to pass and repass with and without motor vehicles, machinery and implements of any kind over and along the Second Servient Land.

3 Interpretation

- 3.1 The Transferor's Land means part of the land contained in certificate of title 53A/958 (Wellington Registry), described as Lot 1 on DP87775.
- 3.2 The Transferee's Land means all the land contained in certificate of title 53A/957 (Wellington Registry) and part Lot 2 Deposited Plan 87775 contained in certificate of title 53A/958 (Wellington Registry). Lot 2
- 3.3 The First Servient Land means that part of the Transferor's Land marked "A", "B" and "Z" on deposited plan 87775.
- 3.4 The Second Servient Land means that part of the Transferee's Land marked "C" on deposited plan 87775.

Signed by the Transferee

*[Signature]*  
in the presence of:

Witness name: Sherryn O'Connor  
Occupation: Accounting Technician  
Address: 159 Park Road Belmont Lower Hutt

Signed by the Transferor

*[Signature]*  
in the presence of:

Witness name: Sherryn O'Connor  
Occupation: Accounting Technician  
Address: 159 Park Road Belmont Lower Hutt

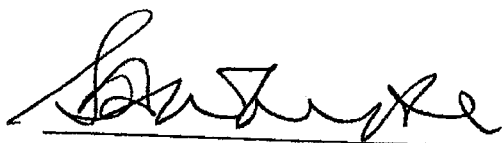
If this Annexure Schedule is used as an expansion of an instrument, all signing parties and either their witnesses or their solicitors must put their signatures or initials here.

*[Signatures]*

**CERTIFICATE OF NON-REVOCATION  
OF POWER OF ATTORNEY**

I, Simon Douglas Whyte, of Ponsonby, Auckland, New Zealand, Company Secretary / Legal Counsel, certify that:

1. By deed dated 29 April 1999 UnitedNetworks Limited (AK562416) a company having its registered office at 44 Taharoto Road, Takapuna, Auckland, appointed me its attorney on the terms and conditions set out in the power of attorney, a copy of which is deposited in the Land Titles Office at Wellington under number B.721054.1.
2. I have executed the attached document under the powers conferred on me by the power of attorney.
3. At the date of this certificate I have not received any notice or information of the revocation of the appointment by the dissolution of UnitedNetworks Limited or otherwise.



**Simon Douglas Whyte**

29-9-99

**Date**



# Digital Title Plan - LT 394057

---

**Survey Number** LT 394057  
**Surveyor Reference** 3270807 Bouverie Street  
**Surveyor** Michael John Snow  
**Survey Firm** Beca Infrastructure Ltd  
**Surveyor Declaration** I Michael John Snow, being a person entitled to practise as a licensed cadastral surveyor, certify that -  
 (a) The surveys to which this dataset relates are accurate, and were undertaken by me or under my direction in accordance with the Cadastral Survey Act 2002 and the Surveyor-General's Rules for Cadastral Survey 2002/2;  
 (b) This dataset is accurate, and has been created in accordance with that Act and those Rules.  
 Declared on 20/11/2007.

---

## Survey Details

<b>Dataset Description</b>	Easement over Lot 2 DP 87775	<b>Survey Class</b>	Class I Cadastral Survey
<b>Status</b>	Approved as to Survey	<b>Survey Approval Date</b>	30/11/2007
<b>Land District</b>	Wellington	<b>Deposit Date</b>	
<b>Submitted Date</b>	20/11/2007		

---

## Territorial Authorities

Lower Hutt City

---

## Comprised In

CT WN55C/47

---

## Created Parcels

Parcels	Parcel Intent	Area	CT Reference
Marked A Deposited Plan 394057	Easement		
<b>Total Area</b>		0.0000 ha	

## Schedule of Proposed Easements-LT 394057

Purpose	Shown	Servient Tenement	Dominant Tenement
Right of Way	A	Lot 2 DP 87775	Lot 1 DP 87775

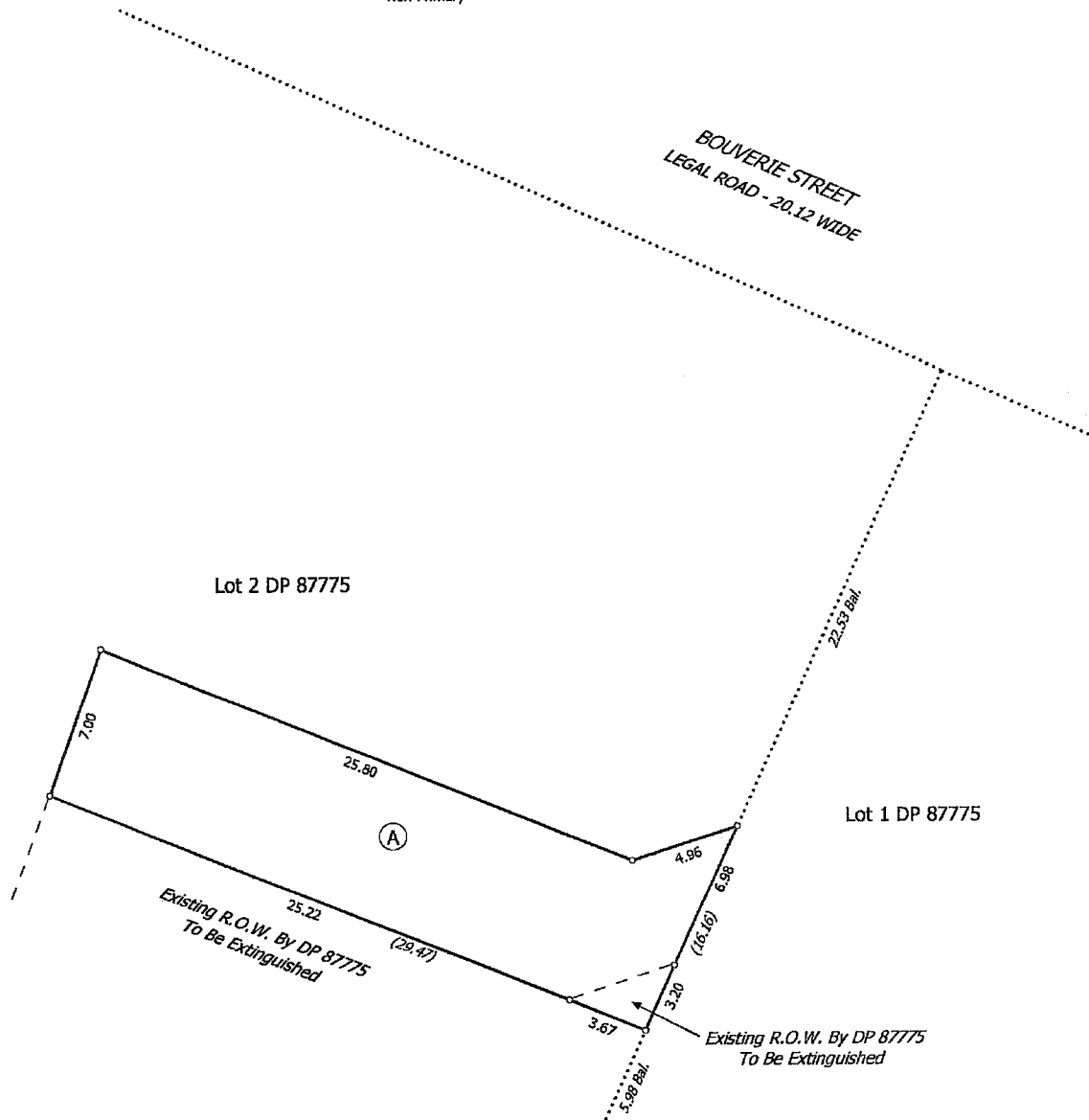
Diag. A  
Non Primary



BOUVERIE STREET  
LEGAL ROAD - 20.12 WIDE

Lot 2 DP 87775

Lot 1 DP 87775



T 1/1



COPY

Contact: Emily Bayliss  
Group/Division: Environmental Consents  
Telephone: 570 6914  
Facsimile: 570 6799  
E.Mail: emily.bayliss@huttcity.govt.nz  
Our Ref: RM20-B40-38

17 September 2008

Vector Ltd  
C/- Spencer Holmes Ltd  
PO Box 588  
WELLINGTON

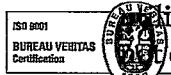
Dear Sir/Madam,

**RESOURCE CONSENT APPLICATION (RM080333) - FOR A TWO LOT FEE SIMPLE SUBDIVISION WHERE THE SITE IS A CONTAMINATED SITE AT 38 BOUVERIE STREET, PETONE.**

**Decision**

I refer to your application received on 23 June 2008, and shown on amended plan no. S08 - 0085 - 02 Rev C in connection with the above matter and wish to advise that, in exercise of delegated authority, in terms of Parts VI and X of the Resource Management Act 1991 the subdivision consent be granted subject to the following conditions:

1. The development shall be substantially in accordance with the information and plans (drawing number S08-0085-02 Rev C) submitted with the application and held on Council File RM20-B40-38.
2. The consent holder shall pay Hutt City Council an engineering fee based on the Hutt City Council Scale of Engineering Fees being 3.43% of the construction costs (including GST) of providing Council services or access or any other work approved, inspected or tested by the Senior Road Asset Engineer or his representative, (as separate from work that is covered under any Building Consent). The minimum fee is set at \$132.30 (GST inclusive) irrespective of whether any construction work is necessary.
3. The consent holder shall pay a contribution to Council's Reserves Purchases and Development Account at the rate of 5.5% in respect of 1 lot. The amount required will be determined on the basis of a market value assessment from a registered valuer. It is the owner's responsibility to instruct the valuer and supply me with an assessment. The quantum will be determined therefore when the subdivider submits the qualified valuer's assessment.
4. The existing landscaping area at the frontage of Lot 1 shall be retained. Any dead or dying plants or plants which die shall be replaced with similar species by the property owner.
5. Written confirmation shall be supplied to the General Manager, Asset Services that Telecom Corporation of New Zealand (or the network supply authority) and United Networks Ltd conditions have been satisfied in regard to the supply of their respective facilities to each lot, particularly the disconnection of any cross-boundary connections covered by an appropriate easement.



6. A written certificate shall be supplied to the General Manager, Asset Services by the Surveyor that all existing services have been adjusted so that they are contained within the lot serviced (or are protected by an appropriate easement) and that the ends of all abandoned lines have been sealed, all in accordance with Council requirements, or written confirmation that no such adjustments/sealing are necessary.
7. Appropriate easements shall be provided for public and private services where necessary. Easements shall be shown as a Memorandum of Easements on the land transfer title plan and the easement documents shall be prepared by the consent holder's solicitors and at their cost. Easements for public services (in this case a 1350mm diameter stormwater main laid diagonally across the southern area of the site) are to be shown on a plan with a minimum of 4.0m width centred over the service, or twice the depth of the trench, whichever is the greater, and shall be shown in gross with Hutt City Council as grantee.
8. A Consent Notice Pursuant to Section 221 of the Resource Management Act 1991 shall be registered on the Certificate of Title of lots 1 and 2. Such notice shall draw attention to the Environmental Management Plan for 38 Bouverie Street prepared by Pattle Delamore Partners Ltd, dated August 2008, and in particular to the following matters:
  - The concentration of tar related chemicals high enough to be of concern to human health if regular contact with soil is made. In this respect, the report concludes that the site is generally considered suitable for its current commercial/industrial use subject to the site use restrictions listed in page 5 of the Environmental Management Plan.
9. A Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered on the Certificate of Title of lot 2 to ensure future owners are aware that the property was not serviced with sewer and water connections to the public mains at the time of subdivision.
10. A Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered on the Certificates of Titles of lots 1 and 2 which share a property boundary with Reserve land (lot 5 DP32703) in order to exclude the Council from the costs of shared fencing under the Fencing Act 1978 or equivalent legislation.
11. The costs associated with the registration of the Consent Notices are to be met by the consent holder.

**Notes:**

- This resource consent is valid for five years from the date it was granted.
- This resource consent is specific to the application received by Council. Any changes to the proposal may require a new resource consent and additional application fee.
- Plans submitted with the application have only been checked for compliance with the Resource Management Act 1991.
- Any building work associated with the proposed activity should not commence until a building consent has been obtained under the Building Act 2004.
- The applicant is reminded that this resource consent is not a licence to create adverse effects. You still have a duty under the Act to avoid, remedy or mitigate adverse effects. Notwithstanding any resource consents held, section 17 of the Act continues to apply and will take enforcement action where necessary.

- Council may issue an abatement notice if the conditions of this resource consent are not complied with. Contravention of an abatement notice may incur a fine up to \$200,000.
- Reconsideration of this decision and/or conditions of the resource consent may be sought under section 357 of the Act. Applications for reconsideration should be made to the Council in writing within 15 working days of the date the decision was made. Applications must set out the reasons for the objection and include a review fee of \$600.00
- The applicant for resource consent, consent holder or any person who made a submission on the application may also appeal this decision to the Environment Court within 15 working days of notice of the decision being received.
- The fee associated with the processing of any certificates as to compliance with subdivision conditions under the provisions of section 224 of the Resource Management Act is \$200.00.

On compliance with the foregoing conditions, please forward two copies of the title plan for Council's approval.

Yours sincerely



Rachel Helme

**RESOURCE CONSENT PLANNER**

**RESOURCE CONSENT APPLICATION - FOR THE SUBDIVISION OF 38 BOUVERIE STREET, PETONE INTO TWO ALLOTMENTS.**

**1. Decision**

On 23 June 2008, the applicant applied for resource consent under the Resource Management Act 1991 (the Act) to subdivide 38 Bouverie Street, Petone (being legally described as Lot 1 DP 87775) into two allotments. The proposed subdivision does not comply with the requirements of the District Plan relating to contamination. The application has been considered as a non-notified application under section 94 of the Act and resource consent has been **granted** for a Discretionary Activity pursuant to sections 104, 108 and 220 of the Resource Management Act 1991 for the following reasons:

- The adverse effects of the proposal on the environment are considered to be no more than minor, as the proposal is not conducive to any additional works taking place on the site and will not implicitly allow for an additional use on the site beyond what can already occur on the site as of right.
- Any current effects of the known contamination on the site will not be exacerbated by the proposal as no physical works are proposed. The effects of the proposal will be no more than minor and an Environmental Management Plan has been submitted by the applicant
- The proposal has been assessed and supported by a Council Subdivision Engineer, subject to suitable conditions being imposed onto the consent application.

The subdivision consent has been granted subject to the following conditions:

1. The development shall be substantially in accordance with the information and plans (drawing number S08-0085-02 Rev C) submitted with the application and held on Council File RM20-B40-38.
2. The consent holder shall pay Hutt City Council an engineering fee based on the Hutt City Council Scale of Engineering Fees being **3.43%** of the construction costs (including GST) of providing Council services or access or any other work approved, inspected or tested by the Senior Road Asset Engineer or his representative, (as separate from work that is covered under any Building Consent). The minimum fee is set at **\$132.30** (GST inclusive) irrespective of whether any construction work is necessary.
3. The consent holder shall pay a contribution to Council's Reserves Purchases and Development Account at the rate of 5.5% in respect of 1 lot. The amount required will be determined on the basis of a market value assessment from a registered valuer. It is the owner's responsibility to instruct the valuer and supply me with an assessment. The quantum will be determined therefore when the subdivider submits the qualified valuer's assessment.
4. Prior to Section 224 (c) approval, the consent holder shall submit a landscaping plan for the frontage of the site to Hutt City Council to be approved by the Team Leader, Resource Consents. This plan shall show the existing landscaping to be retained and any planting required to maintain the landscaping area. The plan shall contain the following information:

1. the location and size of the landscaping area to be retained/planted;
  2. the name of any species to be planted;
  3. the number, size and spacing of each species to be planted; and
  4. the time and method of planting and of post-planting maintenance.
5. The consent holder shall ensure that any dead or dying plants are replaced for a period of four years. Council will monitor compliance with this condition every six months for a period of four years from the date the planting is first implemented on site. The whole landscaping scheme shall be subsequently retained, and any plants which die shall be replaced with similar species by the property owner.
  6. Written confirmation shall be supplied to the General Manager, Asset Services that Telecom Corporation of New Zealand (or the network supply authority) and United Networks Ltd conditions have been satisfied in regard to the supply of their respective utilities to each lot, particularly the disconnection of any cross-boundary connections not covered by an appropriate easement.
  7. A written certificate shall be supplied to the General Manager, Asset Services by the Surveyor that all existing services have been adjusted so that they are contained within the lot serviced (or are protected by an appropriate easement) and that the ends of all abandoned lines have been sealed, all in accordance with Council requirements, or written confirmation that no such adjustments/sealing are necessary.
  8. Appropriate easements shall be provided for public and private services where necessary. Easements shall be shown as a Memorandum of Easements on the land transfer title plan and the easement documents shall be prepared by the consent holder's solicitors and at their cost. Easements for public services (in this case a 1350mm diameter stormwater main laid diagonally across the southern area of the site) are to be shown on a plan with a minimum of 4.0m width centred over the service, or twice the depth of the trench, whichever is the greater, and shall be shown in gross with Hutt City Council as grantee.
  9. A Consent Notice Pursuant to Section 221 of the Resource Management Act 1991 shall be registered on the Certificate of Title of lots 1 and 2. Such notice shall draw attention to the Environmental Management Plan for 38 Bouverie Street prepared by Pattle Delamore Partners Ltd, dated August 2008, and in particular to the following matters:
    - The concentration of tar related chemicals high enough to be of concern to human health if regular contact with soil is made. In this respect, the report concludes that the site is generally considered suitable for its current commercial/industrial use subject to the site use restrictions listed in page 5 of the Environmental Management Plan.
  10. A Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered on the Certificate of Title of lot 2 to ensure future owners are aware that the property was not serviced with sewer and water connections to the public mains at the time of subdivision.
  11. A Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered on the Certificates of Titles of lots 1 and 2 which share a property boundary with Reserve land (lot 5 DP32703) in order to exclude the Council from the costs of shared fencing under the Fencing Act 1978 or equivalent legislation.
  12. The costs associated with the registration of the Consent Notices are to be met by the consent holder.

## 2 The Proposal

The site is located at 38 Bouverie Street, Petone. The site measures some 7749m<sup>2</sup>, and comprises part of the former Petone Gas Works. The proposal is to divide the 'L' shaped site into two allotments, Lot 1 measuring 4774m<sup>2</sup> and having road frontage onto Bouverie Street, and Lot 2 measuring 2975m<sup>2</sup> and accessed via a driveway. The applicant submits that no physical works are proposed as part of the subdivision and the existing operations will continue on the site.

## 3 The Site

The subject site relates to 38 Bouverie Street, Petone, measuring some 7749m<sup>2</sup> in area and is located within the General Business Activity Area. The site currently supports several commercial operations, being a Rock Gas bottle filling outfit on the northern portion of the site adjacent to Bouverie Street, two substations, an area for storage purposes.

The subject site is located within the General Business Activity Area of the City of Lower Hutt District Plan. Abutting the site to the South East lies an area within the General Recreation Activity Area, which is used as a sporting facility. Beyond this to the west is an area of open space used for a number of outdoor sporting. The subject property has no special notations or restrictions registered within the District Plan which may affect this development.

The Certificate of Title for the property has no restrictions registered on it which may affect this proposal, as no physical works or changes to the existing uses of the site are proposed as part of the subdivision.

## 4 The Plan

The appropriate planning instrument for assessing the proposed activity is the City of Lower Hutt District Plan. The site is within the General Business Activity Area.

### *Subdivision:*

Rule 11.2.2 of the District Plan allows for subdivision in the General Business Activity Area as a Controlled Activity where the compliance standards are met.

Rule 11.2.2.1 of the District Plan lists the standards and terms by which Controlled Activity subdivisions are assessed. These are as follows:

1. Allotment Design Standards and Terms
2. Engineering Design Standards and Terms
3. Contamination Standards and Terms

Rule 11.2.2 of the District Plan allows for subdivision in the General Business Activity Area as a Controlled Activity where the conditions are met. Rule 11.2.3 (i) states that any subdivision which is not a permitted or controlled activity is a Discretionary Activity. The proposed subdivision is not considered to be a Controlled Activity as it does not comply with the contamination standards and requirements of the District Plan. As such, the proposal is a Discretionary Activity under Rule 11.2.3 (i) of the District Plan.

Rule 11.2.3.1 of the District Plan lists the assessment matters for Discretionary Activities as follows:

- (a) The matters contained in sections 104 and 105, and in Part II of the Act shall apply.
- (b) Compliance with the engineering design standards.
- (c) The degree of compliance or non-compliance with any relevant Permitted Activity Conditions.

## 5 Notification

The subdivision consent has been determined to be a Discretionary Activity under Rule 11.2.3 (i) of the District Plan. As such, the proposal is required to be assessed under section 93 and 94A of the Resource Management Act 1991 to determine whether the application should be notified.

*Has the applicant requested notification?*

No.

*Are the adverse effects of the activity on the environment minor or more than minor?*

Council considers that the proposed activity's potential adverse effects on the environment must be taken into account as follows:

- Commercial Amenity Values
- Engineering Design Effects
- Site Contamination

Council considers that these adverse effects are minor because;

### Commercial Amenity Values

- The proposal will involve the subdivision of a parcel of land which already houses a number of distinct commercial activities. The applicant submits that the proposed subdivision will not result in any physical changes to the site and the nature of the current outfits operating on the site will not be altered by the proposal. As such, the commercial nature of the site is considered to be retained by the proposal and as such the proposal is not considered to have an effect on the surrounding commercial area.

### Engineering Design Effects

- The applicant submits that the proposal will not alter the existing access, parking, manoeuvring and loading provisions on the site. No additional service facilities are proposed or required as part of the application. As such the proposal is not considered to have an adverse effect on the surrounding environment.

### Contamination

- The site was previously occupied by the Petone Gasworks. As such, the site has been identified on the Greater Wellington Regional Council SLUR Database, and site

investigations have classified the site as: Contamination Confirmed, identifying the site as having a high risk of surface water contamination and a medium risk of ground water and direct contact contamination.

- An Environmental Management Plan prepared for Vector Ltd and revised in August 2008 has been submitted with the application which will control activities on the site and aligns with the prescribed Compliance Standards outlined in Chapter 11 of the District Plan.
- The applicant has submitted that the site has a Consent Notice B679705.1 lodged on the Certificate of Title, as a result of the subdivision of the underlying lot, which imposes several conditions on owners and users of the site regarding the use and activities which may be carried out on the site. At present the proposal complies with this requirement and no changes to the existing use on the site are proposed.
- The applicant submits that no changes to the existing use are proposed. The subdivision of the site will not allow for any additional uses or activities on the site beyond what are currently permitted. No physical works will take place on the site as a result of the subdivision. As such, the proposal is not considered to result in further effects in terms of contamination and the existing contaminants on the site will not have an effect on any existing activity on the site, and will not affect any surrounding party.

Council is therefore satisfied that, overall, the adverse effects of the activity on the environment will be minor.

#### **Who may be adversely affected by the activity?**

In accordance with s94 of the Act Council has considered if the proposed activity could adversely affect any persons. In forming the opinion as to who may be adversely affected, under s94B of the Act, Council has disregarded any adverse effect on any person, where the plan permits an activity with that effect.

Council considers that, for the purposes of making a decision under section 94(2) that no party could be adversely affected by the proposal for the following reasons:

No physical works are proposed by the subdivision of the site. No additional services are required to be installed on the site. The proposal will not result in a change to the existing activities operating on the site and will not allow for any additional activity to be permitted on the site under the District Plan as a result of the subdivision.

As such, no party is considered to be adversely affected by the proposal.

*Have all persons who may be adversely affected by the activity given their written approval?*

No parties are considered to be potentially adversely affected by the proposal.

#### ***Do special circumstances exist?***

Council has concluded that there are no special circumstances that require the application to be notified under section 94C (2) of the Act.

#### ***Conclusion***

Council may consider the application without it being notified.

## 6 Consideration of the application

Section 104 of the Act requires that when considering an application for resource consent that, subject to Part II of the Act, the Council must have regard to:

- Any actual and potential effects on the environment of allowing the activity;
- Any relevant provisions of a national policy statement, a New Zealand coastal policy statement, a regional policy statement or proposed regional policy statement and a plan or proposed plan;
- Any other matter the consent authority considers relevant and reasonably necessary to determine the application.

I address these matters below.

### *Actual and Potential effects on the environment*

In accordance with section 104(2), when forming an opinion on section 104(1) (a), Council may disregard an adverse effect of the activity on the environment if the plan permits an activity with that effect and Council believes that it is appropriate to do so in this instance. In this case, it should be noted that there is no permitted baseline for the subdivision of a property because all subdivisions (providing they meet the allotment design and engineering standards) are Controlled Activities and as such require resource consent.

The proposal will involve the subdivision of a parcel of land which already houses a number of distinct commercial activities. The applicant submits that the proposed subdivision will not result in any physical changes to the site and the nature of the current outfits operating on the site will not be altered by the proposal. As such, the commercial nature of the site is considered to be retained by the proposal and as such the proposal is not considered to have an effect on the surrounding commercial area.

The applicant submits that the proposal will not alter the existing access, parking, manoeuvring and loading provisions on the site. No additional service facilities are proposed or required as part of the application. As such the proposal is not considered to have an adverse effect on the surrounding environment.

The site was previously occupied by the Petone Gasworks. As such, the site has been identified on the Greater Wellington Regional Council SLUR Database, and site investigations have classified the site as: Contamination Confirmed, identifying the site as having a high risk of surface water contamination and a medium risk of ground water and direct contact contamination.

The applicant has submitted that the site has a Consent Notice B679705.1 lodged on the Certificate of Title, as a result of the subdivision of the underlying lot, which imposes several conditions on owners and users of the site regarding the use and activities which may be carried out on the site. At present the proposal complies with this requirement and no changes to the existing use on the site are proposed.

The relevant objectives and policies of the District Plan for the General Business Activity Area provide guidance for assessing the relevant effects of the proposal.

### Relevant Policy Statements and District Plan

The most relevant Objectives and Policies to the application under consideration are:

#### **11.1.1 Allotment Standards – Objective**

*To ensure that land which is subdivided can be used for the proposed use or development.*

##### *Policy*

- (a) *To ensure that allotments have minimum design standards such as, minimum size, shape and frontage, which are suitable for the proposed use or development.*

COMMENT: The proposal is considered to be consistent with the above objective and policy, as its size, dimensions and access are such that it provides for a range of uses and developments on both allotments, including the existing uses of the site, which will be continued.

#### **11.1.2 Engineering Standards – Objective**

*To ensure that utilities provided to service the subdivision protect the environment and that there are no adverse effects on the health and safety of residents and occupiers.*

##### *Policy*

- (a) *To ensure that utilities provided comply with specified performance standards relating to such matters as access, street lighting, stormwater, water supply, wastewater, gas, telephone, electricity and earthworks.*

COMMENT: The proposal is considered to be consistent with the objective and policy as listed above. No additional engineering provisions are proposed by the applicant.

#### **6A 1.1.1 Accommodation of a Mix of Activities - Objective**

*To accommodate those non industrial activities which are suitable in the General Business Activity Area and which do not cause adverse effects on amenity values of the area and the receiving environment.*

##### *Policies*

- (a) *Accommodate those commercial activities which provide a local service for the work force in the same area.*
- (b) *Accommodate commercial recreational activities which are appropriate within the General Business Activity Area and which are compatible with the surrounding area.*
- (c) *Accommodate certain retail activities which are compatible with other activities of the General Business Activity Area and do not undermine the strength, vitality and viability of commercial activity areas.*
- (d) *That the accommodation of non industrial activities avoids or mitigates adverse effects on the amenity values of the area and the environment.*

#### **6A 1.2.1 Effects on the Amenity Values of the Area - Objective**

*To maintain and enhance the amenity values of the activity area and neighbouring areas.*

*Policies*

- (a) *That each site, structure and building is designed and maintained to enhance the amenity values and character of both the General Business Activity Area and adjacent activity areas.*

COMMENT: The proposal is not considered to be contrary to the above objectives and policies listed above. The existing activities on the site have been legally established and the applicant submits that no changes are proposed to the existing uses on the site. As such, the proposal is not considered to detract from the surrounding areas.

The actual or potential effects created by the development will be no more than minor and we do not consider that the proposal will have any resulting effect on any party other than those who have given their approval.

Pursuant to section 104 (1) (b) it has also been determined that no Regional Plan or Regional Policy Statement will affect this application.

*Section 106 of the Resource Management Act 1991*

Pursuant to Section 106 of the Resource Management Act Council may refuse consent to a subdivision application in the following circumstances:

- a) *the land in respect of which a consent is sought, or any structure on the land, is or is likely to be subject to material damage by erosion, falling debris, subsidence, slippage, or inundation from any source; or*
- (b) *any subsequent use that is likely to be made of the land is likely to accelerate, worsen, or result in material damage to the land, other land, or structure by erosion, falling debris, subsidence, slippage, or inundation from any source; or*
- (c) *sufficient provision has not been made for legal and physical access to each allotment to be created by the subdivision.*

It is considered that the proposed subdivision is not contrary to the requirements of Section 106 of the Resource Management Act. The subject site is flat and has no water bodies present within its confines or is in close proximity to a river or stream. The property is not bounded by steep terrain which may result in there being falling debris, erosion or slippage which may adversely affect the proposed allotment or any future buildings.

Legal and physical access to the proposed allotments is satisfied either through direct frontage onto the local roading network or by a right of way.

*Part II Matters*

It is considered the proposal meets Part II Matters of the Resource Management Act 1991 for the aforementioned reasons. The proposal is considered consistent with sections 5(2) (c); "Avoiding, remedying, or mitigating any adverse effects of activities on the environment", section 6(b): "The protection of outstanding natural features and landscapes from inappropriate

*subdivision, use, and development”, section 7(c) “The maintenance and enhancement of amenity values” and section 7(f) “The maintenance and enhancement of the quality of the environment”.*

Pursuant to section 108 of the RMA, conditions have been applied to the consent to avoid, remedy and mitigate potential adverse effects the activity may have on the environment.

### Proposed Plan Change 10

Under this plan change, the rules of the subdivision chapter (Chapter 11) are proposed to be restructured to address key implementation issues arising from the current subdivision provisions in the District Plan. Under the proposed Plan Change 10 (amendment 27), the development also requires a subdivision consent as a Restricted Discretionary Activity (Rule 11.2.3) for the non-compliances with the access design and earthworks volumes standards (Rule 11.2.2.3 (c)) As the proposed plan change has not been to hearing, little weight has been given to the proposed change when considering this proposal.

## **7 Conclusion**

The proposal is for the subdivision of 38 Bouverie Street, Petone into two allotments. The proposal does not comply with the contamination standards of the District Plan and as such the subdivision consent was considered as a Discretionary Activity. The proposal was assessed and recommended for approval by the Subdivisions Engineers. An Environmental Management Plan was prepared for the applicant and submitted with the application, and this Environmental Management Plan is considered to satisfy the Compliance Standards relating to contaminated sites. Any environmental effects arising from the proposal are considered to be minor.

The subdivision is therefore granted consent pursuant to Section 104B of the Resource Management Act.



Contact: Brenda MacCormick  
 Group/Division: Information Services  
 Telephone: 5706994  
 Facsimile: 5706836  
 E.Mail: Brenda.MacCormick@huttcity.govt.nz  
 Our Reference: RM20-B40-38

(R)

30 June 2008

~~The Director  
 Spencer Holmes Ltd  
 PO Box 588  
 Wellington~~

Copy to Paul Herd

Attn: Sara Brook

**PROPOSED SUBDIVISION OF LOT 1 DP 87775 - 38 BOUVERIE STREET  
 PETONE**

With reference to your application for the above mentioned sub-division. I can confirm, that **provided the application is approved**, the street/postal numbers designated to the proposed new land parcels are as listed below.

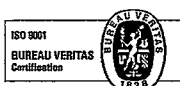
<b>Proposed</b>	Lot 1	<b>38 Bouverie Street (Existing)</b>
	Lot 2	<b>52 Bouverie Street</b>

It would be appreciated if you would inform your client accordingly. The numbers should be displayed in a prominent position on these prospective land parcels as soon as it is possible to do so.

Yours sincerely

Brenda MacCormick  
 Land Records Officer

**IM/08/1139**



Boulevard

Bouverie St

Lot 2  
DP 87775

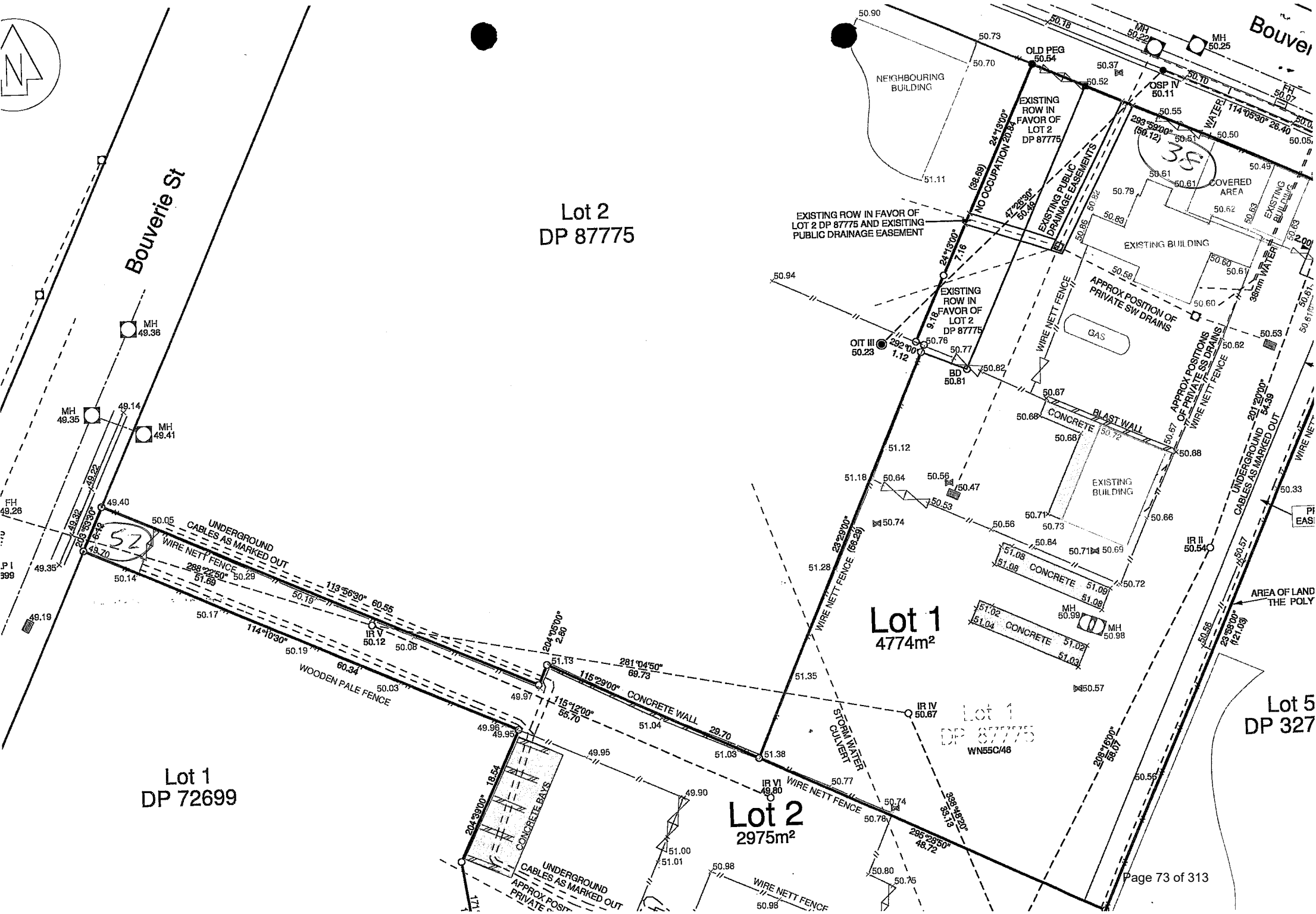
Lot 1  
4774m<sup>2</sup>

Lot 1  
DP 72699

Lot 2  
2975m<sup>2</sup>

Lot 1  
DP 87775  
WN55C/48

Lot 5  
DP 327



**RESOURCE CONSENT APPLICATION - FOR THE SUBDIVISION OF 38 BOUVERIE STREET, PETONE INTO TWO ALLOTMENTS.**

**1. Decision**

On 23 June 2008, the applicant applied for resource consent under the Resource Management Act 1991 (the Act) to subdivide 38 Bouverie Street, Petone (being legally described as Lot 1 DP 87775) into two allotments. The proposed subdivision does not comply with the requirements of the District Plan relating to contamination. The application has been considered as a non-notified application under section 94 of the Act and resource consent has been **granted** for a Discretionary Activity pursuant to sections 104, 108 and 220 of the Resource Management Act 1991 for the following reasons:

- The adverse effects of the proposal on the environment are considered to be no more than minor, as the proposal is not conducive to any additional works taking place on the site and will not implicitly allow for an additional use on the site beyond what can already occur on the site as of right.
- Any current effects of the known contamination on the site will not be exacerbated by the proposal as no physical works are proposed. The effects of the proposal will be no more than minor and an Environmental Management Plan has been submitted by the applicant
- The proposal has been assessed and supported by a Council Subdivision Engineer, subject to suitable conditions being imposed onto the consent application.

The subdivision consent has been granted subject to the following conditions:

1. The development shall be substantially in accordance with the information and plans (drawing number S08-0085-02 Rev C) submitted with the application and held on Council File RM20-B40-38.
2. The consent holder shall pay Hutt City Council an engineering fee based on the Hutt City Council Scale of Engineering Fees being **3.43%** of the construction costs (including GST) of providing Council services or access or any other work approved, inspected or tested by the Senior Road Asset Engineer or his representative, (as separate from work that is covered under any Building Consent). The minimum fee is set at **\$132.30** (GST inclusive) irrespective of whether any construction work is necessary.
3. The consent holder shall pay a contribution to Council's Reserves Purchases and Development Account at the rate of 5.5% in respect of 1 lot. The amount required will be determined on the basis of a market value assessment from a registered valuer. It is the owner's responsibility to instruct the valuer and supply me with an assessment. The quantum will be determined therefore when the subdivider submits the qualified valuer's assessment.
4. Prior to Section 224 (c) approval, the consent holder shall submit a landscaping plan for the frontage of the site to Hutt City Council to be approved by the Team Leader, Resource Consents. This plan shall show the existing landscaping to be retained and any planting required to maintain the landscaping area. The plan shall contain the following information:

1. the location and size of the landscaping area to be retained/planted;
  2. the name of any species to be planted;
  3. the number, size and spacing of each species to be planted; and
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5. The consent holder shall ensure that any dead or dying plants are replaced for a period of four years. Council will monitor compliance with this condition every six months for a period of four years from the date the planting is first implemented on site. The whole landscaping scheme shall be subsequently retained, and any plants which die shall be replaced with similar species by the property owner.
6. Written confirmation shall be supplied to the General Manager, Asset Services that Telecom Corporation of New Zealand (or the network supply authority) and United Networks Ltd conditions have been satisfied in regard to the supply of their respective utilities to each lot, **particularly the disconnection of any cross-boundary connections** not covered by an appropriate easement.
7. A written certificate shall be supplied to the General Manager, Asset Services by the Surveyor that all existing services have been adjusted so that they are contained within the lot serviced (or are protected by an appropriate easement) and that the ends of all abandoned lines have been sealed, all in accordance with Council requirements, or written confirmation that no such adjustments/sealing are necessary.
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  - The concentration of tar related chemicals high enough to be of concern to human health if regular contact with soil is made. In this respect, the report concludes that the site is generally considered suitable for its current commercial/industrial use subject to the site use restrictions listed in page 5 of the Environmental Management Plan.
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12. The costs associated with the registration of the Consent Notices are to be met by the consent holder.

## 2 The Proposal

The site is located at 38 Bouverie Street, Petone. The site measures some 7749m<sup>2</sup>, and comprises part of the former Petone Gas Works. The proposal is to divide the 'L' shaped site into two allotments, Lot 1 measuring 4774m<sup>2</sup> and having road frontage onto Bouverie Street, and Lot 2 measuring 2975m<sup>2</sup> and accessed via a driveway. The applicant submits that no physical works are proposed as part of the subdivision and the existing operations will continue on the site.

## 3 The Site

The subject site relates to 38 Bouverie Street, Petone, measuring some 7749m<sup>2</sup> in area and is located within the General Business Activity Area. The site currently supports several commercial operations, being a Rock Gas bottle filling outfit on the northern portion of the site adjacent to Bouverie Street, two substations, an area for storage purposes.

The subject site is located within the General Business Activity Area of the City of Lower Hutt District Plan. Abutting the site to the South East lies an area within the General Recreation Activity Area, which is used as a sporting facility. Beyond this to the west is an area of open space used for a number of outdoor sporting. The subject property has no special notations or restrictions registered within the District Plan which may affect this development.

The Certificate of Title for the property has no restrictions registered on it which may affect this proposal, as no physical works or changes to the existing uses of the site are proposed as part of the subdivision.

## 4 The Plan

The appropriate planning instrument for assessing the proposed activity is the City of Lower Hutt District Plan. The site is within the General Business Activity Area.

### *Subdivision:*

Rule 11.2.2 of the District Plan allows for subdivision in the General Business Activity Area as a Controlled Activity where the compliance standards are met.

Rule 11.2.2.1 of the District Plan lists the standards and terms by which Controlled Activity subdivisions are assessed. These are as follows:

1. Allotment Design Standards and Terms
2. Engineering Design Standards and Terms
3. Contamination Standards and Terms

Rule 11.2.2 of the District Plan allows for subdivision in the General Business Activity Area as a Controlled Activity where the conditions are met. Rule 11.2.3 (i) states that any subdivision which is not a permitted or controlled activity is a Discretionary Activity. The proposed subdivision is not considered to be a Controlled Activity as it does not comply with the contamination standards and requirements of the District Plan. As such, the proposal is a Discretionary Activity under Rule 11.2.3 (i) of the District Plan.

Rule 11.2.3.1 of the District Plan lists the assessment matters for Discretionary Activities as follows:

- (a) The matters contained in sections 104 and 105, and in Part II of the Act shall apply.
- (b) Compliance with the engineering design standards.
- (c) The degree of compliance or non-compliance with any relevant Permitted Activity Conditions.

## 5 Notification

The subdivision consent has been determined to be a Discretionary Activity under Rule 11.2.3 (i) of the District Plan. As such, the proposal is required to be assessed under section 93 and 94A of the Resource Management Act 1991 to determine whether the application should be notified.

*Has the applicant requested notification?*

No.

*Are the adverse effects of the activity on the environment minor or more than minor?*

Council considers that the proposed activity's potential adverse effects on the environment must be taken into account as follows:

- Commercial Amenity Values
- Engineering Design Effects
- Site Contamination

Council considers that these adverse effects are minor because;

### Commercial Amenity Values

- The proposal will involve the subdivision of a parcel of land which already houses a number of distinct commercial activities. The applicant submits that the proposed subdivision will not result in any physical changes to the site and the nature of the current outfits operating on the site will not be altered by the proposal. As such, the commercial nature of the site is considered to be retained by the proposal and as such the proposal is not considered to have an effect on the surrounding commercial area.

### Engineering Design Effects

- The applicant submits that the proposal will not alter the existing access, parking, manoeuvring and loading provisions on the site. No additional service facilities are proposed or required as part of the application. As such the proposal is not considered to have an adverse effect on the surrounding environment.

### Contamination

- The site was previously occupied by the Petone Gasworks. As such, the site has been identified on the Greater Wellington Regional Council SLUR Database, and site

investigations have classified the site as: Contamination Confirmed, identifying the site as having a high risk of surface water contamination and a medium risk of ground water and direct contact contamination.

- An Environmental Management Plan prepared for Vector Ltd and revised in August 2008 has been submitted with the application which will control activities on the site and aligns with the prescribed Compliance Standards outlined in Chapter 11 of the District Plan.
- The applicant has submitted that the site has a Consent Notice B679705.1 lodged on the Certificate of Title, as a result of the subdivision of the underlying lot, which imposes several conditions on owners and users of the site regarding the use and activities which may be carried out on the site. At present the proposal complies with this requirement and no changes to the existing use on the site are proposed.
- The applicant submits that no changes to the existing use are proposed. The subdivision of the site will not allow for any additional uses or activities on the site beyond what are currently permitted. No physical works will take place on the site as a result of the subdivision. As such, the proposal is not considered to result in further effects in terms of contamination and the existing contaminants on the site will not have an effect on any existing activity on the site, and will not affect any surrounding party.

Council is therefore satisfied that, overall, the adverse effects of the activity on the environment will be minor.

#### **Who may be adversely affected by the activity?**

In accordance with s94 of the Act Council has considered if the proposed activity could adversely affect any persons. In forming the opinion as to who may be adversely affected, under s94B of the Act, Council has disregarded any adverse effect on any person, where the plan permits an activity with that effect.

Council considers that, for the purposes of making a decision under section 94(2) that no party could be adversely affected by the proposal for the following reasons:

No physical works are proposed by the subdivision of the site. No additional services are required to be installed on the site. The proposal will not result in a change to the existing activities operating on the site and will not allow for any additional activity to be permitted on the site under the District Plan as a result of the subdivision.

As such, no party is considered to be adversely affected by the proposal.

*Have all persons who may be adversely affected by the activity given their written approval?*

No parties are considered to be potentially adversely affected by the proposal.

#### ***Do special circumstances exist?***

Council has concluded that there are no special circumstances that require the application to be notified under section 94C (2) of the Act.

#### ***Conclusion***

Council may consider the application without it being notified.

## 6 Consideration of the application

Section 104 of the Act requires that when considering an application for resource consent that, subject to Part II of the Act, the Council must have regard to:

- Any actual and potential effects on the environment of allowing the activity;
- Any relevant provisions of a national policy statement, a New Zealand coastal policy statement, a regional policy statement or proposed regional policy statement and a plan or proposed plan;
- Any other matter the consent authority considers relevant and reasonably necessary to determine the application.

I address these matters below.

### *Actual and Potential effects on the environment*

In accordance with section 104(2), when forming an opinion on section 104(1) (a), Council may disregard an adverse effect of the activity on the environment if the plan permits an activity with that effect and Council believes that it is appropriate to do so in this instance. In this case, it should be noted that there is no permitted baseline for the subdivision of a property because all subdivisions (providing they meet the allotment design and engineering standards) are Controlled Activities and as such require resource consent.

The proposal will involve the subdivision of a parcel of land which already houses a number of distinct commercial activities. The applicant submits that the proposed subdivision will not result in any physical changes to the site and the nature of the current outfits operating on the site will not be altered by the proposal. As such, the commercial nature of the site is considered to be retained by the proposal and as such the proposal is not considered to have an effect on the surrounding commercial area.

The applicant submits that the proposal will not alter the existing access, parking, manoeuvring and loading provisions on the site. No additional service facilities are proposed or required as part of the application. As such the proposal is not considered to have an adverse effect on the surrounding environment.

The site was previously occupied by the Petone Gasworks. As such, the site has been identified on the Greater Wellington Regional Council SLUR Database, and site investigations have classified the site as: Contamination Confirmed, identifying the site as having a high risk of surface water contamination and a medium risk of ground water and direct contact contamination.

The applicant has submitted that the site has a Consent Notice B679705.1 lodged on the Certificate of Title, as a result of the subdivision of the underlying lot, which imposes several conditions on owners and users of the site regarding the use and activities which may be carried out on the site. At present the proposal complies with this requirement and no changes to the existing use on the site are proposed.

The relevant objectives and policies of the District Plan for the General Business Activity Area provide guidance for assessing the relevant effects of the proposal.

### Relevant Policy Statements and District Plan

The most relevant Objectives and Policies to the application under consideration are:

#### **11.1.1 Allotment Standards – Objective**

*To ensure that land which is subdivided can be used for the proposed use or development.*

##### *Policy*

- (a) *To ensure that allotments have minimum design standards such as, minimum size, shape and frontage, which are suitable for the proposed use or development.*

COMMENT: The proposal is considered to be consistent with the above objective and policy, as its size, dimensions and access are such that it provides for a range of uses and developments on both allotments, including the existing uses of the site, which will be continued.

#### **11.1.2 Engineering Standards – Objective**

*To ensure that utilities provided to service the subdivision protect the environment and that there are no adverse effects on the health and safety of residents and occupiers.*

##### *Policy*

- (a) *To ensure that utilities provided comply with specified performance standards relating to such matters as access, street lighting, stormwater, water supply, wastewater, gas, telephone, electricity and earthworks.*

COMMENT: The proposal is considered to be consistent with the objective and policy as listed above. No additional engineering provisions are proposed by the applicant.

#### **6A 1.1.1 Accommodation of a Mix of Activities - Objective**

*To accommodate those non industrial activities which are suitable in the General Business Activity Area and which do not cause adverse effects on amenity values of the area and the receiving environment.*

##### *Policies*

- (a) *Accommodate those commercial activities which provide a local service for the work force in the same area.*
- (b) *Accommodate commercial recreational activities which are appropriate within the General Business Activity Area and which are compatible with the surrounding area.*
- (c) *Accommodate certain retail activities which are compatible with other activities of the General Business Activity Area and do not undermine the strength, vitality and viability of commercial activity areas.*
- (d) *That the accommodation of non industrial activities avoids or mitigates adverse effects on the amenity values of the area and the environment.*

#### **6A 1.2.1 Effects on the Amenity Values of the Area - Objective**

*To maintain and enhance the amenity values of the activity area and neighbouring areas.*

*Policies*

- (a) *That each site, structure and building is designed and maintained to enhance the amenity values and character of both the General Business Activity Area and adjacent activity areas.*

COMMENT: The proposal is not considered to be contrary to the above objectives and policies listed above. The existing activities on the site have been legally established and the applicant submits that no changes are proposed to the existing uses on the site. As such, the proposal is not considered to detract from the surrounding areas.

The actual or potential effects created by the development will be no more than minor and we do not consider that the proposal will have any resulting effect on any party other than those who have given their approval.

Pursuant to section 104 (1) (b) it has also been determined that no Regional Plan or Regional Policy Statement will affect this application.

*Section 106 of the Resource Management Act 1991*

Pursuant to Section 106 of the Resource Management Act Council may refuse consent to a subdivision application in the following circumstances:

- a) *the land in respect of which a consent is sought, or any structure on the land, is or is likely to be subject to material damage by erosion, falling debris, subsidence, slippage, or inundation from any source; or*
- (b) *any subsequent use that is likely to be made of the land is likely to accelerate, worsen, or result in material damage to the land, other land, or structure by erosion, falling debris, subsidence, slippage, or inundation from any source; or*
- (c) *sufficient provision has not been made for legal and physical access to each allotment to be created by the subdivision.*

It is considered that the proposed subdivision is not contrary to the requirements of Section 106 of the Resource Management Act. The subject site is flat and has no water bodies present within its confines or is in close proximity to a river or stream. The property is not bounded by steep terrain which may result in there being falling debris, erosion or slippage which may adversely affect the proposed allotment or any future buildings.

Legal and physical access to the proposed allotments is satisfied either through direct frontage onto the local roading network or by a right of way.

**Part II Matters**

It is considered the proposal meets Part II Matters of the Resource Management Act 1991 for the aforementioned reasons. The proposal is considered consistent with sections 5(2) (c); "Avoiding, remedying, or mitigating any adverse effects of activities on the environment", section 6(b): "The protection of outstanding natural features and landscapes from inappropriate

*subdivision, use, and development”, section 7(c) “The maintenance and enhancement of amenity values” and section 7(f) “The maintenance and enhancement of the quality of the environment”.*

Pursuant to section 108 of the RMA, conditions have been applied to the consent to avoid, remedy and mitigate potential adverse effects the activity may have on the environment.

### Proposed Plan Change 10

Under this plan change, the rules of the subdivision chapter (Chapter 11) are proposed to be restructured to address key implementation issues arising from the current subdivision provisions in the District Plan. Under the proposed Plan Change 10 (amendment 27), the development also requires a subdivision consent as a Restricted Discretionary Activity (Rule 11.2.3) for the non-compliances with the access design and earthworks volumes standards (Rule 11.2.2.3 (c)) As the proposed plan change has not been to hearing, little weight has been given to the proposed change when considering this proposal.

## **7 Conclusion**

The proposal is for the subdivision of 38 Bouverie Street, Petone into two allotments. The proposal does not comply with the contamination standards of the District Plan and as such the subdivision consent was considered as a Discretionary Activity. The proposal was assessed and recommended for approval by the Subdivisions Engineers. An Environmental Management Plan was prepared for the applicant and submitted with the application, and this Environmental Management Plan is considered to satisfy the Compliance Standards relating to contaminated sites. Any environmental effects arising from the proposal are considered to be minor.

The subdivision is therefore granted consent pursuant to Section 104B of the Resource Management Act.

## DESCRIPTION OF THE PROPOSAL AND ASSESSMENT OF EFFECTS ON THE ENVIRONMENT

### 1.0 THE SITE

#### 1.1 Site & Locality

The application site relates to an existing commercial property, approx. 7749sqm in area, located on Bouverie Street, Petone. The site forms part of the former Petone Gas Works.

Within the northern section of the site, positioned towards the frontage with Bouverie Street (where it adjoins the site to the north), are the premises of Rock Gas (bottle filling). Adjacent to the Rock Gas premises is a small distribution substation, and positioned towards the centre of this part of the site is a training building for Utilitech. The remainder of this area of the site is used for storage purposes.

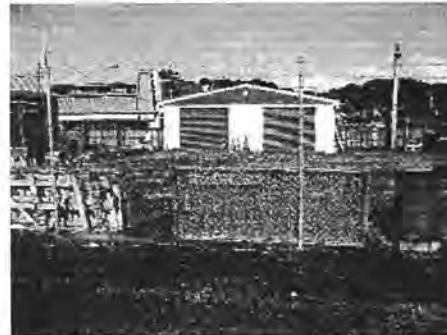


Photo 1 – Sub station within frontage (to north)



Photo 2 – Rock Gas within frontage (to north)

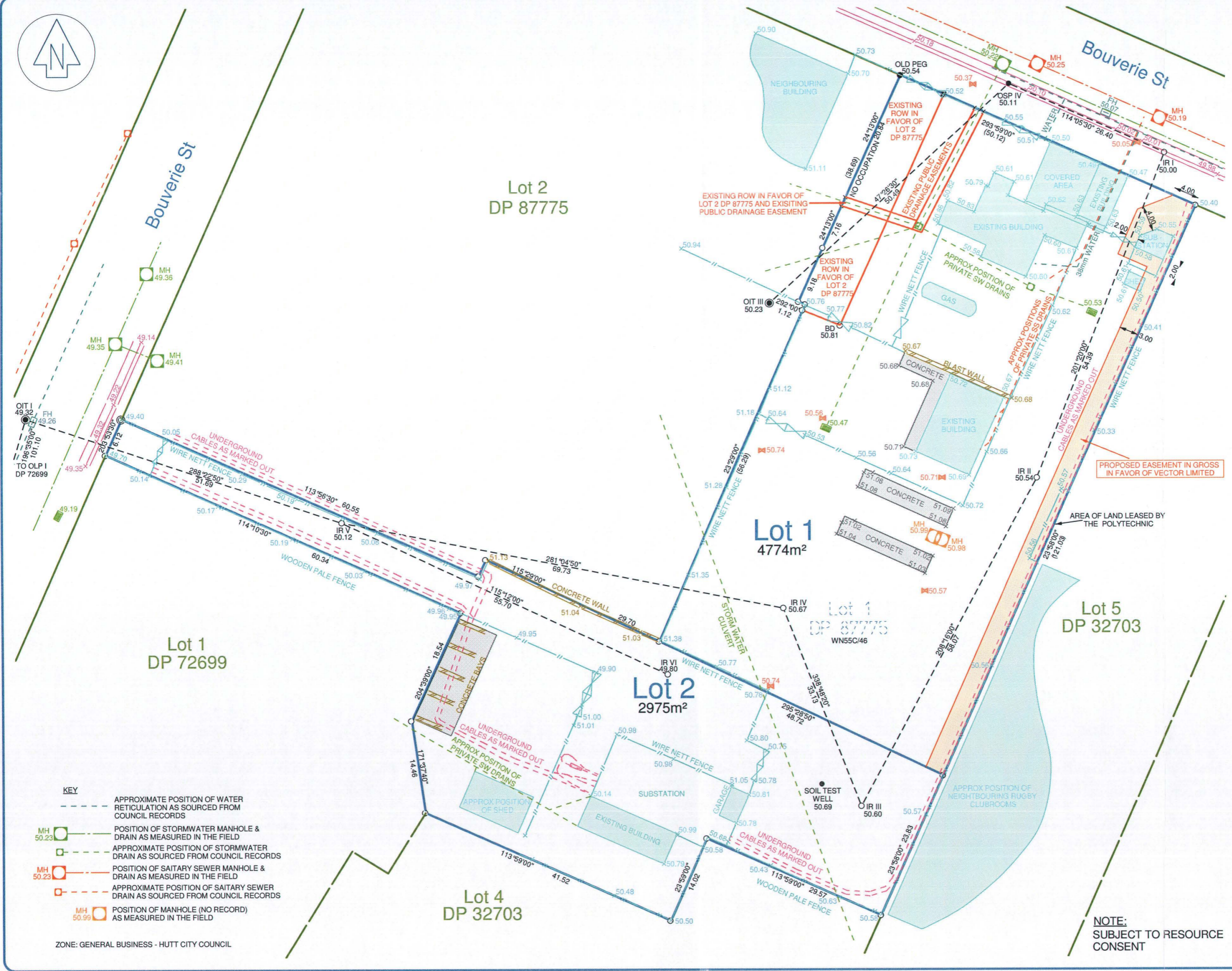
Within the southern section of the site is a larger substation, a contractors storage building (double garage) and storage yard. Access to this part of the site is provided by an access leg approx. 6.12m wide, linking the site to Bouverie Street to the west. This area is physically separated from those uses on the northern part of the site by wire net fencing.



Photo's 3 and 4 – storage area and contractors building to southern section of the site

The surrounding area is largely industrial in character, although a number of alternative uses are within close proximity. Directly opposite the site is a large Mitre 10 premises with car parking to the front. Adjacent uses to the west include the

NO	REVISION	BY	DATE
A	FIRST ISSUE		
B	EXISTING EASEMENTS ADDED	KMG	29/05/08
C	EASEMENT IN GROSS	KMG	18/08/08



LEVELS ARE IN TERMS OF AN ASSUMED DATUM  
ORIGIN OF LEVELS: IR I  
REDUCED LEVEL = 50.00

**SpencerHolmes**  
engineers - surveyors - planners

Level 6 - 8 Willis Street  
PO Box 588 Wellington New Zealand  
Phone (04) 472-2261 Fax (04) 471-2372  
Email survey@spencerholmes.co.nz

CLIENT: **VECTOR LIMITED**

PROJECT: **38 BOUVERIE ST**

DRAWING TITLE: **PROPOSED SUBDIVISION OF LOT 1 DP 87775**

DESIGN CONSULTANT:

Copyright of this drawing is vested in Spencer Holmes Ltd. The Contractor shall verify all dimensions on site.

CAUTION - The information shown on this plan has been prepared under specific instruction from the client and is intended solely for the client's use. The information is valid as at the date of survey. Spencer Holmes Limited will accept no liability for any consequence arising out of the use of this plan, or the information thereon whether in hard copy or electronic format by any other party for any purpose whatsoever.

DESIGNED	FB	583
DRAWN	KMG	19/05/08
SCALE	1 : 400	AT
DRAWING NUMBER	S08-0085-02	REV
		C

- KEY**
- - - - - APPROXIMATE POSITION OF WATER RETICULATION AS SOURCED FROM COUNCIL RECORDS
  - MH 50.23 POSITION OF STORMWATER MANHOLE & DRAIN AS MEASURED IN THE FIELD
  - MH 50.23 APPROXIMATE POSITION OF STORMWATER DRAIN AS SOURCED FROM COUNCIL RECORDS
  - MH 50.23 POSITION OF SAITARY SEWER MANHOLE & DRAIN AS MEASURED IN THE FIELD
  - MH 50.23 APPROXIMATE POSITION OF SAITARY SEWER DRAIN AS SOURCED FROM COUNCIL RECORDS
  - MH 50.99 POSITION OF MANHOLE (NO RECORD) AS MEASURED IN THE FIELD
- ZONE: GENERAL BUSINESS - HUTT CITY COUNCIL

**NOTE:**  
SUBJECT TO RESOURCE CONSENT

RESOURCE MANAGEMENT - LAND PLANNING - SURVEYING - STRUCTURAL - CIVIL - FIRE



# Workflow Cover Sheet

Page 1  
 Date 23/06/2008  
 Time 1:57:45 p.m.  
 Login Name

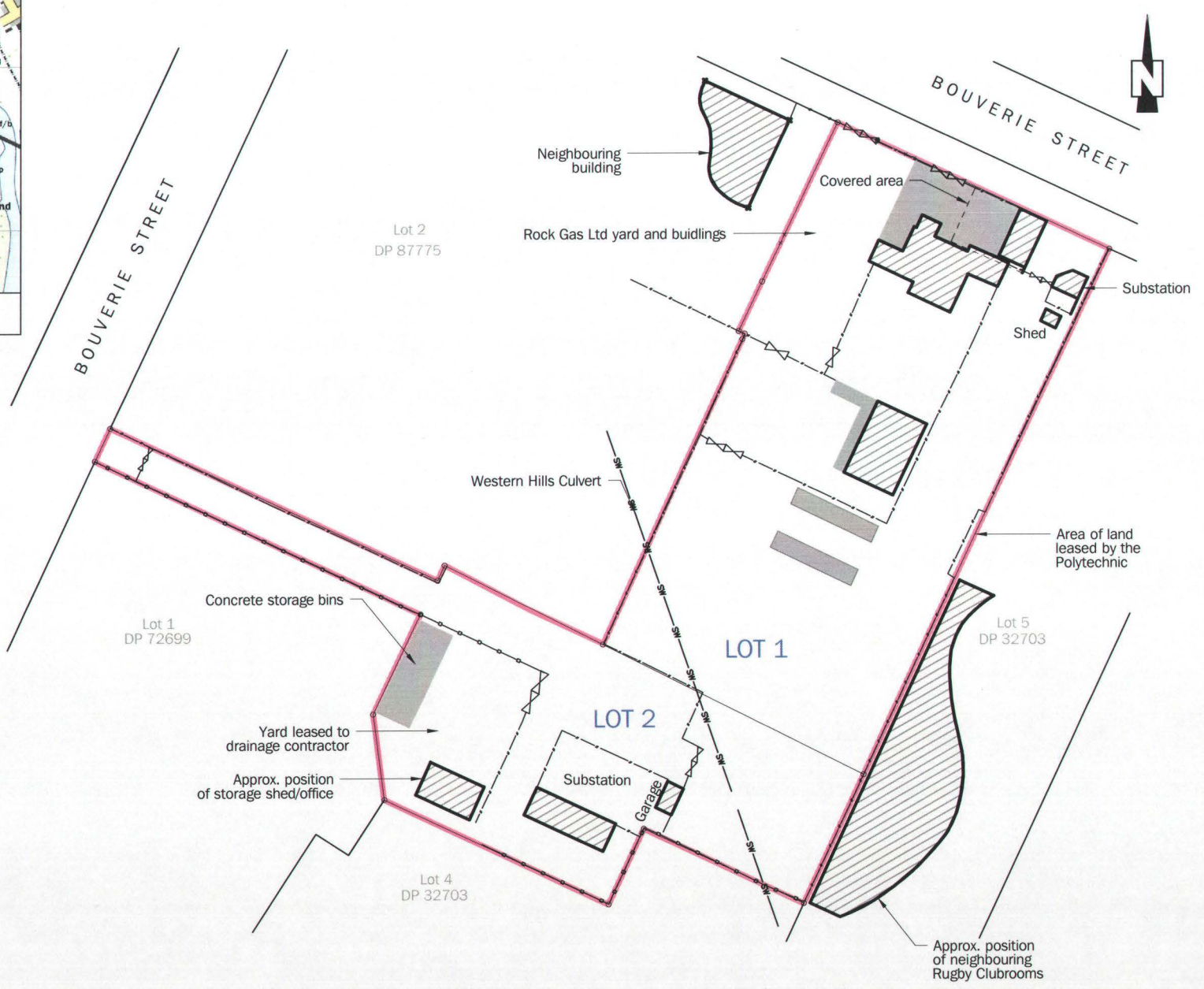
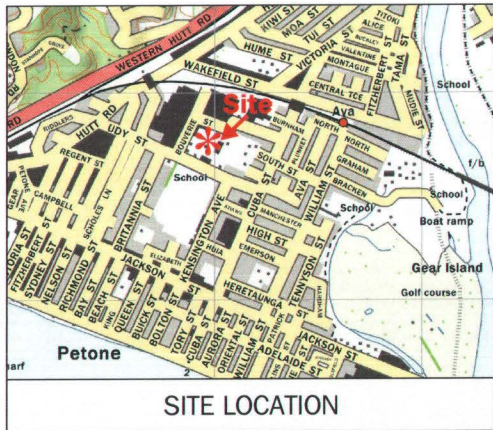
**RMA08/333**

Record Type RESOURCE MANAGEMENT APPLICATIONS  
 Container No. RM20-B40-38  
 Primary Contact Spencer Holmes Engineers - Surveyors - Planners  
 Business Phone (04) 722-261  
 Organization



## PLANNING, SUBDIVISION PROCEDURES - Vector Ltd 2 lot fee simple Subdivision Application at 38 Bouverie Street Petone

Action Required	Action Barcode	Date Completed	Upd?
<b>REQUIREMENT OF CONDITIONS</b> Resp.Of Consents Officer Due Date 23/06/2008 at 1:57 p.m.		<input type="text"/>	No
<b>REPORT ON CONDITIONS</b> Resp.Of Team Leader Resource Consents Due Date 21/07/2008 at 1:57 p.m.		<input type="text"/>	No
<b>ALL ACTIONS COMPLETED FOR FILING</b> Resp.Of Corporate Information Officer Due Date 22/07/2008 at 1:57 p.m.		<input type="text"/>	No



**KEY**

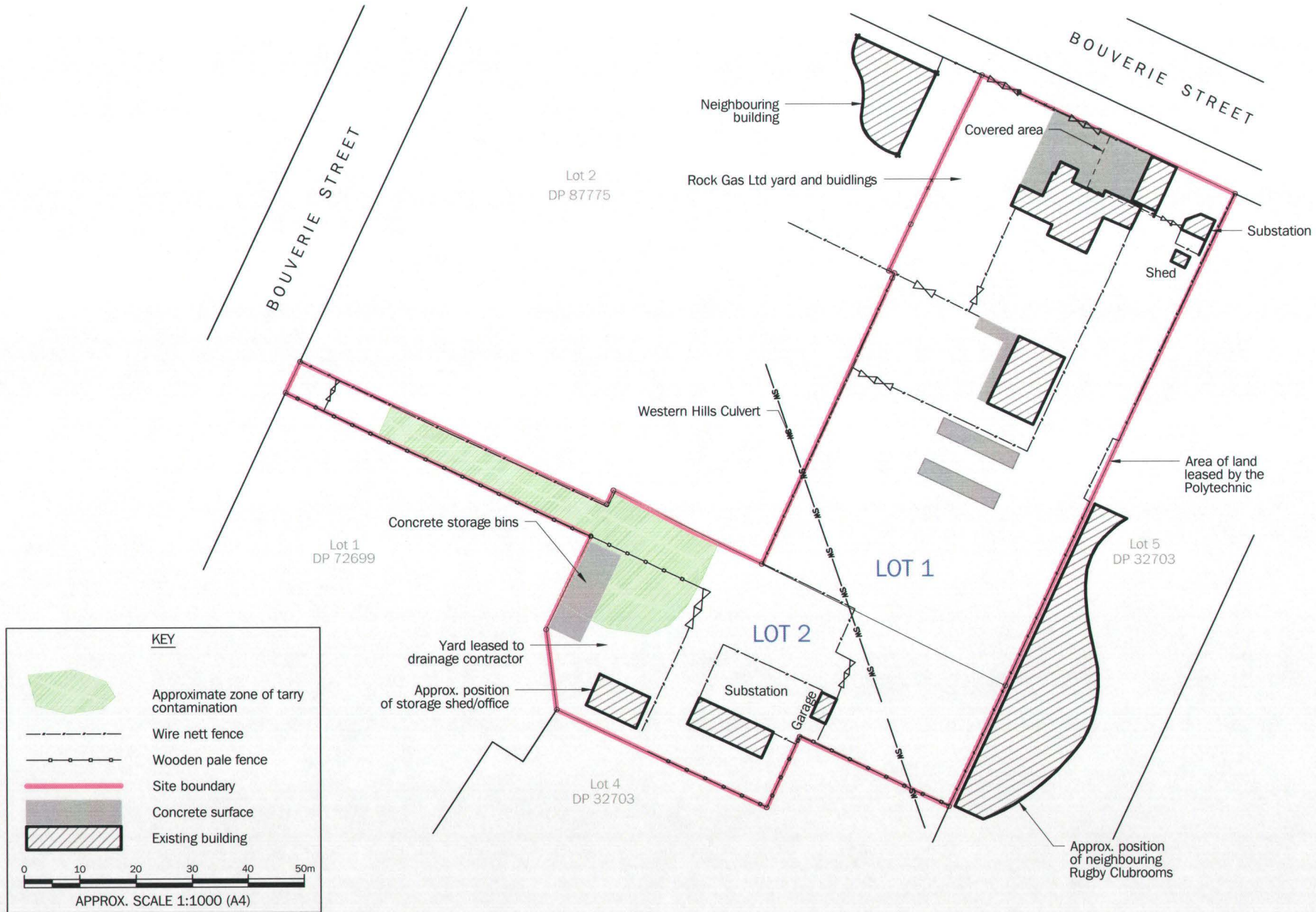
- Wire nett fence
- o-o- Wooden pale fence
- Site boundary
- Concrete surface
- ▨ Existing building

0 10 20 30 40 50m

APPROX. SCALE 1:1000 (A4)

Source: Base drawing provided by Spencer Holmes drawing No. S08-0085-02 Rev.C

Figure 1 : SITE PLAN



**KEY**

- Approximate zone of tarry contamination
- Wire nett fence
- Wooden pale fence
- Site boundary
- Concrete surface
- Existing building

0 10 20 30 40 50m

APPROX. SCALE 1:1000 (A4)

Source: Base drawing provided by Spencer Holmes drawing No. S08-0085-02 Rev.C

Figure 2 :ZONE OF TARRY CONTAMINATION

# MEMORANDUM



**FILE REF:** RM20-B40-38  
**TO:** Rachel Helme  
**FROM:** Philip Murphy  
**DATE:** 25 June 2008  
**SUBJECT:** 38 BOUVERIE STREET - 2 LOT SUBDIVISION -  
ENGINEERING CONDITIONS

## Engineering Comment:

1. THE DRAINAGE EASEMENT SHOWN ON THE SCHEME PLAN IN THE NORTH-WESTERN CORNER OF LOT 1 IS NOT A PUBLIC DRAINAGE EASEMENT AS INDICATED. It is in favour of lot 2 DP87775.

## Engineering Conditions relevant to the Road and Traffic Division:

1. The development shall be substantially in accordance with the information and plans (drawing number S08-0085-02-C) submitted with the application and held on Council File RM20-B40-38.
2. The consent holder shall pay Hutt City Council an engineering fee based on the Hutt City Council Scale of Engineering Fees being **3.43%** of the construction costs (including GST) of providing Council services or access or any other work approved, inspected or tested by the Senior Road Asset Engineer or his representative, (as separate from work that is covered under any Building Consent). The minimum fee is set at **\$132.30** (GST inclusive) irrespective of whether any construction work is necessary.
3. Written confirmation shall be supplied to the General Manager, Asset Services that Telecom Corporation of New Zealand (or the network supply authority) and United Networks Ltd conditions have been satisfied in regard to the supply of their respective utilities to each lot, **particularly the disconnection of any cross-boundary connections** not covered by an appropriate easement.
4. A written certificate shall be supplied to the General Manager, Asset Services by the Surveyor that all existing services have been adjusted so that they are contained within the lot serviced (or are protected by an appropriate easement) and that the ends of all abandoned lines have been sealed, all in accordance with Council requirements, or written confirmation that no such adjustments/sealing are necessary.
5. Appropriate easements shall be provided for public and private services where necessary. Easements shall be shown as a Memorandum of

Easements on the land transfer title plan and the easement documents shall be prepared by the consent holder's solicitors and at their cost. Easements for public services (**in this case a 1350mm diameter stormwater main laid diagonally across the southern area of the site**) are to be shown on a plan with a minimum of 4.0m width centred over the service, or twice the depth of the trench, whichever is the greater, and shall be shown in gross with Hutt City Council as grantee.

6. A Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered on the Certificate of Title of lot 2 to ensure future owners are aware that the property was not serviced with sewer and water connections to the public mains at the time of subdivision.
7. A Consent Notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered on the Certificates of Titles of lots 1 and 2 which share a property boundary with Reserve land (lot 5 DP32703) in order to exclude the Council from the costs of shared fencing under the Fencing Act 1978 or equivalent legislation.
8. The costs associated with the registration of the Consent Notices are to be met by the consent holder.

**NOTES:**

THE EXISTING CONSENT NOTICE RE CONTAMINATION IS TO "DROP DOWN" TO THE NEW TITLES.

Regards

**PHILIP MURPHY  
SENIOR ROAD ASSET ENGINEER**

**APPENDIX 1**  
**Certificate of Title**



**COMPUTER FREEHOLD REGISTER  
UNDER LAND TRANSFER ACT 1952**



**Historical Search Copy**

  
R. W. Muir  
Registrar-General  
of Land

**Identifier** **WN55C/46**  
**Land Registration District** **Wellington**  
**Date Issued** 25 November 1999

**Prior References**

WN53A/958

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**Estate** Fee Simple  
**Area** 7749 square metres more or less  
**Legal Description** Lot 1 Deposited Plan 87775

**Original Proprietors**

UnitedNetworks Limited

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**Interests**

B679705.1 Consent Notice pursuant to Section 221(1) Resource Management Act 1991 - 13.8.1998 at 3.55 pm

Subject to a water drainage right over parts marked Y and Z on DP 87775 specified in Easement Certificate B679705.3 - 13.8.1998 at 3.55 pm

The easements specified in Easement Certificate B679705.3 are subject to Section 243 (a) Resource Management Act 1991

Subject to a right to drain water (in gross) over part marked X on DP 87775 in favour of The Hutt City Council created by Transfer B679705.4 - 13.8.1998 at 3.55 pm

The easements created by Transfer B679705.4 are subject to Section 243 (a) Resource Management Act 1991

Appurtenant hereto is a right of way created by Transfer B756747.2 - 25.11.1999 at 11.05 am

Subject to a right of way over parts marked A, B and Z on DP 87775 created by Transfer B756747.2 - 25.11.1999 at 11.05 am

The easements created by Transfer B756747.2 are subject to Section 243 (a) Resource Management Act 1991

5855699.1 Change of Name of UnitedNetworks Limited to Vector Limited - 24.12.2003 at 9:00 am

THE HUTT CITY COUNCIL

CONSENT NOTICE PURSUANT TO SECTION 221  
RESOURCE MANAGEMENT ACT 1991

IN THE MATTER of Lots 1 and 2 Deposited  
Plan 85303

AND

IN THE MATTER of Subdivision Consent  
pursuant to sections  
105, 220 and 221 of  
the Resource  
Management Act  
1991

Pursuant to section 220(1)(c) of the Resource Management Act 1991 The Hutt City Council by resolution passed under delegated authority on 26 June 1997 imposed the following condition on the subdivision consent for the subdivision of Lot 1 and Part Lot 2 Deposited Plan 24727 that:

The owners attention is drawn to the Stage 2 Environmental Site Investigation Report for the Petone Gas Works Site prepared by Pattle Delamore and Partners Limited dated June 1996, and in particular to the following matters:

- a) The concentration of tar related chemicals high enough to be of concern to human health if regular contact with soil is made. In this respect, the report concludes that the site is considered suitable for the current use of office building and warehouse complex, workshops and gas installations, provided the soil is not exposed. However, remediation work will be required should the site be redeveloped for a more sensitive use.
- b) No wells may be drilled on the site.
- c) Excavation may expose workers to health risks particularly in the tarry parts of the site. Appropriate measures must be taken to protect workers if excavation is undertaken.

DATED at Lower Hutt this 5<sup>th</sup> day of December 1997.

For and on behalf of  
THE HUTT CITY COUNCIL



Donna Anderson  
LEGAL ADVISOR

**CONO B679705.1 Consent**

Copy - 01/01, Pgs - 002, 23/06/06, 11:48



DocID: 411387859



# Hutt City Council - Property Enquiry Report



**PROPERTY DETAILS**

Property Address **38 Bouverie Street PETONE**  
 Legal Description **LOT 1 DP 87775 SUBJ TO & INT IN R/W 55C/46**  
 Certificate of Title **55C/46**  
 Total Property Area (sq.mts.) **7749**  
 Property Improvements **BLDG OI**  
 Valuation Number **1659012500**  
 Property Rating Status **Current**  
**RATING YEAR**  
**2007-2008 (Valuation as at 01/09/2004)**

**ANNUAL RATES**

Rates - City Council \$13,083.02  
 Rates - Regional Council \$1,378.09  
 Total Rates Charge \$14,461.11

**RATING FACTORS**

Differential Rating Category Business Suburban  
 Capital Value \$940,100.00  
 Land Value \$940,000.00  
 Water units 1  
 Wastewater Units(Full) 1  
 Wastewater Units(Half) 0  
 Separately occupied parts 1  
 Bovine TB Area (Hectares) 0  
 Private Drains(Cost of Works) 0  
**Rating Year**  
**2007-2008 (Valuation as at 01/09/2007)**  
 Capital Value Effective July 2008 \$2,300,000.00  
 Land Value Effective July 2008 \$2,250,000.00  
 Future Water Units 1  
 Future Wastewater Units(Full) 1  
 Future Wastewater Units(Half) 0  
 Future Separately occupied parts 1  
 Future Bovine TB Area (Hectares) 0



- Selection
- Reserves
- Schools
- Properties
- Parcels
- Storm Water Pipe
- Storm Water Lateral Pipe
- Water Main Pipe
- Water Main Lateral Pipe
- Sewer Pipe
- Sewer Lateral Pipe

**IMPORTANT NOTICE:** Ratesbook information is provided under Section 28 of the Local Government (Rating) Act 2002 as an online representation of a Public Register. Although the graphical information displayed in the Property Enquiry System application has been prepared with care and in good faith, the Property Enquiry System is an information service and is designed to be illustrative only. The Council cannot guarantee the accuracy or completeness of the graphical information and accepts no liability for any loss suffered as a result of



**ENVIRONMENTAL SITE MANAGEMENT PLAN**

**FORMER PETONE GASWORKS SITE**

**Prepared for**

**TransAlta New Zealand Limited**

**by**

**PATTLE DELAMORE PARTNERS LIMITED  
WELLINGTON**

**Version: 2.0**

**Approved: ..... Date: .....**

**Name of Approver: .....**



## ENVIRONMENTAL MANAGEMENT PLAN SUMMARY

### TRANSALTA SITE, BOUVERIE STREET

- 1 This is a summary of the environmental site management plan for that part of the former Petone gasworks site currently occupied by TransAlta New Zealand Limited. The full plan should be consulted for plan details.
- 2 The soil under part of the site, particularly under the carpark, is impacted with wastes derived from the coal gas manufacturing process. Some of the wastes are hazardous to human health, if exposure to the soil occurs over an extended period.
- 3 The plan is intended to limit exposure to the soil by site workers or maintenance contractors by controlling excavation activities and maintaining the existing surface barrier (gravel, asphalt and concrete floors) over the soil.
- 4 Observance of this plan is mandatory.
- 5 All persons carrying out facilities management, maintenance, or excavation on the site are to be familiar with the requirements of the plan.
- 6 No excavation, or other activity that penetrates the surface, shall be carried out without the specific authorisation of the Chief Executive Officer, or designate.
- 7 Excavation work shall be placed under the control of an Excavation Supervisor, who shall designate a restricted area around the excavation. Personnel not associated with the work shall not enter the restricted area.
- 8 Protective equipment appropriate to the conditions shall be worn by excavation personnel. As a minimum this shall include overalls, boots and, for tarry areas, gloves. Dust masks, barrier cream and goggles shall be available.
- 9 Personnel shall not smoke, eat or drink within the restricted area. Separate areas shall be designated for this purpose and for removal of work clothing. Personnel shall wash their hands and face before smoking, eating, drinking or leaving the site.
- 10 Excavation shall be carried out in such a way as to minimise exposure to soil, by minimising the area, volume and duration of the excavation and by controlling dust and runoff.
- 11 Surplus soil shall not be disposed of off site without the authorisation of the Chief Executive Officer, or designate.
- 12 Groundwater shall not be disposed of off site, or to sewer or stormwater without the authorisation of the Chief Executive Officer, or designate.
- 13 Equipment used for excavation should be decontaminated before leaving the site, by removing loosely adhering soil and tarry substances.
14. Damage to the gravel, asphalt or concrete paved surfaces that have the potential for exposing the underlying soil shall be reported. Repairs shall be carried out as soon as possible.



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## 1.0 INTRODUCTION

TransAlta New Zealand Limited have engaged Pattle Delamore Partners Limited (PDP) to prepare an environmental site management plan for the parts of the former Petone gas works site now occupied by TransAlta, specifically Lot 1 and Part Lot 2, DP 24727. The site is located in Bouverie Street, Petone.

This plan has been developed to protect occupants and workers on the site from exposure to elevated concentrations of chemicals arising from the past use of the site as a gasworks. It describes the nature of the potential hazards, sets out general procedures to be observed by site personnel and specific procedures for the control of excavation and disposal of soil. The plan also defines on-going groundwater monitoring procedures and frequency. Observance of this plan is mandatory.

## 2.0 SCOPE

The purpose of this Environmental Management Plan is to set out procedures for the protection of site staff during their normal activities and for all workers or contractors carrying out maintenance or minor site development involving excavation of potentially chemically-impacted soil. The plan is restricted to the continuation of the present use of the site, that is, for industrial/commercial use. Residential or other sensitive use is not envisaged by this plan.

Currently, the site is covered with either concrete floored buildings, asphalt or chip seal, and for some less used storage compounds, a gravel surface. The plan is aimed at maintaining the integrity of the existing surface barrier between site users and the underlying soil, and to control activities that penetrate that barrier.

The plan is intended to control normal site maintenance and minor site development activities such as installation of underground services, repair or rehabilitation of sealed or gravelled areas and erection of structures which do not involve major excavation (eg. concrete slab on grade or light timber framed structures on piles through the existing surface barrier). This plan is not intended to cover major redevelopment activities. Such activities will require

TransAlta New Zealand's specific approval and will require the writing of separate management plans.

### 3.0 GROUND RESIDUES

The chemical impacts in the soil and groundwater on the site are associated with the site's former use for coal gas manufacturing, from 1900 to 1961. The nature of the impacts, and the associated health hazards, are reported in the investigation report to Energy Direct Corporation, *Stage Two Environmental Investigation for Petone Gasworks Site, Petone*, (PDP Report W126-01, June 1996). This report should be consulted for a detailed assessment of the site.

#### 3.1 Nature and Extent of Impacts

The site was found to be covered by between 0.2 and 1.2m of fill containing variable amounts of gasworks waste. Tarry wastes and liquid tar, which may contain mono and polycyclic aromatic hydrocarbons and phenols, were found in the soil under the main car park in the centre of the site. This area was the site of the main gas manufacturing plant. Underground structures associated with gas manufacturing, such as pipework and foundations, still remain in the area and may also contain liquid tar. Concentrations of other chemicals associated with gas manufacturing (for example, sulphur, cyanide and some heavy metals) were not high enough to be of concern, given the sites current use. The soil impacts over the site can be divided into three categories (Figure 1):

- Zone A      Areas with a thin (0.2 - 1.2m) layer of tar impacted fill at the surface. Some semi-liquid and solidified tar.
- Zone B      An area with tar impacted soil, including liquid tar, in natural ground below the fill, up to 2m deep.
- Zone C      The remainder of the site, where impacts are relatively minor, although the thin layer (0.2 - 1.2m) of fill may contain variable amounts of gasworks waste.

Note: The investigation did not include areas where buildings are currently sited and impacts may extend beneath these buildings.

The shallow groundwater beneath the site has also been impacted by tar related compounds. The groundwater impacts are principally naphthalene, the most soluble of the polycyclic aromatic hydrocarbons, but also phenols and mono-aromatic hydrocarbons.

### 3.2 Associated Hazards

Hazards associated with tar impacted soil mainly arise from the possibility of skin irritation in sensitive individuals from direct contact with soil. If tar is encountered, skin irritation and eye damage from splashes may result. Extended exposure to tar may cause skin cancers. Ingestion of tar impacted soil over extended periods of time may also cause cancers.

For the existing use, the risk to health is negligible because staff are isolated from the potentially hazardous soil by the gravel surface, asphalt or concrete floors of buildings. Staff will remain protected provided the asphalt or gravel surfaces remain intact, and they are not exposed to any dust from open excavations.

Minor risks arise for workers exposed to soil in excavations. The likely short duration of the exposure minimises the risk, but it is appropriate that precautions be taken to minimise the exposure. Exposure to groundwater in excavations is not considered hazardous for the likely short durations of any contact. The shallow groundwater is not suitable for consumption.

Some tar chemicals (eg. phenols) can permeate through plastic pipes. This has the potential to cause tainting of drinking water, where pipes are laid through tarry soil.

#### 4.0 PLAN MANAGEMENT PROCEDURES

This section sets out general management procedures and requirements for implementing this plan.

- (i) Observance of this plan is mandatory
- (ii) This plan applies to only that part of the former Petone gas works site currently occupied by TransAlta, as shown in Figure 1, being Lot 1 and Part Lot 2, DP 24727.
- (iii) All personnel carrying out or controlling facilities management, maintenance and excavation on this site are to be familiar with this plan.
- (iv) No excavation shall be carried out on the site without the written and specific authorisation of the Chief Executive Office or authorised designate. The authorisation shall detail the scope of the work. Personnel carrying out the work are to be made aware of the scope of the authorisation.
- (v) Prior to authorising excavation, the Chief Executive Officer shall be satisfied that the requirements of this plan have been considered in planning the work, and shall later ensure that this plan is being followed during the execution of the work.

#### 5.0 SITE USE

##### 5.1 Present Use

The current uses of the site as commercial/industrial premises presents minimal human health or environmental risks to site employees. However, risks may exist for any maintenance workers carrying out any subsurface work on the site.

##### 5.2 Future Uses

The current ground conditions are considered to make the site suitable for future uses similar to the present (ie commercial/industrial), provided the ground in the zones of greatest impacts

are predominantly covered with either buildings or a sealed surface (concrete or asphalt). The site is not suitable for residential use without remediation. The following site use restrictions shall apply for the present industrial/commercial use:

- no abstraction of the shallow groundwater (but see Section 7.7 for dewatering excavations).
- no drilling of wells into the deeper aquifer without giving due consideration to protection of the deeper aquifers (there is potential for the drilling process to transfer impacted soil down to the deeper aquifer).
- the site is to be covered in buildings, paving, or other medium so that users of the site are protected from contact with the underlying soil.
- adherence to this plan for excavation activities (Section 7).
- the monitoring wells (see Figure 1) are to be retained and protected until such time as groundwater monitoring is no longer required.

## 6.0 DESIGN OF MINOR SITE DEVELOPMENT WORK

This section applies to minor development work, as defined in Section 2, not major redevelopment of the site or change of use of the site.

The design of site improvements, new minor buildings (eg garages), maintenance work and the like is to take into account the need to maintain the impervious cover over the underlying soil. The design is also to take into account, the need, during the execution of the work, to minimise the amount of excavation required, in particular minimising the areal extent of the excavation, the duration of exposure of soil and the volume of surplus soil generated.

Plastic water pipes should not be laid through the zone of greatest impacts.

## 7.0 EXCAVATION PROCEDURES

### 7.1 General

This section discusses safety in relation to potential chemical hazards from exposure to soil during excavation at the site. It is not intended to cover general site safety procedures required at any site where such work is carried out.

These procedures are based on the Labour Department publication "Health and Safety Guidelines on the Cleanup of Contaminated Sites" (OSH, 1994). These guidelines have been modified taking into account the nature of the particular hazards on this site, the short duration of any likely exposure and the limited nature of any excavation covered by these procedures.

Excavation is defined as any activity that exposes or potentially exposes the soil during the activity, including but not restricted to: removal of the paved surface; removal or exposure of foundations of buildings or other structures; installation of foundations for buildings or structures; trenching; piling; drilling or digging of holes for any purpose.

### 7.2 Site Control

Excavation work will be placed under the control of a single responsible person (henceforth referred to as the Excavation Supervisor) who shall ensure the requirements for excavation work contained in this plan are adhered to. This person shall be familiar with the soil conditions likely to be encountered, in PDP report to Energy Direct, W126-01 dated June 1996.

Areas where excavation work is to be carried out are to be designated as restricted areas. Areas are to be marked and barriers erected as appropriate. Other site personnel are to be advised of the restriction and are not to enter the restricted area.

An area is to be set aside for cleaning plant and equipment. This area is to be restricted to excavation personnel.

An area for removing protective equipment and washing shall be provided. This area shall be restricted to personnel carrying out the excavation work. An area away from the immediate vicinity of the excavation area shall be designated for eating and drinking. It shall be separate from the changing and washing facility but may be an area common to other site staff.

### 7.3 Protective Equipment

Personal protective equipment is to be available and shall be worn for all work carried out in the two impacted zones defined in Section 3.1. A lower standard of protection is appropriate for the zone of minimal impacts defined in Section 3.1, where normal protective equipment appropriate to excavation work is adequate. The level of protective equipment defined in this section is a minimum, and should be increased should more severe conditions than expected be encountered, eg. pools of liquid tar, or obviously impacted soil in the zone of minimal impacts. (Note that some gas works wastes tend to be visually distinctive, such that potentially hazardous conditions can be assumed to be present where tar, or tarry looking soil, green or blue discoloured soil or heavy concentrations of ash and clinker are observed).

Protective equipment shall include:

- (a) overalls, boots and, if handling soil and water, gloves
- (b) barrier cream should be readily available and applied to hands prior to every work period, even if gloves are being used.
- (c) dust masks for dusty conditions
- (d) goggles for dusty conditions or if liquid tar is encountered
- (e) first aid and eye wash kits shall be available

The possibility of heat stress when wearing full protective equipment on hot days should be noted.

Protective equipment shall be maintained in good condition. Where reusable overalls are used, they shall be laundered regularly and at the completion of the work. Those responsible for the laundering shall be made aware of the nature of the work being performed.

Disposable overalls, gloves, masks and other equipment shall, on removal, be placed in bags designated for the purpose and disposed of in an appropriate fashion.

#### 7.4 Personal Hygiene

All site workers and contractors shall be made aware of the importance of personal hygiene during excavation work. Direct contact with soil or groundwater should be avoided.

No eating, drinking or smoking is permitted during excavation work. Doing so risks ingesting dust adhering to the hands. Workers are to remove their protective clothing and wash their hands, in the designated area, before eating, drinking or smoking or leaving the site.

#### 7.5 Control of Excavation

Excavation is to be carried out in such a way as to minimise:

- the area of soil exposed
- the duration of exposure
- the volume of soil disturbed or stockpiled
- the generation of dust
- the generation of runoff and/or the transport of sediment during rain
- the tracking of soil by vehicles and plant

Stockpiles are to be covered or watered to suppress dust when necessary, but watering to the extent where runoff occurs is to be avoided.

In the event of rain, runoff from open excavations or uncovered stockpiles is to be controlled by bunding or other means. Stockpiles are to be covered where possible and stormwater

passed through a sediment trap to settle out solids. The solids are to be collected for storage or return to the excavation.

If excavation continues over a number of days, daily tidy up of the site shall be carried out to minimise the potential for dust generation or erosion from rain.

Excavated soil should be returned to the excavation wherever possible. Appropriate compaction equipment should be used and the returned soil compacted in layers to ensure the reinstated ground has the maximum density, thereby minimising the potential for any surplus soil. If necessary, clean soil from below the impacted zone, may be removed to make space for the impacted soil.

Where the asphalt or concrete surface has been penetrated, the surface shall be reinstated at the completion of the work to ensure no soil is left exposed.

Small volumes of water draining from saturated material removed from the excavation shall be directed back into the excavation, provided this does not cause difficulties with the excavation process. Otherwise this water shall be treated as groundwater, see next paragraph.

In the unlikely event that deep trenches penetrate the water table, specific authorisation from the Chief Executive Officer is required for removal and disposal of groundwater, if groundwater control is required. Groundwater shall not be disposed of to stormwater or sewer without consulting and obtaining the approval of the Hutt City Council. The requirements of the Hutt City Council shall be complied with. Return of groundwater to the ground shall be subject to obtaining expert advice and appropriate resource consents, if required.

## 7.6 Equipment Decontamination

Before leaving the site, plant and equipment is to be thoroughly cleaned of adhering soil by scraping or brushing. Rigorous water blasting or steam cleaning is not required unless tar is encountered.

Soil removed during cleaning is to be collected for storage or returned to the excavation. Water used for cleaning shall not to be allowed to flow to stormwater drains but is to be collected and disposed of as waste.

### 7.7 Disposal of Surplus Soil

As a general principal, potentially contaminated soil shall not be removed from the site. This includes temporary off-site storage. Site development and excavation activities shall be carried out in such a way as to minimise the generation of surplus impacted soil. For excavation activities where a surplus of impacted soil is unavoidable, on-site storage options are to be explored before off-site disposal is considered. Temporary off-site storage during the duration of the work or permanent off-site disposal may be permitted where on-site storage is not practicable, but each event will require specific authorisation by the Chief Executive Officer or designate. Authorisation will depend on the merits of the particular case and will consider the following:

- volume of soil
- source of soil and likely contaminants
- disposal or temporary storage options
- transport arrangements
- soil test results

The suitability of disposing of larger volumes of soil off-site will depend on the concentration of any chemicals the soil may contain and the availability and security of disposal sites. Options to be considered include disposal as clean soil, disposal as controlled waste to local landfill or disposal as special waste to a hazardous waste facility. Disposal shall not occur without appropriate testing. Expert advice is to be sought in evaluating disposal options, soil testing requirements and the interpretation of test results. Precautions must be taken during transport of any soil off-site against spillage or loss of soil.

### 7.8 Excavation Records

The Excavation Supervisor shall ensure that records are kept of the excavation, for forwarding to the Chief Executive Officer, or designate. These shall include the location and dimensions of the excavation, the ground conditions, in particular whether wastes were encountered (eg. tar, ash and clinker, concrete pits, rubble, unusual colours), and groundwater location. Records shall be kept of any surplus or relocated soil, including the source, appearance and final location of the soil, and the method of any disposal of soil. Records shall be kept of any disposal of groundwater.

### 8.0 GROUNDWATER MONITORING

A network of groundwater monitoring wells has been established on the site to monitor the impacts on the shallow groundwater of selected groundwater chemicals (PDP, 1996). The wells were first monitored in May 1996. Monitoring is to consist of a second complete round of monitoring, to duplicate the first round, followed by monitoring of selected wells on a six monthly basis for a period of 18 months, to establish baseline values. At the end of this period (November 1998), monitoring is to be reviewed.

The wells to be monitored shall include MW1, MW3, MW4, MW7, MW8, MW11 and MW12.

Sampling is to follow the same procedures as the initial sampling, and is to be performed by personnel experienced in environmental sampling. To ensure consistency, analysis of samples is to be carried out by the same laboratory (Allan Aspell and Associates, Auckland), using the same techniques, as the initial sampling.

Interpretation of results is to be carried out by environmental professionals experienced in the interpretation of environmental sampling. Results are to be reported to the Chief Executive Officer.

## 9.0 SURFACE MAINTENANCE

The Chief Executive Officer, or designate, shall ensure that the gravel surface, asphalt seal and the floors of buildings are maintained in a good state of repair so that the underlying soil is not exposed. A system of reporting accidental damage shall be implemented. Damage shall be made good as soon as possible after it occurs. General wear and tear of asphalt surfaces shall be assessed by an annual inspection and any damage made good. Reinstatement of any damage that requires excavation of the contaminated soil (but not the pavement material or underlying base course) shall be in accordance with the requirements of Section 7.

For gravel surfaced areas a three month period of regular monitoring shall be implemented to determine whether the surface remains intact under normal use. If the surface appears to be deteriorating, a programme of sealing the gravel with asphalt shall be carried out. A programme of inspection and maintenance of the gravel surface, at a frequency to be determined by the initial monitoring, shall be carried out until all gravel surfaces are sealed.

## 10.0 REFERENCES

OSH (1994) "Health and Safety Guidelines on the Cleanup of Contaminated Sites", Occupational Safety and Health Service, Department of Labour, Wellington, 1994

PDP (1996) "Report on Stage Two Environmental Site Investigation for Petone Gasworks Site, Petone", Pattle Delamore Partners Limited, Wellington, 1996.

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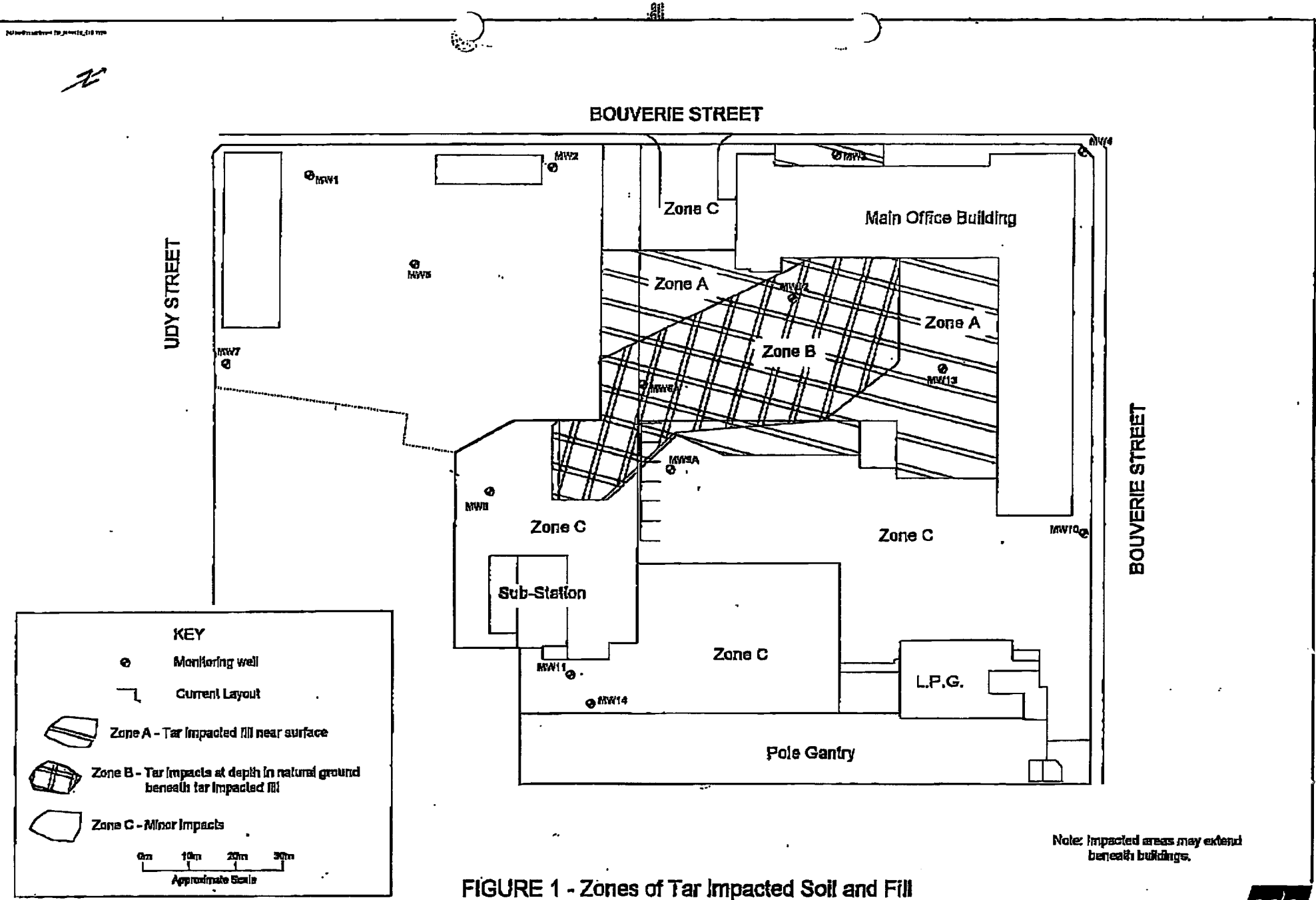


FIGURE 1 - Zones of Tar Impacted Soil and Fill



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Telephone: 570 6753  
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Our Reference: RM20-B40-40

3 July 2009

Cuttriss Consultants Limited  
PO Box 30429  
LOWER HUTT 5040

Attention: Sarah Clarke

Dear Madam,

**RESOURCE CONSENT APPLICATION (RM090213) - ESTABLISHMENT OF A TRADING WAREHOUSE (HUMES PIPE SYSTEMS) AT 40 BOUVERIE STREET, PETONE.**

**1 Decision**

On 05 June 2009, the applicant sought consent under the Resource Management Act 1991 ("the Act") to establish a trading warehouse (Humes Pipe Systems) at 40 Bouverie Street Petone (being legally described as: Lot 2 DP 87775). The proposal is considered to be a 'trading warehouse' which is a discretionary activity within the General Business Activity Area of the City of Lower Hutt District Plan. Acting under delegated authority from the Hutt City Council, we advise you that the following decisions have been made:

- Council considered the application without it being notified.
- Council **GRANTED** the application on 3 July 2009 subject to the following conditions:
  1. That the development be substantially in accordance with the information submitted with the application and held on Council File RM20-B40-40 (Drawings prepared by CGM Architects Ltd, labelled DWR A 2000b, REV A; Kiwispan job no We1209, sheet no WD 01, 02 & 03).
  2. The consent holder shall contact the Council's Environmental Enforcement Team on (04) 560 1044 or emailed at [enforcement@huttcity.govt.nz](mailto:enforcement@huttcity.govt.nz) at least 48 hours prior to any physical work commencing on the site and advise the following:
    - The date the work shall commence;
    - The name of the contractor and their contact details including phone number and postal address; and



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- If earthworks form part of the consent application, the contact details who will carry out the earthworks.
3. Once construction work commences a copy of this resource consent decision shall be available on site for the duration of the works and made available upon request.
  4. The consent holder shall provide an environmental site management plan prepared by a suitably qualified environmental scientist (as described in the PDP report in consent notice B679705.1) to provide management control whilst the proposed warehouse building is being constructed. The site works particularly when the foundations works are being undertaken could potentially loosen or create dust or vapours that may be contaminated. The environmental site management plan shall be submitted to Team Leader Resource Consents to be approved in writing prior to any work being undertaken on the site.
  5. All excavation works on site shall be carried out in accordance with the approved 'environmental site management plan' to ensure the safety of workers on site and adjoining sites from potentially contaminated soils.
  6. All unwanted material shall be disposed at a Hutt City Council approved landfill.
  7. The consent holder shall ensure that the construction works are managed in a manner to ensure that there are no dust emissions occur beyond the boundary of the site.

## **2 Reasons why consent has been granted**

Consent is granted for the following reasons:

- Any environmental effects are considered to be no more than minor subject to specific conditions of consent.
- Council's Consultant Traffic Engineer has reviewed the application and finds that the proposal meets the transport chapter rules of the District Plan, as such can support the proposal.
- No parties are considered to be adversely affected by the proposal.
- Due regard has been given to the provisions of the District Plan and the proposal is consistent with the relevant objectives and policies.
- Due regard has been given to any national policy statement, the New Zealand Coastal Policy Statement, any regional policy statement or proposed regional policy statement, and any other matters council considers relevant and

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reasonably necessary to determine this application, and deemed that there are no matters of particular relevance or concern that are required to be addressed.

### **3 The Proposal**

The applicant wishes to establish and operate a trading warehouse at 40 Bouverie Street, Petone. The trading warehouse is "Humes Piping Systems" who specialise in distributing and manufacturing products and systems for managing water and other utilities. The development of the site includes construction of a new building containing a warehouse, office, staff room and cement store and would have a total footprint area of 320m<sup>2</sup> and a maximum height of 7.5m. The building would be positioned in the southern corner of the site. The open yard area would be utilised for staff parking, truck loading and storage of bulk goods. The business would employ six staff, and it is expected that approximately 10 to 15 customers would visit the site per day. There would be approximately 10 - 12 deliveries and pickups to and from the site each day, no products are manufactured on the site. The applicant states that two signs would be established on site, both would meet the permitted activity conditions for signage.

### **4 The Site**

The proposed activity would lease a portion of the site at 40 Bouverie Street. The area is currently sealed and has perimeter fencing with large blue pipe gates on the north eastern driveway access. There is an existing 'L' shaped building on the remainder of the site which is co-occupied by; forklift hire/sales, commercial door sales, printing supply & services and the Ministry of Fisheries. The site is completely surrounded by sites within the General Business Activity Area, these adjoining sites are industrial in nature.

The site has a consent notice listed on the certificate of title that recognises contamination on the site as a result of a historical use. There are no other restrictions listed on the certificate of title that would affect the proposal and there are no special notations in the District Plan (i.e heritage buildings or protected trees).

### **5 The Plan**

The appropriate planning instrument for assessing the proposed activity is the City of Lower Hutt District Plan ("the Plan"). The site is within the General Business Activity Area and the relevant rules are contained in Chapter 6A.

The proposed activity fails is considered to be a "Trading Warehouse" which is a discretionary activity under the rule listed below:

*Rule 6A 2.4(h) Trading Warehouses*

Comments: The proposed "Humes Piping Systems" business stores and distributes large bulky products such as concrete pipes to construction companies and not the general public, and is considered a Trading Warehouse.

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considered to maintain the amenity values and character of the area. The proposed building is considered to be consistent with the above objective and policy.

Pursuant to section 104 (1) (b) it has also been determined that no Regional Plan or Regional Policy Statement will affect this application. It is also considered the application is in accord with the objectives and policies of the District Plan.

### *Regional Policy Statements*

Pursuant to section 104 (1) (b) it has been determined that there are no relevant Regional Plan or Regional Policy Statements which will affect this application.

### *Part II Matters*

It is considered the proposal meets Part II Matters of the Resource Management Act 1991 for the aforementioned reasons. The proposal is considered consistent with sections 5(2) (c); *"Avoiding, remedying, or mitigating any adverse effects of activities on the environment"*, section 7(c) *"The maintenance and enhancement of amenity values"* and section 7(f) *"The maintenance and enhancement of the quality of the environment"*.

Pursuant to section 108 of the RMA, conditions have been applied to the consent to avoid, remedy and mitigate potential adverse effects the activity may have on the environment.

## 7 Conclusion

The applicant proposes to establish and operate Humes Piping Systems which is considered a "Trading Warehouse" as defined within chapter 3 of the District Plan. The application has been reviewed by Council's Consultant Traffic Engineer, who supports the proposal subject to condition of consent.

It is considered that, subject to specific conditions of consent, any adverse effects on the environment are no more than minor.

It is considered that the application is in accordance with the relevant objectives and policies of the District Plan.

In accordance with section 104B, consent is hereby **GRANTED** the application.

## 8 Notes

- This resource consent is subject to payment of a Development Contribution under the Council's Development and Financial Contributions Policy. The financial contribution has been calculated as being \$2,050.22 (incl GST). The payment of the financial contribution will be required prior to issue of the code of compliance certificate under the building consent.
- Reconsideration of this decision and/or conditions of the resource consent may be sought under section 357 of the Act. Applications for reconsideration should be made

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to the Council in writing within 15 working days of the date the decision was made. Applications must set out the reasons for the objection and include a review fee of \$600.00

- Plans submitted with the application have only been checked for compliance with the Resource Management Act 1991.
- Any building work associated with the proposed activity should not commence until a building consent has been obtained under the Building Act 2004.
- This resource consent is valid for 5 years from the date it was granted.
- This resource consent is specific to the application received by Council. Any changes to the proposal may require a new resource consent and additional application fee.
- The applicant is reminded that this resource consent is not a licence to create adverse effects. You still have a duty under the Act to avoid, remedy or mitigate adverse effects. Notwithstanding any resource consents held, section 17 of the Act continues to apply and Council will take enforcement action where necessary.
- Council may issue an abatement notice if the conditions of this resource consent are not complied with. Contravention of an abatement notice may incur a fine up to \$200,000.

Yours sincerely



Jeremy Brophy  
**Resource Consent Planner**

Application Lodged	05/06/09
Further Information required	19/06/09
Further Information received	23/06/09
Decision	03/07/09
Time taken to process application	18 Working Days

**Paul Duffin**

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**From:** V & R Consultants Ltd [VRConsultants@xtra.co.nz]  
**Sent:** Friday, 26 February 2010 11:39 a.m.  
**To:** Paul Duffin  
**Cc:** Dave Tuckey  
**Subject:** 40 Bouverie Street  
**Attachments:** Barrier.pdf; 08 25Aug09 003.jpg; 01 Humes site 003.jpg; 02 Humes site 004.jpg; 03 Humes site 005.jpg; 04 Humes site 006.jpg; 05 Humes site 007.jpg; 06 25Aug09 001.jpg; 07 25Aug09 002.jpg

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## **40 BOUVERIE STREET - RM090213 - BC090882**

Your letter of 17 February refers.

As background, following the pdp Ltd documentation and on site discussions the level of the floor was raised further above the existing ground. As you will be aware from the RC documentation the building is located on the least contaminated part of the site, and also that the site has generally been filled above the original ground level (This is illustrated in photos 1 to 5 and 28 to 30 and was confirmed by the testing carried out prior to work being undertaken).

This raising of the slab significantly reduced the excavation requirements for the foundations and also reduced the depth of the excavation for the drains and services. Excavation has therefore been in the built up filled area (a lot of this filling appears to be the material arising from demolition of the original buildings on site).

The specific points you raise are responded to:

**Point 4.2** - Initial excavation for the foundations was carried out prior to any personnel other than the excavation contractors being on site. Services excavations were limited in volume, width and depth.

- The excavation equipment was only used in dry conditions and was inspected by the operators to ensure it was clean before leaving the site. We ran a high pressure feed to the site to ensure water was available if required and had available the washdown facility at Loadlift who are a tenant also on the 40 Bouverie site, adjacent to the work area (outside the fenced off area). We have installed a full washdown facility at Loadlift for cleaning down forklifts, which is complete with waterblasting and steam cleaning facilities.

- The excavations were limited in volume, width and depth and excavation was carried out from a vehicle cab.

- The undisturbed area of the site allows good clearance from the workface. Staff had their lunches etc well away from the work areas. Washing and toilet access was arranged with Loadlift who are a tenant adjacent to the 40 Bouverie St site.

**Point 4.8** - No soil has been disposed off site. One of the reasons for raising the floor slab level was to increase the fill required to build up the levels around the building, and thus use the surplus excavated material on site.

**Point 4.9** - Thirty photos are attached, along with the statements from Skellerup Containment Systems relating to the protection work carried out in accordance with the EMP. (To make emailing simpler I have split the 30 photos into this email plus two following).

I trust the above will be satisfactory and will meet your requirements, however should you wish to discuss any issues please feel free to phone me and discuss.

Yours sincerely  
John Robinson  
V&R Consultants Ltd



**SKELLERUP**  
**CONTAINMENT SYSTEMS**

A Division of Viking Group Limited

Viking Group Ltd  
2 Nazareth Ave, Middleton  
PO Box 9117 Tower Junction  
Christchurch, New Zealand  
Phone 03 335 0163  
Mobile 027 240 6350  
Facsimile 64 3 381 7798  
Email [kelly.montford@containment.co.nz](mailto:kelly.montford@containment.co.nz)  
WebSite [www.containment.co.nz](http://www.containment.co.nz)

15 December 2009

V & R Consultants  
Level 1  
19 Market Grove  
Lower Hutt

6923Q

Dear John Robinson

**RE: Gas Barrier Liner Project.**

Please find enclosed Quality Assurance sheets for the above work carried out in November 2009.

We can confirm that to the best of our knowledge this work has been completed. The installation/fabrication complies with our supplier's recommendations and Skellerup Containment Systems field quality control manual.

If you have any queries, please do not hesitate to contact me.

Yours sincerely

**Kelly Montford**  
**Contracts Manager – Containment Systems**

**Encl:**  
QA Report x 3 copies



## WARRANTY OF WORKMANSHIP FOR GEOMEMBRANE APPLICATION

This warranty covers workmanship by Skellerup Containment Systems for the fabrication and installation of Geomembrane Liner for the project herein.

1. The project for which the Geomembrane Liner has been installed is:  
**Balanced Investments Construction – Gas Barrier Project - 6923**
2. The type of Geomembrane is: **SEP015 – 1.5mm HDPE Smooth**
3. The Warranty period shall commence from the date of completion and shall run for a period of **5-years**.  
Commencement date: **24 November 2009**
4. The Geomembrane is not Warranted against and Skellerup Containment Systems shall not be liable for loss or failure caused by:
  - Chemical damage.
  - Poor project design or causes outside the Specification.
  - Objects penetrating the sheeting, or mechanical damage.
  - Any shifting or altering the Geomembrane after installation.
  - Any deliberate, wilful, reckless or negligent act.
  - Excessive pressures or stress from any source.
  - Subsurface or overburdened soil conditions.
  - Differential soil settlements and the effect these may have on the liner system.
  - Acts of God, including but not limited to floods, piercing hail, tornadoes, earthquakes or force majeure.
5. Skellerup Containment Systems as the installer, undertake to repair any defect arising from our workmanship.  
Should any defect occur which requires a remedy in terms of this Warranty, then the defect must be notified to Skellerup Containment Systems in writing within fourteen (14) days of discovery. The remedial work shall be as determined by Skellerup Containment Systems and carried out to the specifications of the contract. The customer shall provide clean, dry, safe, unobstructed access to the Geomembrane with all water, dirt, sludge, residue, liquid and overburden removed from the surface.
6. This Warranty becomes effective upon receipt of final payment for the Geomembrane supplied.
7. This Warranty does not extend to consequential damage caused by workmanship or product failure and liability for such loss howsoever arising is hereby excluded.
8. This Warranty is the only Warranty relating to the installation of the Geomembrane and all other Warranties expressed or implied are hereby excluded.
9. This Warranty shall be interpreted according to the laws of New Zealand and any disputes shall be decided in the Courts of New Zealand.

For Skellerup Containment Systems

Doug Spain  
General Manager

.....17 December 2009.....

Date

WARRANTY No. C5106



Contact: Paul Duffin  
 Group/Divison: Environmental Consents  
 Telephone: 570 6979  
 Facsimile: 570 6799  
 E.Mail: Paul.duffin@huttcity.govt.nz  
 OurReference: RM20-B40-40

17 February 2010

**FILE**

The Partners V & R Consultants  
 PO Box 3510  
 Wellington

Dear Sirs

**40 Bouverie Street**  
**Humes building**

On Wednesday 17 February 2010 I visited the above site as part of our resource consent monitoring underway in Petone and observed that the building that will house Humes is well on the way to being completed.

On reviewing the resource consent conditions it was observed that an environmental site management plan was to be prepared and submitted to Team Leader Resource Consents. No work was to commence on the site until we had reviewed the management plan and approved it in writing. No plan was submitted to resource consents as required for approval. Instead it was submitted as part of the building consent application. At no stage was a letter sent to your consultants – Cuttriss Consultants, giving permission for the activity required by the resource consent to commence. Consent conditions are attached to resource consents for a purpose and council monitors all resource consents to ensure that all conditions of consent are complied with. Failure to comply with consent conditions can result in the issuing of infringement fines starting at \$300 up to a prosecution. Can you please ensure that, in future, all conditions of resource consents are complied with.

I have now retrieved a copy of the report from building consent 90882 and, in reading it, I feel that there are some questions that need to be answered. These are:

**Point 4.2.** Can you please confirm that the 4 indents were established/complied with.

**Point 4.8.** Was there any surplus soil disposed of “off site” and was this material tested as per indent 2. Please provide a copy of these reports and also where this material was disposed of.

**Point 4.9** Can you please provide a copy of the photos that were required to be taken for our records along with a copy of the records that the Excavation Supervisor was required to maintain.



I look forward to receiving the above items within the next 2 weeks.



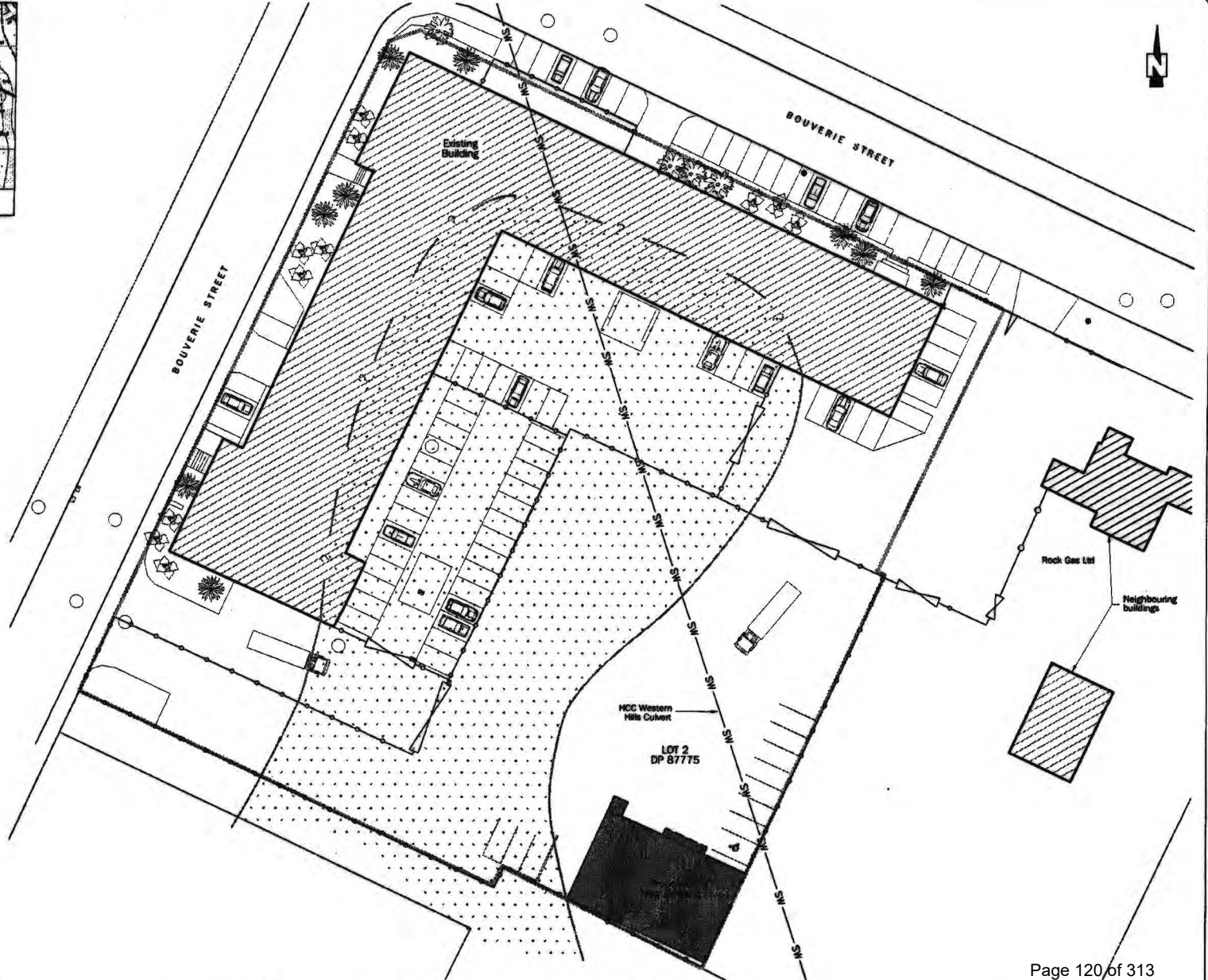
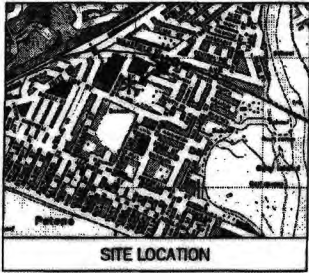
In future, please ensure that ALL resource consent conditions are complied with. Failure to do so could result in enforcement action being taken against the applicant and the property owner.

I look forward to your co-operation in this matter.

Yours sincerely

A handwritten signature in black ink, appearing to read "Paul Duffin".

Paul Duffin  
**SENIOR MONITORING AND ENFORCEMENT OFFICER  
HUTT CITY COUNCIL.**



**KEY**

- Approximate zone of tarry contamination
- Gates
- Chainlink fence
- Site boundary
- Existing building

APPROX. SCALE 1:500 (A3)

Source: Site drawing provided by C20 Architects Ltd drawing No A 2006 Rev A  
 Contour information derived from LIDAR data.

Figure 1 : PROPOSED LAYOUT & APPROXIMATE ZONE OF TARRY CONTAMINATION

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The proposed activity is deemed to be **Discretionary** under Rule 6A 2.4(h).

## 6 Notification

In considering whether the application must be notified (and if so how) the proposed activity has been considered overall as a discretionary activity under Rule 6A 2.4(h) of the Plan.

*Has the applicant requested notification?*

No.

*Are the adverse effects of the activity on the environment minor or more than minor?*

In accordance with s93 and s94A of the Act Council has considered whether the adverse effects on the environment are minor or more than minor. In making this assessment Council has disregarded adverse effects of the activity on the environment where the plan permits an activity with that effect. The permitted baseline for the site includes specific retailing activities such as; carports, kitset garages and sheds, trailers; caravans; boats; swimming pools, spa pools, new and used motor cars; heavy commercial and agricultural vehicles; machinery; and the accessory parts which are essential to the operation of those goods. These retailing activities must comply with all the other permitted activity conditions which includes a maximum height of 12m, control of dust and any odour, light spill and glare. The permitted baseline is considered to be useful in assessing the proposed trading warehouse, because it provides a comparative for other bulk permitted activities that can be established as of right.

Council considers that the proposed activity's potential adverse effects on the environment must be taken into account as follows:

- Effects on Character
- Effects on Amenity Values (particularly: visual effects, noise, dust, light spill and odour)
- Effects on Traffic Safety and Efficiency
- Contamination Effects

After undertaking this assessment Council considers that these adverse effects are minor because:

### Effects on Character

- The subject site at 40 Bouverie Street is located in the General Business Activity Area which specifically caters for a limited type of large bulky retail goods such as carports, sheds, trailers, boats and swimming pools. The application states that Humes Piping Systems would be similar to a large industrial warehouse used for the manufacture, parking and storage of goods. However, in this case industrial activities as defined in chapter of three of the District Plan, does not include any retail sales and as such the

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activity is considered a trading warehouse. The District Plan acknowledges that a mix of activities should be accommodated where the potential effects of non-industrial activities are not dissimilar to those generated by industrial activities. A key difference between a trading warehouse and potential industrial activity is the likely number of customers visiting the site, with trading warehouses generally having a higher number.

- The business primarily sells piping and fittings which are bulky in nature. The general layout of the site and target market being construction companies restricts the potential for the general public to buy products off the street. The proposed trading warehouse is considered to have similar loading and servicing requirements as a warehouse activity, which is a permitted activity in the General Business Activity Area. As such the loading aspect of this activity is in character with the underlying zoning. Due to the piping and fitting products being bulky in nature the activity is considered suitable for this site. As such any effects on character are considered to be no more than minor.

### Effects on Amenity Values

#### *Visual Effects*

- The General Business Activity Area is characterised by industrial activities which involve storage of machinery and bulk goods, the buildings are generally utilitarian in appearance. The plan acknowledges that buildings shall be designed and maintained to maintain the amenity of the area.
- The proposed activity would be located on a rear site with access from two separate driveways. These two driveways provide the only view shafts from Bouverie Street. This is due to the large 'L' shaped industrial building positioned on the frontage of the site screening the majority of views. The visual effects of the proposed building, parking and storage on the site are not considered to be dissimilar to an industrial or warehouse activities and would not appear out of place within this context.
- The trading warehouse activity would involve approximately 10 - 15 customers visiting the site each day between the hours of 7am and 4.30pm, in addition 10 -12 deliveries and pickups will occur to and from the site each day. When viewed from Bouverie Street movements from the subject site will be dispersed between the two access ways; movement would also be screened by the large building existing on site. As such potential visual effects of movement in and out of the site are considered to be sufficiently mitigated.
- The subject site is surrounded by sites in the General Business Activity Area, there are a number of residential sites located nearby on Udy Street and along the eastern extend of Bouverie Street, these properties are exposed to a higher number of industrial vehicles from existing operations in the area the proposed activity is not considered to change this existing environment. Overall any visual effects associated with the trading warehouse are considered to be no more than minor.

#### *Noise, Dust, Odour and Lightspill Effects*

- 
- The proposed trading warehouse will generate some noise from vehicles, machinery, staff and customers on site. There are no activities proposed on the site that differ greatly from a standard industrial activity, therefore any noise effects are considered to be no more than minor. The site is currently fully sealed, there could potentially be some dust generated when the proposed building is constructed the applicant has stated that the dust would be watered down if there are any dust issues. The proposed activity does not typically generate any offensive odour or fumes. The general operating hours for the trading warehouse is 7am to 4.30pm and the site is surrounded by other industrial activities which are not sensitive to light spill effects. Overall any potential noise, dust and odour effects are considered to be no more than minor.

#### Traffic Safety and Efficiency

- The proposed activity would provide 11 on-site car parks and also loading spaces for the delivery trucks. The Council's Consultant Traffic Engineer has reviewed the application and finds that the proposed parking plan providing 11 parks meets the District Plan requirement of seven. The warehouse is positioned in the corner of the site and allows for easy loading. Council's Consultant Traffic Engineer finds that the proposal complies with loading and access permitted activity conditions, and that there are no safety concerns for vehicles manoeuvring to and from the site. I concur with these comments and find any effects on traffic safety and efficiency to be no more than minor.

#### Contamination Effects

- There is a consent notice on the certificate of title that identifies historical contaminants from the previous Petone Gas Works activity on the site. The consent notice draws attention to a Pattle Delamore and Partners Ltd (PDP) report which concludes that in its current state the site is suitable for an office building and warehouse among other uses provided the soil is not exposed. The construction of the warehouse would involve removal of the sealed area where the building would be constructed and would expose contaminated soil to the construction workers.
- It is considered appropriate to provide special management procedures when construction is taking place. The applicant has stated that construction practices will be in accordance with OSH Health and Safety Model Site Health and Safety Plan, and that this would provide similar information to a 'site management plan' as required in the consent notice. The applicant is happy with a condition of consent to require this 'site management plan'. Overall any effects on the wider environment are considered to be limited as the site management plan will specifically control the method of excavation and limit the risk to workers of exposure to contaminated soil. The proposed use is considered to be consistent with the intent of the consent notice and any effects associated with the contaminated site are considered to be no more than minor.

Council is therefore satisfied that, overall, the adverse effects of the activity on the environment will be minor and public notification is not required by the Act.

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*Who may be adversely affected by the activity?*

In accordance with s94 of the Act Council has considered if the proposed activity could adversely affect any persons. In forming the opinion as to who may be adversely affected, under s94B of the Act, Council has disregarded any adverse effect on any person, where the plan permits an activity with that effect.

Council considers that, for the purposes of making a decision under section 94(2) that no parties are considered to be adversely affected by the proposal.

No other parties were considered to be adversely affected by the proposal for the following reasons:

- The proposed building and use of the open yard area is consistent with an industrial use of the site, the potential movements to and from the site would not be highly visible due to the limited view shaft along the two driveway areas. The existing building on the front of the site provides considerable screening from the street. Any potential noise is considered to comply with the District Plan noise, dust and odour rules. The site management plan is considered to adequately manage the potential risk of contaminated soil becoming airborne or being deposited on adjoining sites.

*Have all persons who may be adversely affected by the activity given their written approval?*

No parties are considered to be adversely affected by the proposal.

*Do special circumstances exist?*

Council has concluded that there are no special circumstances that require the application to be notified under section 94C (2) of the Act.

*Conclusion*

Council may consider the application without it being notified.

## 6 Determination of the application

Section 104 of the Act requires that when considering an application for resource consent that, subject to Part II of the Act, the Council must have regard to:

- *Any actual and potential effects on the environment of allowing the activity;*
- *Any relevant provisions of a national policy statement, a New Zealand coastal policy statement, a regional policy statement or proposed regional policy statement and a plan or proposed plan;*
- *Any other matter the consent authority considers relevant and reasonably necessary to determine the application.*

Section 104B which relates to the determination of Discretionary Activities states:

- *After considering an application for a resource consent for a discretionary activity or non-complying activity, a consent authority –*



Contact: *Jeremy Brophy*  
Division: *Environmental Consents*  
Telephone: 570 6753  
Facsimile: (04) 570 6799  
Email: *jeremy.brophy@huttcity.govt.nz*  
Our Reference: RM20-B40-40

3 July 2009

Cuttriss Consultants Limited  
PO Box 30429  
LOWER HUTT 5040

Attention: Sarah Clarke

Dear Madam,

**RESOURCE CONSENT APPLICATION (RM090213) - ESTABLISHMENT OF A TRADING WAREHOUSE (HUMES PIPE SYSTEMS) AT 40 BOUVERIE STREET, PETONE.**

**1 Decision**

On 05 June 2009, the applicant sought consent under the Resource Management Act 1991 ("the Act") to establish a trading warehouse (Humes Pipe Systems) at 40 Bouverie Street Petone (being legally described as: Lot 2 DP 87775). The proposal is considered to be a 'trading warehouse' which is a discretionary activity within the General Business Activity Area of the City of Lower Hutt District Plan. Acting under delegated authority from the Hutt City Council, we advise you that the following decisions have been made:

- Council considered the application without it being notified.
- Council **GRANTED** the application on 3 July 2009 subject to the following conditions:
  1. That the development be substantially in accordance with the information submitted with the application and held on Council File RM20-B40-40 (Drawings prepared by CGM Architects Ltd, labelled DWR A 2000b, REV A; Kiwispan job no We1209, sheet no WD 01, 02 & 03).
  2. The consent holder shall contact the Council's Environmental Enforcement Team on (04) 560 1044 or emailed at [enforcement@huttcity.govt.nz](mailto:enforcement@huttcity.govt.nz) at least 48 hours prior to any physical work commencing on the site and advise the following:

- The date the work shall commence;
- The name of the contractor and their contact details including phone number and postal address; and



- 
- If earthworks form part of the consent application, the contact details who will carry out the earthworks.
3. Once construction work commences a copy of this resource consent decision shall be available on site for the duration of the works and made available upon request.
  4. The consent holder shall provide an environmental site management plan prepared by a suitably qualified environmental scientist (as described in the PDP report in consent notice B679705.1) to provide management control whilst the proposed warehouse building is being constructed. The site works particularly when the foundations works are being undertaken could potentially loosen or create dust or vapours that may be contaminated. The environmental site management plan shall be submitted to Team Leader Resource Consents to be approved in writing prior to any work being undertaken on the site.
  5. All excavation works on site shall be carried out in accordance with the approved 'environmental site management plan' to ensure the safety of workers on site and adjoining sites from potentially contaminated soils.
  6. All unwanted material shall be disposed at a Hutt City Council approved landfill.
  7. The consent holder shall ensure that the construction works are managed in a manner to ensure that there are no dust emissions occur beyond the boundary of the site.

## **2 Reasons why consent has been granted**

Consent is granted for the following reasons:

- Any environmental effects are considered to be no more than minor subject to specific conditions of consent.
- Council's Consultant Traffic Engineer has reviewed the application and finds that the proposal meets the transport chapter rules of the District Plan, as such can support the proposal.
- No parties are considered to be adversely affected by the proposal.
- Due regard has been given to the provisions of the District Plan and the proposal is consistent with the relevant objectives and policies.
- Due regard has been given to any national policy statement, the New Zealand Coastal Policy Statement, any regional policy statement or proposed regional policy statement, and any other matters council considers relevant and

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reasonably necessary to determine this application, and deemed that there are no matters of particular relevance or concern that are required to be addressed.

### **3 The Proposal**

The applicant wishes to establish and operate a trading warehouse at 40 Bouverie Street, Petone. The trading warehouse is "Humes Piping Systems" who specialise in distributing and manufacturing products and systems for managing water and other utilities. The development of the site includes construction of a new building containing a warehouse, office, staff room and cement store and would have a total footprint area of 320m<sup>2</sup> and a maximum height of 7.5m. The building would be positioned in the southern corner of the site. The open yard area would be utilised for staff parking, truck loading and storage of bulk goods. The business would employ six staff, and it is expected that approximately 10 to 15 customers would visit the site per day. There would be approximately 10 - 12 deliveries and pickups to and from the site each day, no products are manufactured on the site. The applicant states that two signs would be established on site, both would meet the permitted activity conditions for signage.

### **4 The Site**

The proposed activity would lease a portion of the site at 40 Bouverie Street. The area is currently sealed and has perimeter fencing with large blue pipe gates on the north eastern driveway access. There is an existing 'L' shaped building on the remainder of the site which is co-occupied by; forklift hire/sales, commercial door sales, printing supply & services and the Ministry of Fisheries. The site is completely surrounded by sites within the General Business Activity Area, these adjoining sites are industrial in nature.

The site has a consent notice listed on the certificate of title that recognises contamination on the site as a result of a historical use. There are no other restrictions listed on the certificate of title that would affect the proposal and there are no special notations in the District Plan (i.e heritage buildings or protected trees).

### **5 The Plan**

The appropriate planning instrument for assessing the proposed activity is the City of Lower Hutt District Plan ("the Plan"). The site is within the General Business Activity Area and the relevant rules are contained in Chapter 6A.

The proposed activity fails is considered to be a "Trading Warehouse" which is a discretionary activity under the rule listed below:

*Rule 6A 2.4(h) Trading Warehouses*

Comments: The proposed "Humes Piping Systems" business stores and distributes large bulky products such as concrete pipes to construction companies and not the general public, and is considered a Trading Warehouse.

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considered to maintain the amenity values and character of the area. The proposed building is considered to be consistent with the above objective and policy.

Pursuant to section 104 (1) (b) it has also been determined that no Regional Plan or Regional Policy Statement will affect this application. It is also considered the application is in accord with the objectives and policies of the District Plan.

### ***Regional Policy Statements***

Pursuant to section 104 (1) (b) it has been determined that there are no relevant Regional Plan or Regional Policy Statements which will affect this application.

### ***Part II Matters***

It is considered the proposal meets Part II Matters of the Resource Management Act 1991 for the aforementioned reasons. The proposal is considered consistent with sections 5(2) (c); *"Avoiding, remedying, or mitigating any adverse effects of activities on the environment"*, section 7(c) *"The maintenance and enhancement of amenity values"* and section 7(f) *"The maintenance and enhancement of the quality of the environment"*.

Pursuant to section 108 of the RMA, conditions have been applied to the consent to avoid, remedy and mitigate potential adverse effects the activity may have on the environment.

## **7 Conclusion**

The applicant proposes to establish and operate Humes Piping Systems which is considered a "Trading Warehouse" as defined within chapter 3 of the District Plan. The application has been reviewed by Council's Consultant Traffic Engineer, who supports the proposal subject to condition of consent.

It is considered that, subject to specific conditions of consent, any adverse effects on the environment are no more than minor.

It is considered that the application is in accordance with the relevant objectives and policies of the District Plan.

In accordance with section 104B, consent is hereby **GRANTED** the application.

## **8 Notes**

- This resource consent is subject to payment of a Development Contribution under the Council's Development and Financial Contributions Policy. The financial contribution has been calculated as being \$2,050.22 (incl GST). The payment of the financial contribution will be required prior to issue of the code of compliance certificate under the building consent.
- Reconsideration of this decision and/or conditions of the resource consent may be sought under section 357 of the Act. Applications for reconsideration should be made

---

to the Council in writing within 15 working days of the date the decision was made. Applications must set out the reasons for the objection and include a review fee of \$600.00

- Plans submitted with the application have only been checked for compliance with the Resource Management Act 1991.
- Any building work associated with the proposed activity should not commence until a building consent has been obtained under the Building Act 2004.
- This resource consent is valid for 5 years from the date it was granted.
- This resource consent is specific to the application received by Council. Any changes to the proposal may require a new resource consent and additional application fee.
- The applicant is reminded that this resource consent is not a licence to create adverse effects. You still have a duty under the Act to avoid, remedy or mitigate adverse effects. Notwithstanding any resource consents held, section 17 of the Act continues to apply and Council will take enforcement action where necessary.
- Council may issue an abatement notice if the conditions of this resource consent are not complied with. Contravention of an abatement notice may incur a fine up to \$200,000.

Yours sincerely



Jeremy Brophy  
Resource Consent Planner

Application Lodged	05/06/09
Further Information required	19/06/09
Further Information received	23/06/09
Decision	03/07/09
Time taken to process application	18 Working Days

Sarah Clarke  
Cuttriss Consultants Ltd  
Ph: 920 2973

-----Original Message-----

**From:** Jeremy Brophy [mailto:Jeremy.Brophy@huttcity.govt.nz]  
**Sent:** Friday, June 19, 2009 5:01 PM  
**To:** Sarah Clarke  
**Subject:** 40 Bouverie Street - contamination

Hi Sarah,

As discussed over the phone this afternoon there is a consent notice on the certificate of title that acknowledges historic contamination on the site, and that excavation or redevelopment of the site (even permitted amounts of earthworks) may require a "site management plan", because earthworks may expose workers to health risks from contact with the soil or inhalation of vapours.

Please provide information detailing the method of constructing the proposed warehouse, and what amount of hard seal would be removed to establish foundations on the site. Please provide an assessment of effects as to whether a "site management plan" is necessary considering the method of foundation design.


Under s88 and 92 the application will be placed on hold until this information is provided.

Regards

---

**Jeremy Brophy**  
Resource Consents Planner  
Hutt City Council  
30 Laings Road  
Private Bag 31912  
LOWER HUTT

DDI + (04) 570 6753  
Fax + (04) 570 6799

 *Please think of the environment... do you really need to print this email?*

**APPLICATION FOR RESOURCE CONSENT  
PURSUANT TO SECTION 88 OF THE  
RESOURCE MANAGEMENT ACT 1991**

<b>Proposal:</b>	<p><b>To establish Humes Pipe Systems. The activity is considered to fit within the Trading Warehouse definition.</b></p> <p><b>No adjoining properties are considered to be affected by the proposal and it is considered that Council could grant consent subject to relevant conditions.</b></p>
<b>Activity Status:</b>	<b>Discretionary</b>
<b>Zone:</b>	<b>General Business</b>
<b>Address:</b>	<b>40 Bouverie Street, Petone</b>
<b>Legal Description:</b>	<b>Lot 1 &amp; 2 DP 87775</b>
<b>Applicant:</b>	<b>Balanced Investments Ltd</b>
	<b>Ref: 27245/Clarke</b>

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## SECTION 1: PROPOSED ACTIVITY

### 1.1 Description of Proposal

This application seeks resource consent to establish Humes Pipeline Systems, on a leased rear portion of 40 Bouverie Street, Petone. The area of the proposed Humes lease is approximately 3100m<sup>2</sup>.

Humes is a company specialising in distributing and manufacturing products and systems for managing water and other utilities primarily in urban environments and roading.

The proposal will involve the construction of a new building containing a warehouse, staff room, offices and a cement store with a total footprint area of 320m<sup>2</sup>. The building will be some 7.5m in height, and will contain a mezzanine level with a further meeting room and an office. This building will be located in the southern corner of the property.

Two accesses will be used over existing vehicle crossings - one involving a right of way over 38 Bouverie Street (Lot 1 DP 87775) directly onto Bouverie Street. The accesses will be 6m wide and the gates to the lease area will be 10m wide. Suitable turning will be available on site for a 24 tonne truck, which is the largest typically picking up and delivering goods to the site.

Car parks will be located near the proposed building, and 11 parks and a loading space are proposed to be provided. The remaining lease area will be used for outdoor storage of mostly concrete products. No screening is proposed of this outdoor storage or parking given the separation distance from North Park and limited views from Bouverie Street.

Six full time staff will work on site weekdays between 7am and 4.30pm and it is expected that approximately 10 -15 customers will visit the site each day, the remainder with enquiries/orders using the 0800 number. There will be between 10-12 deliveries and pickups to and from the site each day. No manufacturing will occur onsite.

Typically activities involving retailing are discouraged within the General Business Activity Area, however this retailing is not predominantly to the public and it is considered that this activity would fit best within the definition of a trading warehouse. The building size and nature of the goods to be sold mean that this activity is better suited to the General Business Activity Area than say the Commercial Activity Area.

Some signage is proposed; this will comply with the requirements for signage listed under 14B2.1.5 and diagrams of the likely signs have been included at appendix 3. One sign will be located at each entry; the pipe style sign will be located at the northwest entrance and the freestanding sign will be located at the north entrance (opposite Mitre 10).

#### Contamination

The application site was part of a site (2.1ha) previously used by Petone Gas Works for Coal Gas manufacturing carried out between 1900-1961.

An investigation in June 1996 found the site to be covered by between 0.2-1.2m of fill containing variable amounts of gas works wastes. Tarry wastes and liquid tar were found in the soil under the car park in the centre of the site. In general, this tarry zone correlated with the formation locations of the gas manufacturing plant, scrubbers and tar wells. Tar liquids have migrated 1 to 2m into the natural ground in this region, but their downward migration below the water table has been halted by impermeable silts. The ground was relatively clean elsewhere on the site, with some local exceptions.

The report notes that further remediation would be required in the event of redevelopment with

a more sensitive use. While this use would not generally be considered to be more sensitive it does involve the removal of concrete to construct the new warehouse building, therefore appropriate precautions will need to be followed in accordance with the Contamination Report and OSH guidelines.

## 1.2 Site Description

The application site is located at 40 Bouverie Street, Petone, a corner site on the inside of a right angle bend in Bouverie Street. Bouverie Street connects to Udy Street to the South and Cuba Street to the East.



The site contains an existing building with a footprint of 2220m<sup>2</sup> and some 59 onsite associated car parks mainly to the rear but also directly off Bouverie Street. The building contains the following activities; forklift hire/sales, commercial door specialists, printing supply & service and Wellington Compliance for the Ministry of Fisheries.

Bouverie Street becomes more residential towards Cuba Street, but otherwise predominantly contains a variety of commercial and retailing activities. A reserve known as North Park is located to the east of the application site some 50m along Bouverie Street.

### Legal Description

The application site is legally described as Lot 2 DP 87775, which has an area of 8700m<sup>2</sup> contained within Certificate of Title WN55C/47.

The application site has a right of way over 38 Bouverie Street, which is legally described as Lot 1 DP 87775, which has an area of 7749m<sup>2</sup> contained within Certificate of Title WN55C/46.

Aside from one consent notice (B67905.1) there are no restrictions on either Certificates of Title which would impact upon the proposal. The consent notice relates to the contamination report mentioned earlier and highlights its overall conclusions to owners and occupiers.

A copy of the Certificates of Title and the consent notice are attached at appendix 1.

## 1.3 Status of Application

The application site is zoned General Business and is not identified as being within the Wellington Faultline Special Study Area, River Corridor or subject to a Designation.

A Trading Warehouse is defined within Chapter 3 of the District Plan, as follows:

*A building used for the storage of bulky goods or materials, and/or for the storage of goods in bulk for sale from the premises and which is appropriately situated in a location peripheral to a main shopping area. Such uses include trade supplies and furniture or carpet warehouses, but exclude uses such as supermarkets and department stores or other retail premises engaged in retailing and/or wholesaling directly to the public rather than to resellers.*

It is considered that the proposal will generally meet this definition given that sales are not predominantly to the public and therefore that the proposal is a discretionary activity under 6A 2.4(h).

In addition to this the applicant does not wish to construct screening in accordance with 6A2.1.1 (n), however the District Plan does not specify that where a discretionary activity does not comply with the permitted activity conditions it then becomes non-complying, so it is considered that this activity will remain discretionary.

### 1.4 Relevant Rules and Standards

DISTRICT PLAN STANDARD	SPECIFICS	COMPLIANCE
<b>6A 2.1</b>	<b><i>Permitted Activity Conditions</i></b>	
a) Minimum Yard Requirements	3m side and 8m rear adjoining residential activity area sites	N/A
b) Setback Requirements	3m adjoining an urupa 20m adjoining a primary/secondary river corridor	N/A
c) Maximum height of buildings and structures	12m except in the Esplanade West Area. 30m in the Esplanade West Area.	Will comply
d) Recession planes	Shall apply adjoining a residential activity area.	N/A
e) Maximum site coverage	100% subject to compliance with the yards and screening requirements, off street car parking, loading and unloading requirements.	Will comply
	That a portion of the site not covered shall be to the rear of the site, for servicing and parking provision.	Complies
f) Dust	All outside areas shall be sealed, surfaced or managed appropriately so that there is no dust nuisance at or beyond the boundary of the site.	Will comply
g) Odour	All activities shall be carried out in such a manner so as to ensure that there is not an offensive odour or fumes beyond the site boundary.	Will comply
h) Light spill and glare	Artificial light shall not exceed 8lux, avoid light spill and glare at the boundary.	Will comply
i) Vibration	All activities that cause vibration shall be managed to ensure that no vibration is discernable beyond the boundary of the site.	Will comply

j) Retail	There shall be no retail activities, with some listed exceptions.	Will not comply but consent sought as a trading warehouse
k) Residential	No residential activities are permitted except where it is necessary to provide living quarters for a caretaker.	N/A
l) Visitor Accommodation	No visitor accommodation is permitted, except in the Esplanade West Area.	N/A
m) Storage Requirements	Must provide an outdoor area for the storage of goods and waste products, clear of vehicle access and manoeuvring parking areas.	Will comply
n) Landscaping and Screening	All outdoor storage and servicing areas must be screened so that they are not visible from a road or public space. Where this is not practicable such areas must be screened by a close-boarded fence (or other solid material) to a minimum height of 1.8m	Will not comply, no screening proposed.
	Where there are 5 or more parking spaces on site, that area is to be screened from the street and adjoining properties by a fence or wall not less than 1.5m in height.	Will not comply, no screening proposed.
<b>Chapter 14</b>		
Separation Distances from an Intersection	Minimum 20m where greater than 20 vehicle movements per hour are expected	Complies
Property access width	Minimum 6m, maximum 9m for a combined entry/exit access.	Complies
Circulation and Manoeuvring	Sufficient internal roading to allow for all necessary movement within the site without the need to use public roads.	Will Comply – including for heavy vehicles
Car parking Requirements	Trading Warehouse 3 per 100m <sup>2</sup> GFA to be provided on site	Will comply
Loading and unloading requirements	1 Loading space taking into account AS2890 "Off-street Parking, Part 2: Commercial Vehicle Facilities (1989)".	Will comply

## 1.5 Other Consents

No other Resource Consents are required in respect of this activity.

## SECTION 2: NOTIFICATION ANALYSIS & CONSULTATION

### 2.1 Section 93 and 94A Analysis

Section 93 specifies that applications must be notified unless:

- The application is for a controlled activity
- The consent authority is satisfied that the adverse effects of the activity on the environment will be minor

In determining whether the adverse effects on the environment will be minor or more than minor section 94A states that a consent authority

- May disregard an adverse effect of the activity on the environment if the plan permits an activity with that effect (termed permitted baseline effects); and
- For a restricted discretionary activity, must disregard an adverse effect of the activity on the environment that does not relate to a matter specified in the plan for which discretion is restricted for the activity; and
- Must disregard any effect on a person who has given written approval to the application

The effects of the proposal are considered to be minor and therefore it is considered that public notification of this application is not warranted for the following reasons:

- The location of this business with a minor retailing component will not compromise the strength, vitality or integrity of the existing commercial centres.
- The application site does not adjoin any residentially owned sites and is considered to be compatible with other activities at this interface.

In addition to this, we are not aware of any special circumstances under which the application would warrant notification.

## **2.2 Section 94 and 94B Analysis**

Section 94 states that a consent authority must serve notice of the application on all persons who, in the opinion of the consent authority may be adversely affected by the activity, even if some of those persons have given their written approval to the activity.

Section 94B applies when a consent authority forms an opinion as to who may be adversely affected by an activity. According to this section, a person may be treated as not being adversely affected if:

- In relation to the adverse effects of an activity, the plan permits an activity with that effect (permitted baseline effects)
- In relation to a controlled or restricted discretionary activity, a person must not be treated as being adversely affected if the adverse effects of the activity on the environment do not relate to a matter specified in the plan for which control is reserved or discretion restricted
- It is unreasonable in the circumstances to seek the written approval of that person

For all other effects, those effects must be de minimis or minimal on that person for them not be considered an affected party. If the effects on a person are more than de minimis but they have provided their written approval, the consent authority is still obliged to serve notice in the form of a limited notified process, on that person.

The application site adjoins only one property at 38 Bouverie Street (Lot 1 DP 87775) which is L-shaped and surrounds the application site. The lease for the proposed activity involves the use of the existing right of way over the adjoining property at 38 Bouverie Street; therefore this property is considered to be part of the application site.

## **SECTION 3: ASSESSMENT OF ENVIRONMENTAL EFFECTS**

### **3.1 Matters to Consider**

The following documents and statutory provisions are relevant to this application:

- Section 104 of the Act - Potential or Actual Effects
- Objectives and Policies of the Lower Hutt City District Plan
- Part II of the Resource Management Act

### 3.2 Section 104 of the Act – Actual or Potential Effects

A consent authority must, subject to Part II of the Act, have regard to the actual and potential effects on the environment of allowing the proposed activity. When considering an application, the consent authority must not have regard to any effect on a person who has given written approval to the application.

The relevant potential effects in respect of this application are considered to be:

- Visual Effects
- Noise Effects
- Dust Effects
- Odour Effects
- Light Spill/Glare Effects
- Traffic Effects

#### **Permitted Baseline**

The tests for the use of the permitted baseline are:

<b>Test</b> ( <i>Lyttleton Harbour Landscape Protection Inc. v. Christchurch City Council</i> )	<b>Response in relation to this proposal</b>
Will using the permitted baseline be helpful in assessing the significance of the adverse effects?	Yes
Does the plan provide for a permitted activity or activities from which a reasonable comparison of adverse effect can conceivably be drawn?	Yes
Is a permitted activity with which the proposal might be compared as to adverse effect nevertheless so different in kind and purpose within the plan's framework that permitted baseline ought not to be invoked?	No
Might application of the baseline have the effect of overriding Part II of the RMA?	No

Any activity is permitted within the General Business Activity Area provided it is able to meet the Permitted Activity Conditions and is not listed as a Controlled through to Non-complying Activity.

A comparable permitted activity would be a large industrial warehouse used for manufacture, packing and storage of goods with a retail component of goods produced on site.

The staffing requirements might be similar or could potentially involve a greater number of staff, with all car parking (at a ratio of 1.5 per staff member) and a single loading space accommodated on site. The level of pick up and delivery could be similar to distribute the goods manufactured to point of sale compared with pick up and delivery associated with the Humes operations.

In addition to the bulky nature of the goods stored in the yard could be similar and a building of a similar size and form could potentially be associated with the industrial warehouse.

#### **Visual Effects**

The proposed activity will be located to the rear of an existing building which has a landscaped frontage. Access will be via two existing vehicle crossings onto separate parts of Bouverie Street.

Currently the boundaries of the rear part of the overall site (leased area) have a chain link fence around them. The District Plan requires that where a site is able to be viewed from a road or public space that outdoor storage areas and greater than 5 parking spaces be screened by a close boarded fence with a minimum height of 1.8m.

The lease area can be viewed from Bouverie Street via the existing vehicle access at either end of the building and also from North Park, however it is not considered that screening need be provided from this reserve given that there is a 50m separation between the sites and that any view of the proposed activity would be partially obscured by buildings and activities on the intervening site.

In addition to this there are not many practical positions for fencing for screening, given that the main chain link gates both 10m wide will be open during the day so even if the bottom part of these was changed to screen it would only be partially effective.

The two points on the road where the lease area can be viewed are only approximately 14m wide to the North and 20m to the Northwest, which represents 20% of the overall 186m frontage. Therefore only a fleeting glimpse of the site will be possible to passers-by.

Otherwise the developed lease area will appear similar to typical general business activities and buildings. Given the permitted baseline of visual effects it is considered that the potential visual effects beyond the baseline resulting from the proposal will be minor.

### **Noise Effects**

The District Plan specifies noise levels for Bouverie Street, being a maximum of  $L_{10}$  55dBA between 7am-10pm and  $L_{10}$  45dBA between 10pm to 7am, with an  $L_{max}$  75 dBA (specified for all zones under 14C 2.1).

Noise will be generated from vehicles, people and some machinery. It is not proposed to manufacture products on site; this will reduce the potential noise effects that could otherwise be generated by such an activity. In addition to this the nearest residential dwelling is some 90m away along Bouverie Street.

It is considered that the noise effects will be similar to or less than other activities which could occur on site as a permitted activity.

### **Dust Effects**

The permitted activity condition for Dust states that all outside areas shall be sealed, surfaced or managed appropriately so that there is no dust nuisance at or beyond the boundary of the site.

For the most part the application site is sealed and will remain so, except for the area where the building will be constructed. There will be potential for dust during the construction of the new building; this will be mitigated as necessary by wetting down any exposed areas.

### **Odour Effects**

The permitted activity condition for Odour states that all activities shall be carried out in such a manner so as to ensure that there is not an offensive odour of fumes at or beyond the site boundary.

The applicant will ensure that any odours or fumes associated with the proposal will be appropriately mitigated on site.

### **Light Spill/Glare Effects**

The application site does not adjoin any residential property and any security lighting will be designed so that no glare or spill occurs to adjoining properties.

Overall these effects are not considered to be relevant as Humes will generally work within the hours of 7am and 4.30pm on weekdays, when it is not yet dark.

### **Traffic Effects**

Given the permitted baseline of traffic effects which would allow for a large industrial warehouse for manufacturing, packing, storage and sale of goods mentioned earlier, it is considered that there would be no traffic effects above this baseline which require consideration here.

As indicated previously the applicant estimates (based on other Humes operations elsewhere) that some 10-15 customers would visit the site each day. This would total approximately 20-30 additional vehicle movements.

There is sufficient space on site to accommodate visitor parking clear of any manoeuvring or loading zones. The applicant estimates (based on other Humes operations elsewhere) that 4 would be the maximum number of car parks required at any one time for customers (relating to sales).

Bouverie Street is some 16-20m in width and is considered to have sufficient capacity to accommodate the additional vehicle movements. The vehicle crossings onto Bouverie Street are existing and under this proposal they will be shared with the existing building occupiers utilising them. The vehicle crossings have good visibility and are not located close to an intersection.

Therefore I consider that there will be no potential traffic effects above those included within the permitted baseline.

### **3.3 Objectives and Policies of the District Plan**

The relevant objectives and policies in respect of this application are considered to be:

#### **6A 1.1 Local Area Issues**

**Objective** To accommodate those non-industrial activities which are suitable in the General Business Activity Areas and which do not cause adverse effects on amenity values of the area and the receiving environment.

#### **Policies**

- a) Accommodate those commercial activities which provide a local service for the work force in the same area.
- b) Accommodate commercial recreational activities which are appropriate within the General Business Activity Area and which are compatible with the surrounding area.
- c) Accommodate certain retail activities which are compatible with other activities of the General Business Activity Area and do not undermine the strength, vitality and viability of commercial activity areas.
- d) That the accommodation of non-industrial activities avoids or mitigates adverse effects on the amenity values of the area and the environment.

The proposal does not directly include any local services for the work force existing in the area. The proposal is for a non-industrial activity in that there is a small component of retailing involved; however this commercial activity would not fit well within the Central, Suburban, Special or Petone Commercial areas given the bulky specialist products on sale.

### 6A 1.1.3 Environmental Effects

**Objective** To avoid or mitigate adverse effects on amenity values of the area and neighbouring areas and the receiving environment.

#### **Policies**

- a) That effects likely to be generated by each activity, such as noise, dust, odour and traffic are managed to avoid or mitigate adverse effects on the amenity values and character of both the General Business Activity Area and interface areas.
- b) That effects likely to be generated by each activity are managed to avoid or mitigate any adverse effects causing harm or damage to the receiving environment.

These effects are considered under Section 3.2 of this application, where it is concluded that these potential effects of the activity will be minor.

It is my opinion that the Trading Warehouse style activity as proposed will not be inconsistent with the above objectives and policies of the District Plan.

### **3.4 Part II of the Resource Management Act**

Section 5 seeks to promote the sustainable management of natural and physical resources.

“Sustainable Management means managing the use, development and protection of natural and physical resources in a way, or at a rate, which enables people and communities to provide for their social, economic, and cultural wellbeing and for their health and safety while –

- a) Sustaining the potential of natural and physical resources to meet the reasonably foreseeable needs of future generations
- b) Safeguarding the life-supporting capacity of air, water, soil and ecosystems; and
- c) Avoiding, remedying, or mitigating any adverse effects of activities on the environment.

The assessment of the proposal against sections 6, 7 and 8 of the Resource Management Act help determine the extent to which the activity achieves the purpose and principles set out in section 5 of the Act.

#### **Section 6 – Matters of National Importance**

Section 6 of the Resource Management Act seeks to protect sites or features which have archaeological, natural, geological, or cultural national significance.

The application site is not within the coastal environment, it does not contain a wetland, lake or river, and it is not on the margin of any of these.

The application site is not an outstanding natural feature or landscape and it does not contain any areas of significant indigenous vegetation or habitats of any indigenous fauna.

The application site has not been identified as having any particular cultural or historic significance.

Therefore it would be appropriate to consider that there are no particular matters of national importance which are relevant to this application or that need to be considered in further depth as part of this assessment.

#### **Section 7 – Other Matters**

Section 7 of the Resource Management Act requires consideration be given to whether the development is an efficient use of a finite resource. It also seeks to protect amenity and intrinsic values and the overall quality of the environment.

Particular regard must be had to the maintenance and the enhancement of amenity values. Under Section 3.2 of this report amenity under various heading is discussed in more detail.

### Section 8 - Treaty of Waitangi

Section 8 of the Resource Management Act requires applications take into account the principles of the Treaty of Waitangi.

The application site has not been identified as having any particular cultural or historic significance. It would therefore be appropriate to consider that there are no particular principles of the Treaty which are relevant to this application or that need to be considered in further depth as part of this assessment.

## SECTION 4: ALTERNATIVE LOCATION & METHODS

Schedule 4 requires that an assessment of effects on the environment of an activity must include a description of possible alternative locations or methods for undertaking an activity, if that activity will result in significant adverse effects on the environment.

It is considered that any effects of this proposal will be minor. Therefore it is not considered necessary to examine alternative locations or methods to undertake this proposal.

## SECTION 5: MONITORING

It is anticipated that Council will monitor the conditions of this consent as part of the statutory process.

It would be greatly appreciated if Council could provide draft conditions before issuing this consent.

## SECTION 6: CONCLUSION

This application seeks to establish Humes at the rear of an existing building at 40 Bouverie Street, Petone. ?

NEW?

The application is for a trading warehouse style activity as it is considered that the proposed activity fits with the intent of the (District Plan) definition and is therefore a Discretionary Activity under 6A 2.4.

Overall the effects of the proposal are considered to be minor against those of the permitted baseline. Therefore it is considered that Council could grant consent subject to relevant conditions.

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Report Prepared by



Sarah Clarke  
Senior Resource Management Planner  
**Cuttriss Consultants Ltd**

**On behalf of Balanced Investments Ltd**

***INDEX TO APPENDICES***

1. Certificates of Title and Consent Notice
2. Photographs
3. Plans
4. Contamination Report

# **APPENDIX 1**

## **Certificates of Title and Consent Notice**

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**COMPUTER FREEHOLD REGISTER  
UNDER LAND TRANSFER ACT 1952**



**Search Copy**

  
R. W. Muir  
Registrar-General  
of Land

**Identifier** **WN55C/46**  
**Land Registration District** **Wellington**  
**Date Issued** 25 November 1999

**Other References**  
N53A/958

---

**State** Fee Simple  
**Area** 7749 square metres more or less  
**Legal Description** Lot 1 Deposited Plan 87775  
**Proprietors**  
Hutt City Council Limited

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**Interests**  
79705.1 Consent Notice pursuant to Section 221(1) Resource Management Act 1991 - 13.8.1998 at 3.55 pm  
subject to a water drainage right over parts marked Y and Z on DP 87775 specified in Easement Certificate  
79705.3 - 13.8.1998 at 3.55 pm  
The easements specified in Easement Certificate B679705.3 are subject to Section 243 (a) Resource Management  
Act 1991  
subject to a right to drain water (in gross) over part marked X on DP 87775 in favour of The Hutt City Council  
created by Transfer B679705.4 - 13.8.1998 at 3.55 pm  
The easements created by Transfer B679705.4 are subject to Section 243 (a) Resource Management Act 1991  
subject to a right of way over parts marked A, B and Z on DP 87775 created by Transfer B756747.2 - 25.11.1999  
at 11.05 am  
The easements created by Transfer B756747.2 are subject to Section 243 (a) Resource Management Act 1991  
The appurtenant hereto is a right of way created by Easement Instrument 7820389.3 - 20.5.2008 at 9:00 am



**COMPUTER FREEHOLD REGISTER  
UNDER LAND TRANSFER ACT 1952**



*R. W. Muir*  
Registrar-General  
of Land

Search Copy

**Identifier** **WN55C/47**  
**Land Registration District** **Wellington**  
**Date Issued** 25 November 1999

**Prior References**  
N53A/957                      WN53A/958

**State** Fee Simple  
**Area** 8700 square metres more or less  
**Legal Description** Lot 2 Deposited Plan 87775

**Proprietors**  
McCombie Gieck Family Trust No. 2 Nominees Limited

**Interests**  
579705.1 Consent Notice pursuant to Section 221(1) Resource Management Act 1991 - 13.8.1998 at 3.55 pm  
appurtenant hereto is a water drainage right as specified in Easement Certificate B679705.3 - 13.8.1998 at 3.55 pm  
(affects part formerly CT WN53A/957)  
The easements specified in Easement Certificate B679705.3 are subject to Section 243 (a) Resource Management Act 1991  
appurtenant hereto are rights of way created by Transfer B756747.2 - 25.11.1999 at 11.05 am  
The easements created by Transfer B756747.2 are subject to Section 243 (a) Resource Management Act 1991  
subject to a right to convey electricity (in gross) over part marked W on DP 87775 in favour of (now) Vector Wellington Electricity Network Limited created by Transfer B756747.5 - 25.11.1999 at 11.05 am  
05072.3 Mortgage to (now) Westpac New Zealand Limited - 23.12.2005 at 9:00 am  
subject to a right of way over part marked A on DP 394057 created by Easement Instrument 7820389.3 - 20.5.2008 at 9:00 am



Approved as to Survey by  
 UNITED NETWORKS LIMITED  
 by its Attorney SIMON DOUGLAS  
 WHITE of Auckland *Simon Douglas*

REGISTERED PROPRIETORS  
 I HEREBY CERTIFY THAT THIS PLAN WAS APPROVED BY THE HUTT CITY COUNCIL PURSUANT TO SECTION 223 OF THE RESOURCE MANAGEMENT ACT 1991 ON THE 11th DAY OF FEBRUARY 1999 SUBJECT TO THE GRANTING OR RESERVING OF THE EASEMENTS SET OUT IN THE MEMORANDUM HEREON AND FOR THE PURPOSES OF SECTION 224(2) RESOURCE MANAGEMENT ACT 1991 THAT ALL OF THE CONDITIONS OF THE SUBDIVISION CONSENT HAVE BEEN COMPLIED WITH TO THE SATISFACTION OF THE SAID COUNCIL.

*MWA*  
 GENERAL LEGAL COUNSEL

MEMORANDUM OF EASEMENTS

PURPOSE	SHOWN	SERVIENT TENEMENT	DOMINANT TENEMENT
R.O.M	A, B, Z	LOT 1	LOT 2
	C	LOT 2	LOT 1

SCHEDULE OF EXISTING EASEMENTS

PURPOSE	SHOWN	DOCUMENT
WATER DRAINAGE	Y, Z	E/G 8.678705-3
	X	F 8.678705-4

SCHEDULE OF EASEMENTS

PURPOSE	SHOWN	SERVIENT TENEMENT	GRANTEE
ELECTRICITY	W	LOT 2	UNITED NETWORKS LIMITED.

NEW CT. ALLOCATED  
 LOT 1 - 533/156  
 LOT 2 - 533/161

NOTE - WITHIN LAND IS SUBJECT TO CONSENT NOTICE 8679705-1 UNDER SECTION 22(1) RESOURCE MANAGEMENT ACT 1991.

Total Area: 1.6440 ha

Comprised in All C.T. 53A/257 & 53A/258

I, BRETT DOUGLAS GAWN, Registered Surveyor and holder of a current practicing certificate for who may act as a registered surveyor pursuant to section 25 of the Survey Act 1981 hereby certify that this plan has been made from surveys conducted by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof, Dated at Wellington, this 11th day of FEB 1999 of *Simon Douglas* Signature *Simon Douglas*

Field Book 6476, p.95-101, Inverse Book 494, p.112-114  
 Reference Plans: DP 226 262, DP 72699, DP 6303, C.T. 44 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

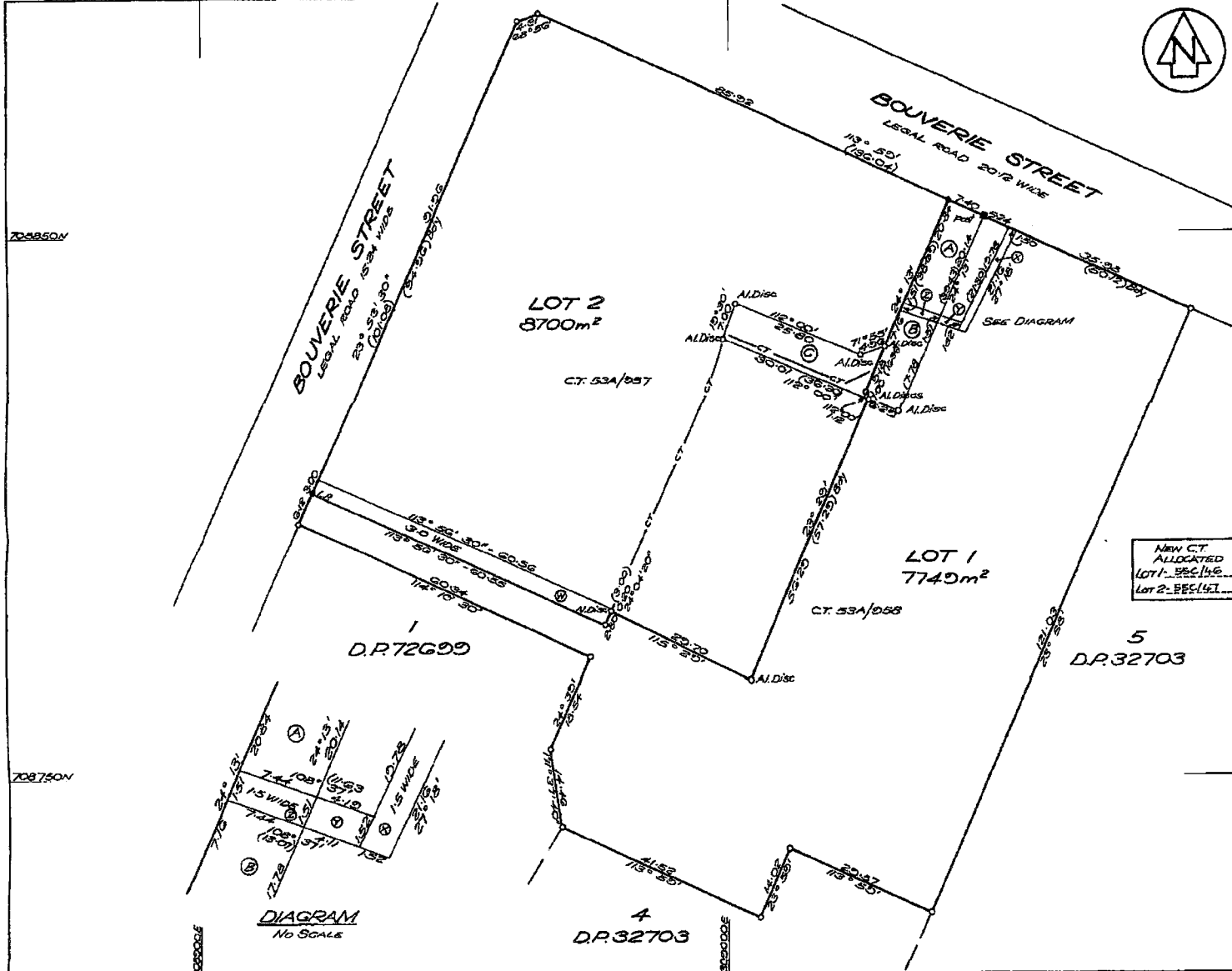
Approved as to Survey  
 17/11/1999  
 Deputy Chief Surveyor  
 day of November 1999

for Registrar General of Land  
 File 328/1999  
 Received at 01/11/1999  
 Instructions

87775

Z08850V

Z08740V



LAND DISTRICT WELLINGTON  
 SURVEY BLK. & DIST. XIII BELMONT  
 NZMS 261 SHT RECORD MAP No

LOTS 1 & 2 BEING SUBDIVISION OF  
 LOTS 1 & 2 DP 85303

TERRITORIAL AUTHORITY HUTT CITY  
 Surveyed by TSE GROUP LTD  
 Scale 1:500 Date FEB 1999

ALL BEING SURVEYOR GENERAL LAND INFORMATION, NEW ZEALAND.

# **APPENDIX 2**

## **Photographs**

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Photo 1: The site viewed looking Southeast through existing gates off Bouverie Street.



Photo 2: Existing building showing gated right of way entrance (opposite Mitre 10), looking Northwest along Bouverie Street.



Photo 3: Visibility looking North along Bouverie Street from vehicle crossing.

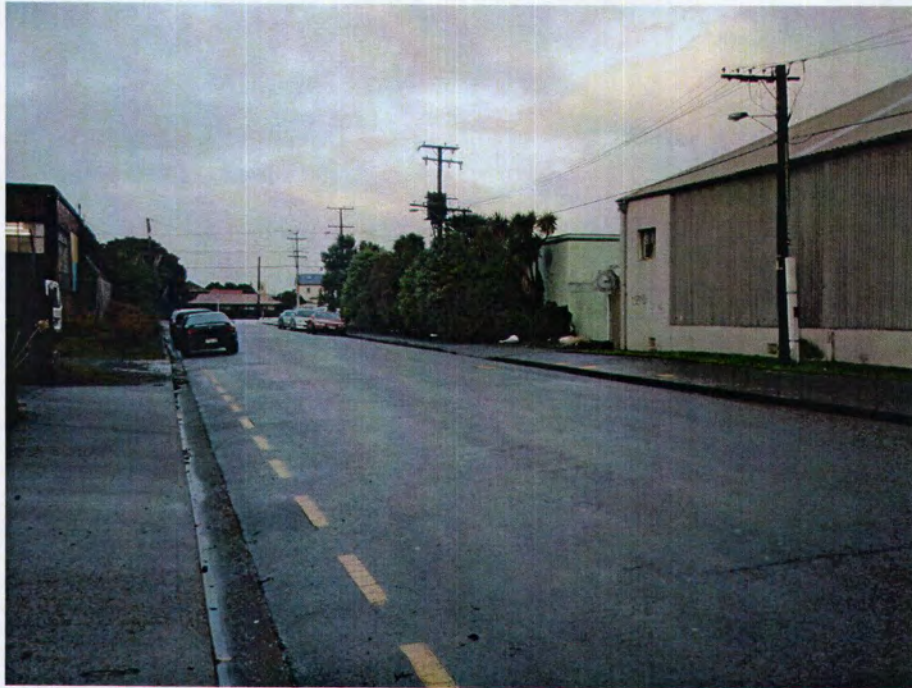


Photo 4: Visibility looking Southwest along Bouverie Street.

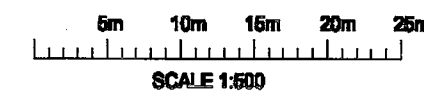
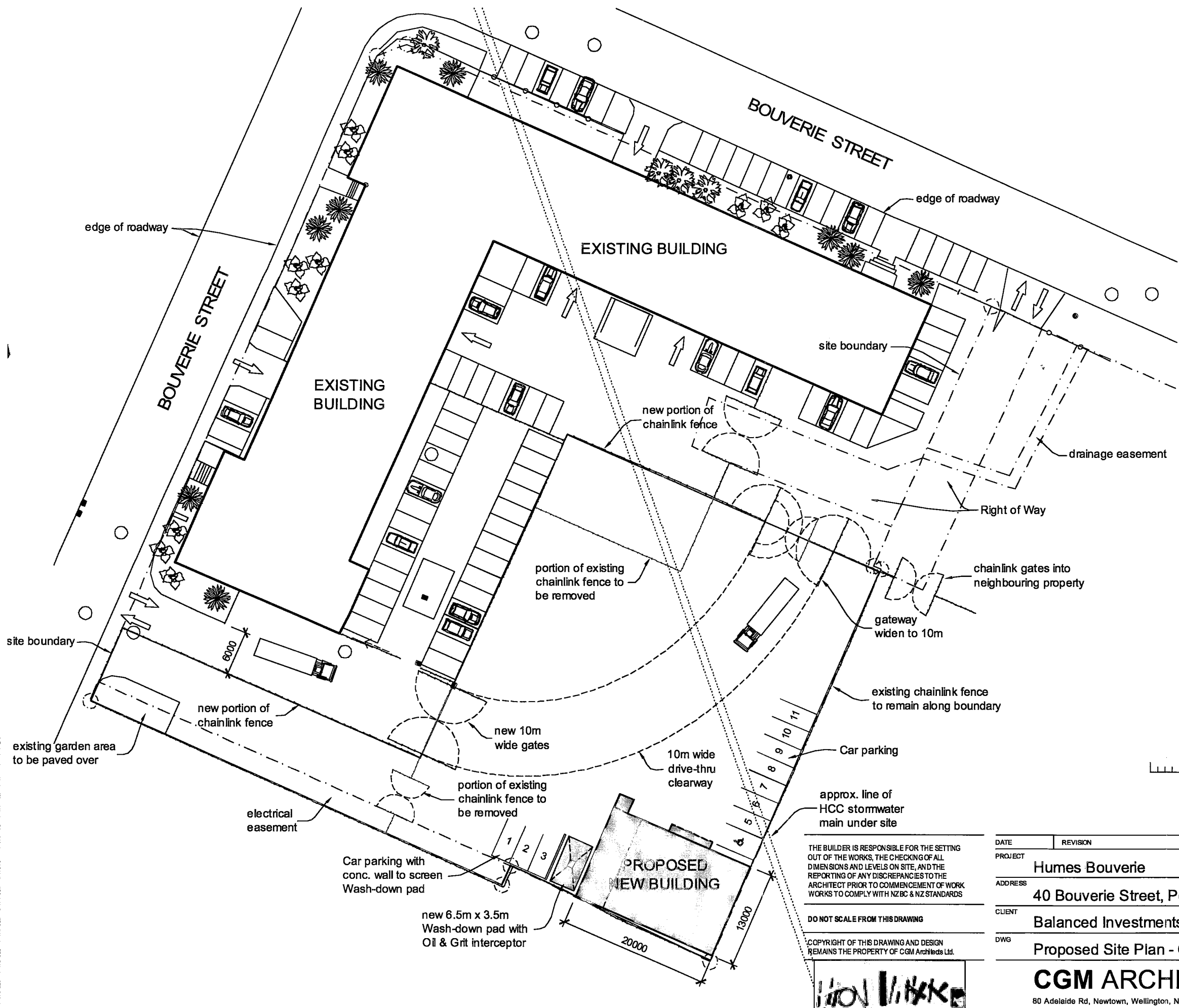
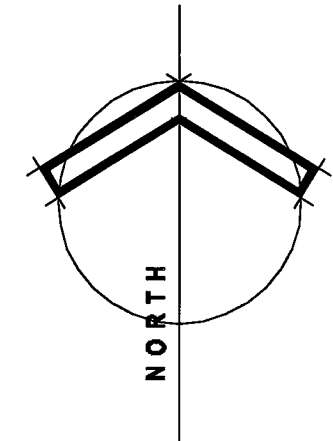


Photo 5: Vehicle crossing on to Bouverie Street heading towards intersection with Udy Street. Location of sign, to be similar to the lease sign.

# APPENDIX 3

## Plans

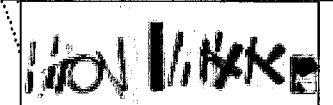
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THE BUILDER IS RESPONSIBLE FOR THE SETTING OUT OF THE WORKS, THE CHECKING OF ALL DIMENSIONS AND LEVELS ON SITE, AND THE REPORTING OF ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK WORKS TO COMPLY WITH NZBC & NZ STANDARDS

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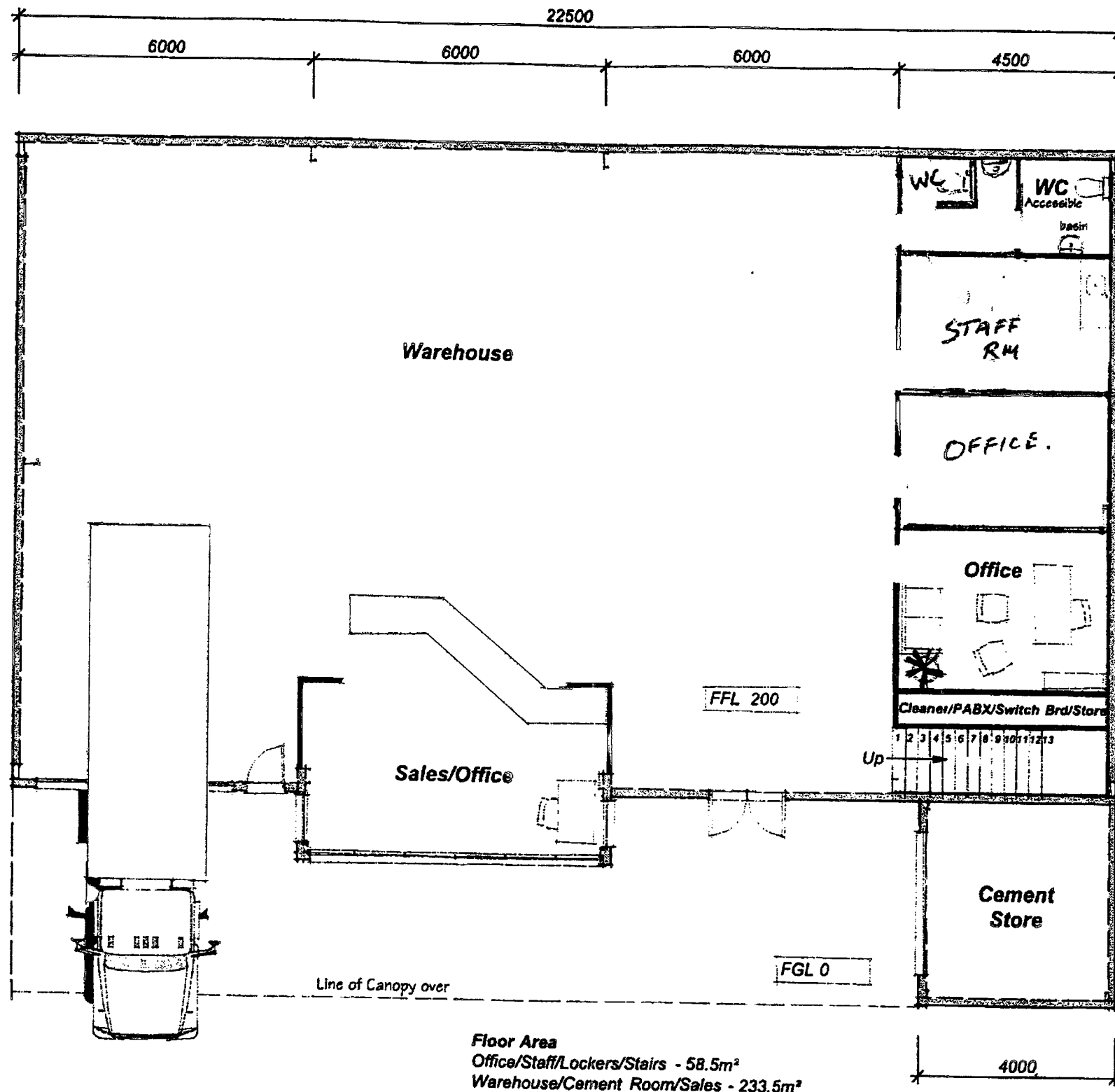


DATE	REVISION
PROJECT <b>Humes Bouverie</b>	
ADDRESS <b>40 Bouverie Street, Petone</b>	
CLIENT <b>Balanced Investments Ltd</b>	PROJECT # <b>0919</b>
DWG <b>Proposed Site Plan - Option 2</b>	DATE: 03.06.2009 SCALE @ A3: 1:500 DRAWN: ADB CHKD: [ ]
REVISION <b>A</b>	

**CGM ARCHITECTS LTD** - NZ Registered Architects

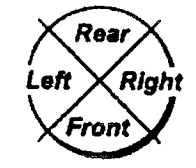
80 Adelaide Rd, Newtown, Wellington, NZ | ph +64 4 3856751 | fx +64 4 3847050 | PO BOX 16019, Newtown, Wellington

G:\CGM Projects\09\0919 Humes Bouverie\CAD\S\Sketch\0919 Humes Bouverie Site Plan



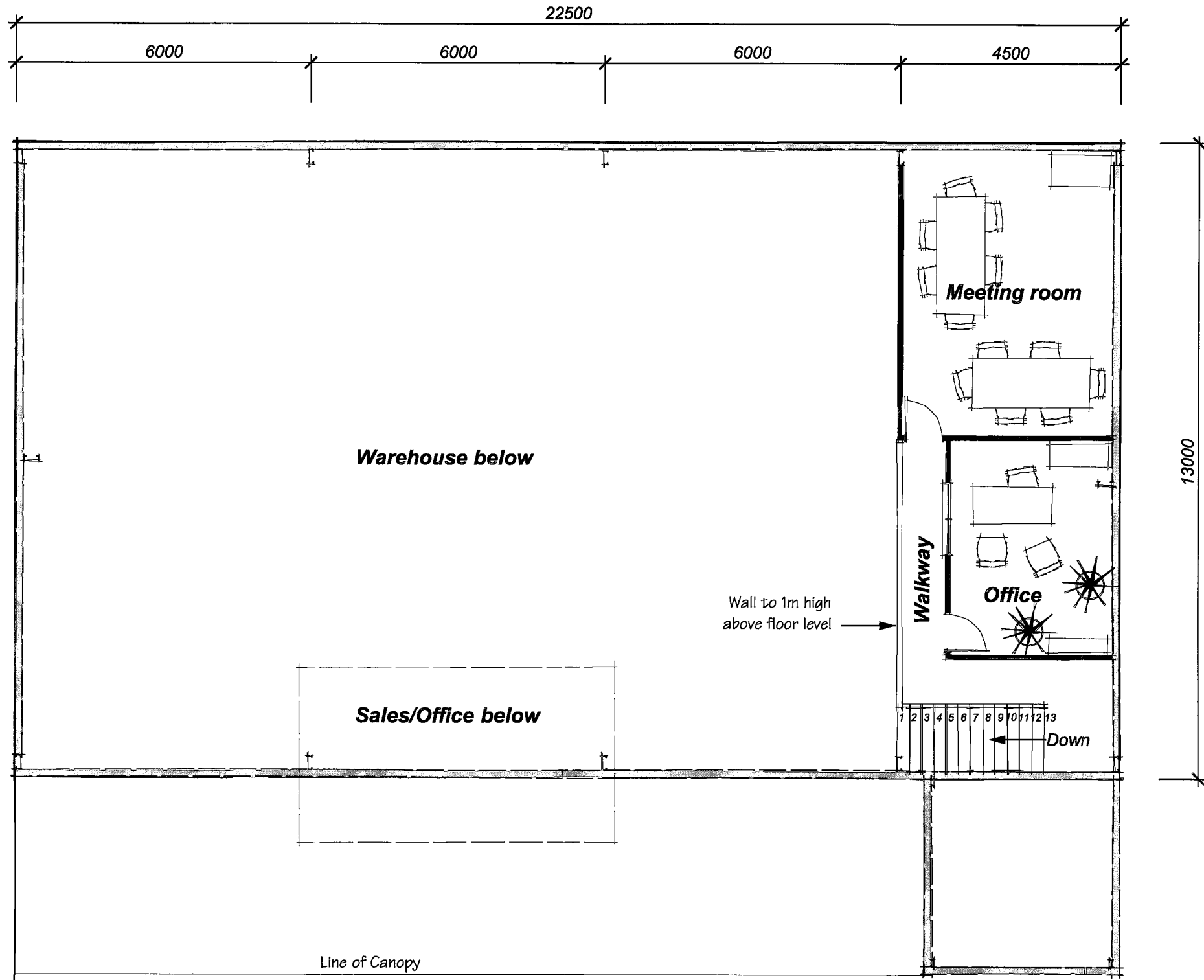
**Floor Area**  
 Office/Staff/Lockers/Stairs - 58.5m<sup>2</sup>  
 Warehouse/Cement Room/Sales - 233.5m<sup>2</sup>

**Elevation Key**



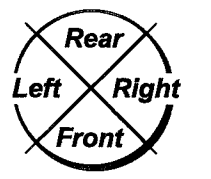
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job no. We1209	<b>Ground Floor Plan</b>		sheet no. WD 01 of 03
			date: 11/05/09
original size <b>A3</b>	Client J Robinson	Address P O Box 3510 Wellington	Scale: 1:100



**Floor Area**  
Including stairs and walkway - 58.5m<sup>2</sup>

**Elevation Key**



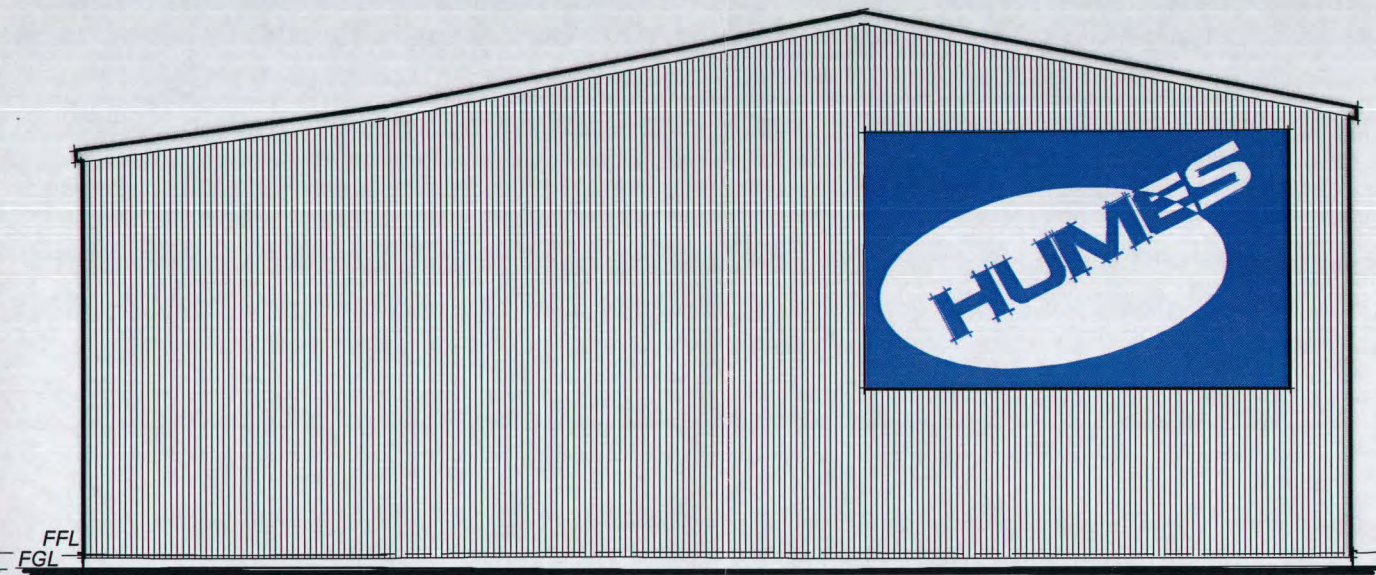
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job no. We1209	<b>First Floor Plan</b>		sheet no. WD 02 of 03
original size <b>A3</b>			Client J Robinson

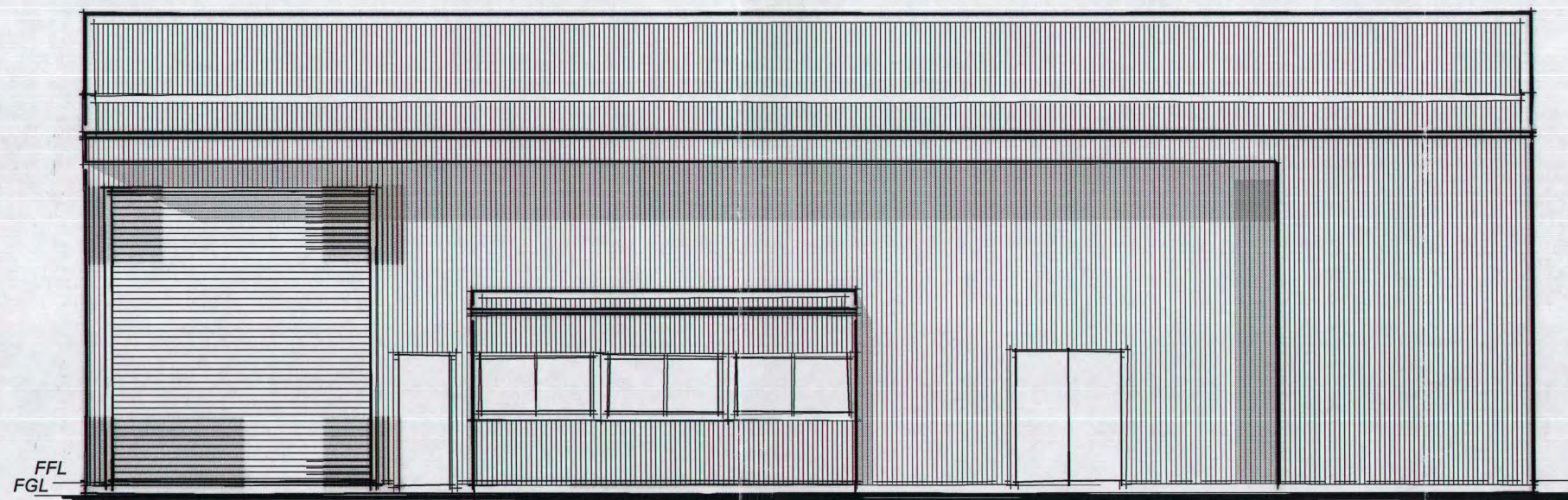
**www.KiwiSpan.co.nz**  
Buildings for the future



**Left Elevation**



**Right Elevation**



**Front Elevation**

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job no. We1209	<b>Elevations</b>		sheet no. WD <b>03</b> of 03
			date: 11/05/09
original size <b>A3</b>	Client J Robinson	Address P O Box 3510 Wellington	scale: 1:100





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2 Off for Dargaville

10mm Signex Panels: Paint Resene Humes Blue  
 Logo Humes: White and 3M Vivid Blue  
 Logo Firth: White Text Black Arrow with Yellow and Red Underlines  
 Text: White

1 Off for Puketona

D/S Free Standing Plinth Sign  
 10mm Signex Panels on Timber Posts  
 B/G Panels: Paint Resene Humes Blue  
 Logo Humes: White and 3M Vivid Blue  
 Logo Firth: White Text Black Arrow with Yellow and Red Underlines  
 Text: White

DRAWN by: Et

CLIENT:  
 Humes

JOB NUMBER:  
 17399 Humes  
 Freestanding signage  
 options

DATE:  
 22-5-06

SCALE: 1 of 3 = 20  
 A4





Contact: Godwell Mahowa  
Division: Environmental Consents  
Telephone: (04) 570 6935  
Facsimile: (04) 570 6799  
Email: godwell.mahowa@huttcity.govt.nz  
Our Reference: RM100488

18 January 2011

Spencer Holmes Limited  
Level 6, 8 Willis Street  
PO Box 588  
WELLINGTON 6140

Dear Laurence

**RESOURCE CONSENT APPLICATION (RM100488) FOR A NON-COMPLYING ACTIVITY TO UNDERTAKE A RETAIL ACTIVITY WITHIN THE GENERAL BUSINESS ACTIVITY AREA AT 40 BOUVERIE STREET, PETONE.**

**1 Decision**

On 30 November 2010, the applicant sought resource consent under the Resource Management Act 1991 ("the Act") to undertake a retail activity at 40 Bouverie Street Petone (being legally described as LOT 2 DP 87775). The proposal is not among the list of permitted activities of the General Business Activity Area of the City of Lower Hutt District Plan. Acting under delegated authority from the Hutt City Council, we advise you that the following decisions have been made:

- Council considered the application without it being notified.
- Council **GRANTED** the application on **18 January 2011** subject to the following conditions:
  1. The development shall be substantially in accordance with the information and approved plans submitted with the application and held on Council File RM100488 (Drawing numbers A1 02A and A2 02A prepared by Goodson Architects dated 29/11/2010).
  2. The consent holder shall contact the Council's Environmental Enforcement Team on (04) 560 1044 or email the team at enforcement@huttcity.govt.nz at least 48 hours prior to any physical work commencing on the site and advise the following:
    - The date the work shall commence;
    - The name of the contractor and their contact details including phone number and postal address.

3. Once alteration work commences a copy of this resource consent decision shall be available on site for the duration of the works and made available upon request.
4. The operating hours of the retail activity shall be any time from 7 am - 7 pm weekdays and from 8am to 6 pm on weekends.
5. A minimum of 24 car parking spaces shall be provided, of which 18 are to be provided on the site and no more than 6 may be provided along the northern frontage partly on legal road as shown on the site plan. All the carparks at the front of the building shall be formed to Council specifications and the consent holder shall be responsible for the maintenance of the 6 front carparks allocated to this proposal.

*Note:* A separate encroachment licence will be required for any use of legal road for parking.

6. The layout of all car parks shall be in accordance with the Australia-New Zealand standard AS/NZS 2890.1-2004.
7. The consent holder shall meet the cost of providing a footpath along the northern frontage of the site in accordance with requirements of the Council's Road and Traffic Division.
8. The service ramp located between Grid Lines 7 and 8 on Drawing A2.02 shall be closed to vehicular use and shall be used for pedestrian access.

## **2 Reasons why consent has been granted**

Consent is granted for the following reasons:

- The proposed activity will be undertaken in an already established building and no bulk and location changes are anticipated. The proposal meets the car parking quantum anticipated for such activities by the District Plan. The proposed retail activity will be compatible with other retail activities in the area. The proposal will not detract from the vibrancy and vitality of the Hutt city's commercial activity areas as such shops are usually located off the city centre.
- Council's Consultant Traffic Engineer has reviewed the proposal and supports the application subject to specific conditions of consent.
- The changes to the exterior of the building including the addition of display windows and proposed landscaping will have a positive outlook on the building and improve its visual amenities.
- The proposal is considered to be consistent with the Purposes and Principles of Part II of the Resource Management Act 1991.

- Due regard has been given to the provisions of the District Plan and the proposal is consistent with the relevant objectives and policies.
- The application passes the threshold test as required by section 104D of the Act. This means that any adverse effects generated by the application are considered to be no more than minor or the proposal is consistent with the objectives and policies of the District Plan.
- Due regard has been given to any national policy statement, the New Zealand Coastal Policy Statement, any regional policy statement or proposed regional policy statement, and any other matters council considers relevant and reasonably necessary to determine this application, and deemed that there are no matters of particular relevance or concern that are required to be addressed.

### **3 The Proposal**

The proposal is to redevelop the building and car parking at 40 Bouverie Street in Petone which was previously occupied by Loadlift and Heidelberg to accommodate Plumbing World. The floor area of the building will be re-configured to include a 294m<sup>2</sup> showroom, 671m<sup>2</sup> warehouse and a 163m<sup>2</sup> administration block. The showroom will act as retail space and will be open to the public. The outfit will employ 10 staff members including 5 administrative staff. Car parking will be provided for at the front and at the rear of the building. The front parking will be reconfigured so that the car parks are closer to the building and occupy a substantial portion of the subject property land and less of Council's road reserve land.

### **4 The Site**

The site is a commercial property located on a bend of Bouverie Street in Petone. It is an L-shaped building that is predominantly single storey with a three storey portion located on its southern end.

Vehicular access to the site is by way of a double kerb crossing on the western frontage and a crossing to Bouverie Street to the north via a right of way over 38 Bouverie Street. Car parking is provided at the front and rear of the building. The car parks at the front of the subject building are part on Council land and Council has dedicated only 6 of the front car parks to the subject site, the rest of the car parks in front of the building remain as public car parks.

The subject site is located within the General Business Activity Area of the City of Lower Hutt District Plan. The application site is an 8700m<sup>2</sup> lot contained within Certificate of Title WN55C/47. The site has a consent notice registered on the certificate of title that recognises contamination on the subject site as a result of previous use. The contamination does not impact on this proposal and no other restrictions under the District Plan are applicable to the subject site.

## 5 The Plan

The appropriate planning instrument for assessing the proposed activity is the City of Lower Hutt District Plan (“the District Plan”). The site is within the General Business Activity Area and the relevant rules are contained in Chapter 6 and 14A and 14B of the District Plan.

The proposed activity fails to comply with the relevant Permitted Activity Conditions in the following ways;

### **6A2.1.1 (j) Retail Activities:**

*There shall be no retail activities except in the following circumstances:*

- (i) *Where the goods are manufactured on site; provided that the retailing shall be ancillary to such manufacturing. For the purposes of this Section, manufacturing excludes those activities which comprise only the packing, labelling, sorting, mixing or assembling of pre-made products.*
- (ii) *Where the retail activity involves the sale of: carports, kitset garages and sheds; trailers; caravans; boats; swimming pools, spa pools, new and used motor cars; heavy commercial and agricultural vehicles; machinery; and the accessory parts which are essential to the operation of those goods.*
- (iii) *Where the goods are natural materials which are sold in bulk: gravel, sand, shingle, rock, concrete, coal, fire wood and timber for construction purposes.*

The proposed Plumbing World business will sell products to the general public. While part of the proposal would be considered a trading warehouse, the other part will involve the sale of small items to the public.

### **14A (iii) 2.1(b) Location of Parking Spaces:**

*Parking spaces must be provided on site.*

There is a technical non compliance as part of the land constituting the 6 carports at the front of the building is on Council road reserve.

The landuse consent has been considered as a Non-Complying Activity under Rule 6A2.5 of the District Plan which states:

(a) *“Any retail activity which is not identified as a Permitted Activity” is a non complying activity.*

### ***Permitted Baseline***

Permitted baseline for bulk and location standards does not apply as the proposal involves an already established building. As for retail activities, the Plan lists some retail, activities that are permitted in the general Business area and any effects above the effects generated by these will be considered for this application.

## 6 Notification

The landuse consent has been determined to be a Non Complying Activity under 6A2.5 of the District Plan. As such, the proposal is required to be assessed under sections 95A, 95B and 95C of the Resource Management Act 1991 to determine whether the application should be notified.

*Has the applicant requested notification?*

No.

*Is there sufficient information to consider the application?*

In accordance with section 95C, the applicant has provided sufficient information to determine the application and therefore the proposal is not required to be publicly notified.

*Are the adverse effects of the activity on the environment minor or more than minor?*

In accordance with Section 95D (a) of the Resource Management Act 1991, Council considers that 25-31, 33, 35, 38, 52 Bouverie Street, 37 Udy Street and 124 Richmond Street are adjacent to the subject site. As such, when considering whether the adverse effects on the environment resulting from the proposal are minor or more than minor, any effects on these parties have been disregarded.

Council considers that the proposed activity's potential adverse effects on the environment must be taken into account as follows:

- Temporary construction effects during alterations
- General amenity effects created by the proposed retail activity in the General Business Activity Area
- Effects on the vitality and viability of Commercial Activity Areas

After undertaking this assessment, Council considers that these adverse effects are minor because:

- The alterations to the internal and external of the subject building are modest and temporary in nature and will result in temporary effects that are less than minor. There are no changes to the bulk and location standards of the building.
- While the proposal does not technically accord with permitted activity conditions, as the retail outlet will not sell goods manufactured on the site or goods of a reasonable bulk, the proposal is generally consistent with the outcome sought by the permitted standards of the General Business Activity Area. The proposal will generate the same traffic amenity effects as some other permitted retail outlet that could operate from the same space. If the subject building was converted to an auction facility, the gross floor area of 1028m will generate a total of 770 traffic movements per day as compared to 650 vehicle movements that would be generated by the proposed use of the building as part warehouse part office and part retail.

- Although the Central Commercial Activity Area accommodates home improvement Centres (DIY stores), a number of such shops are located outside the Central Commercial Activity Area as part of their merchandise is of substantial bulk. Plumbing and building supply shops are generally located off the city centre and the location of Plumbing World on the subject site will not compromise the vitality of the city centre.

Council is therefore satisfied that, overall, in accordance with section 95(D) of the Resource Management Act 1991, the adverse effects of the activity on the environment will be minor.

***Who may be adversely affected by the activity?***

In accordance with section 95E of the Resource Management Act 1991, Council has considered if the proposal could adversely affect any parties.

Council considers that, for the purposes of making a decision under section 95E (1) that no parties could be adversely affected by the proposal in a manner which is minor or more than minor.

No other parties were considered to be adversely affected by the proposal for the following reasons:

- No changes are proposed to the bulk and location standards of the building and the site will have adequate car parks, loading bays and manoeuvring space.
- The traffic amenity effects will be the same as any other retail activity undertaken as a permitted activity on the same space.

***Do special circumstances exist?***

Council has concluded that there are no special circumstances that require the application to be notified under section 95A (4) of the Resource Management Act.

***Conclusion***

Council may consider the application without it being notified.

**7 Determination of the application**

Section 104 of the Act requires that when considering an application for resource consent that, subject to Part II of the Act, the Council must have regard to:

- (a) any actual and potential effects on the environment of allowing the activity; and
- (b) any relevant provisions of—
  - (i) a national environmental standard;
  - (ii) other regulations;
  - (iii) a national policy statement;
  - (iv) a New Zealand coastal policy statement;

- (v) a regional policy statement or proposed regional policy statement;
  - (vi) a plan or proposed plan; and
- (c) any other matter the consent authority considers relevant and reasonably necessary to determine the application.

Section 104D which relates to the determination of Non Complying Activities states:

*Despite any decision made for the purpose of section 95A(2)(a) in relation to adverse effects, a consent authority may grant a resource consent for a non-complying activity only if it is satisfied that either –*

- (a) *the adverse effects of the activity on the environment (other than any effect to which section 104(3)(a)(ii) applies) will be minor; or*
- (b) *the application is for an activity that will not be contrary to the objectives and policies of –*
  - (i) *the relevant plan, if there is a plan but no proposed plan in respect of the activity; or*
  - (ii) *the relevant proposed plan, if there is a proposed plan but no relevant plan in respect of the activity; or*
  - (iii) *both the relevant plan and the relevant proposed plan, if there is both a plan and a proposed plan in respect of the activity.*

I address these matters below.

### ***Actual and Potential effects on the environment***

This assessment will determine the actual and potential effects arising from the proposal. In accordance with section 104(2), when forming an opinion on section 104(1)(a) Council may disregard an adverse effect of the activity on the environment if the plan or a national environmental standard permits an activity with that effect. The permitted baseline for the proposal and its associated relevance has been identified within Section 5 of this report and this has been taken into account when determining the application.

The anticipated environmental outcomes of the General Business Area and chapters 6 and 14 of the District Plan provide guidance on the relevant effects which are required to be assessed when considering this proposal. The relevant effects which are required to be considered when assessing this proposal are as follows:

- Temporary construction effects during alterations
- General amenity effects created by retail activity in the General Business Activity Area
- Effects on the vitality and viability of Commercial Activity Areas

The above effects are considered to be acceptable for the proposal for the following reasons:

- The alterations to the internal and external of the subject building are modest and temporary in nature and will result in temporary effects that are less than minor. There are no changes to the bulk and location standards of the building.
- While the proposal does not technically accord with permitted conditions, as the retail outlet will not sell goods manufactured on the site or goods of a reasonable bulk, the proposal is generally consistent with the outcome sought by the permitted standards. The proposal will generate the same traffic amenity effects as some other permitted retail outlet operating from the same space. If the subject building was converted to an auction facility, the gross floor area of 1028m will generate a total of 770 traffic movements per day as compared to 650 vehicle movements that would be generated by the proposed use of the building as part warehouse part office and part retail.
- Although the Central Commercial Activity Area accommodates home improvement Centres (DIY stores), some of such shops are located outside the Central Commercial Activity Area as some of their merchandise is of substantial bulk. Plumbing and building supply shops are generally located off the city centre and the location of Plumbing World on the subject site will not compromise the vitality of the city centre.

The actual or potential effects created by the development will be minor and we do not consider that the proposal will have any resulting effect on any party.

### ***Objectives and Policies of the District Plan***

The most relevant District Plan objectives and policies to the application under consideration are as follows:

#### ***Objective 6A1.1.1***

*To accommodate those non industrial activities which are suitable in the General Business Activity Area and which do not cause adverse effects on amenity values of the area and the receiving environment.*

#### ***Policies***

- (c) *Accommodate certain retail activities which are compatible with other activities of the General Business Activity Area and do not undermine the strength, vitality and viability of commercial activity areas.*
- (d) *That the accommodation of non industrial activities avoids or mitigates adverse effects on the amenity values of the area and the environment.*

#### ***Objective 6A1.1.3***

*To avoid or mitigate adverse effects on the amenity values of the area and neighbouring areas, and the receiving environment.*

**Policies**

- (a) That effects likely to be generated by each activity, such as noise, dust, odour and traffic, are managed to avoid or mitigate adverse effects on the amenity values and character of both the General Business Activity Area and interface areas.*
- (b) That effects likely to be generated by each activity are managed to avoid or mitigate any adverse effects causing harm or damage to the receiving environment.*

**Objective 6A1.2.1**

*To maintain and enhance the amenity values of the activity area and neighbouring areas.*

*Policy*

- (a) That each site, structure and building is designed and maintained to enhance the amenity values and character of both the General Business Activity Area and adjacent activity areas.*

**Objective 14A (ii) 1.1.1**

*To maintain the safety and efficiency of the roading network.*

*Policies*

- (a) That the location and design of access to properties is managed to provide for safe entry and exit movements, particularly in relation to intersections.*
- (b) That adequate provision is made on site for turning movements to allow exit movements in a forward direction for sites fronting a Primary Distributor and a Major District Distributor route and for sites accommodating more than four parking spaces.*
- (c) That adequate provision is made on site for turning movements associated with heavy commercial vehicles to ensure that access and exit movements are in a forward direction.*

**Objective 14A (iv) 1.1.1**

*To maintain the safety and efficiency of the roading network and the amenity values of the area.*

*Policy*

- (a) That adequate on site loading and unloading provision be made in a safe and attractive manner.*

The proposal is consistent with the above objectives and policies in that:

The proposed activity is similar to other retail activities in the neighbourhood and will generate traffic effects similar to traffic effects generated by some permitted retail activities like an auction facility.

There are no alterations to the bulk and location standards of the subject building. The proposal is suitable for the area. The changes to the exterior of the building and landscaping will improve the general visual amenity of the building.

The proposal has two well established and strategically located access points, enough car parking spaces for the activity and functional loading and manoeuvring space. The safety and efficiency of the roading network will not be compromised.

### *Other Relevant Provisions*

Pursuant to section 104 (1) (b) it has been determined that there are no relevant national environmental standards, other regulations, national policy statement, New Zealand coastal policy statement or regional policy statement or proposed regional policy statement which will affect this application.

### *Part II Matters*

It is considered the proposal meets Part II Matters of the Resource Management Act 1991 for the aforementioned reasons. The proposal is considered consistent with sections 5(2) (c); *“Avoiding, remedying, or mitigating any adverse effects of activities on the environment”*, section 7(c) *“The maintenance and enhancement of amenity values”* and section 7(f) *“The maintenance and enhancement of the quality of the environment”*.

Pursuant to section 108 of the Resource Management Act 1991, conditions have been applied to the consent to avoid, remedy and mitigate potential adverse effects the activity may have on the environment.

## **8 Conclusion**

The applicant is seeking resource consent to undertake a retail activity in the General Business Activity Area of Petone. Any relevant environmental effects arising from the proposal are considered to be no more than minor.

It is considered that the application is not contrary to the relevant objectives and policies of the District Plan and the effects of the proposed activity on the environment are minor.

The landuse consent is therefore **GRANTED** under section 104B and 104D of the Resource Management Act 1991.

## **9 Notes**

- Reconsideration of this decision and/or conditions of the resource consent may be sought under section 357 of the Act. Applications for reconsideration should be made to the Council in writing within 15 working days of the date the decision was made. Applications must set out the reasons for the objection and include a review fee of \$705.00.
- The applicant is advised that the resource consent has been assessed against the requirements of the City of Lower Hutt District Plan. There may be bylaws which are

relevant to this proposal which will require separate approval from Council prior to the activity commencing on site. The full list of the bylaws can be found on [www.huttcity.govt.nz](http://www.huttcity.govt.nz).

- Plans submitted with the application have only been checked for compliance with the Resource Management Act 1991.
- Any building work associated with the proposed activity should not commence until a building consent has been obtained under the Building Act 2004.
- In accordance with Section 125 of the Resource Management Act 1991, the consent lapses if not given effect to within five years from the date of the application being granted.
- This resource consent is specific to the application received by Council. Any changes to the proposal may require a new resource consent and additional application fee.
- The applicant is reminded that this resource consent is not a licence to create adverse effects. You still have a duty under the Act to avoid, remedy or mitigate adverse effects. Notwithstanding any resource consents held, section 17 of the Act continues to apply and Council will take enforcement action where necessary.
- Council may issue an abatement notice if the conditions of this resource consent are not complied with. Contravention of an abatement notice may incur a fine up to \$300,000 or two years imprisonment for a natural person and a fine of up to \$600,000 to a person other than a natural person.

Yours sincerely



Godwell Mahowa

Senior Resource Consent Planner

Peer Reviewed by: Sarah Clarke



#### SENIOR CONSENT PLANNER

Application Lodged	30 Nov 2010
Further Information required?	No
Decision	18 January 2011
Time taken to process application	18

RESOURCE CONSENT

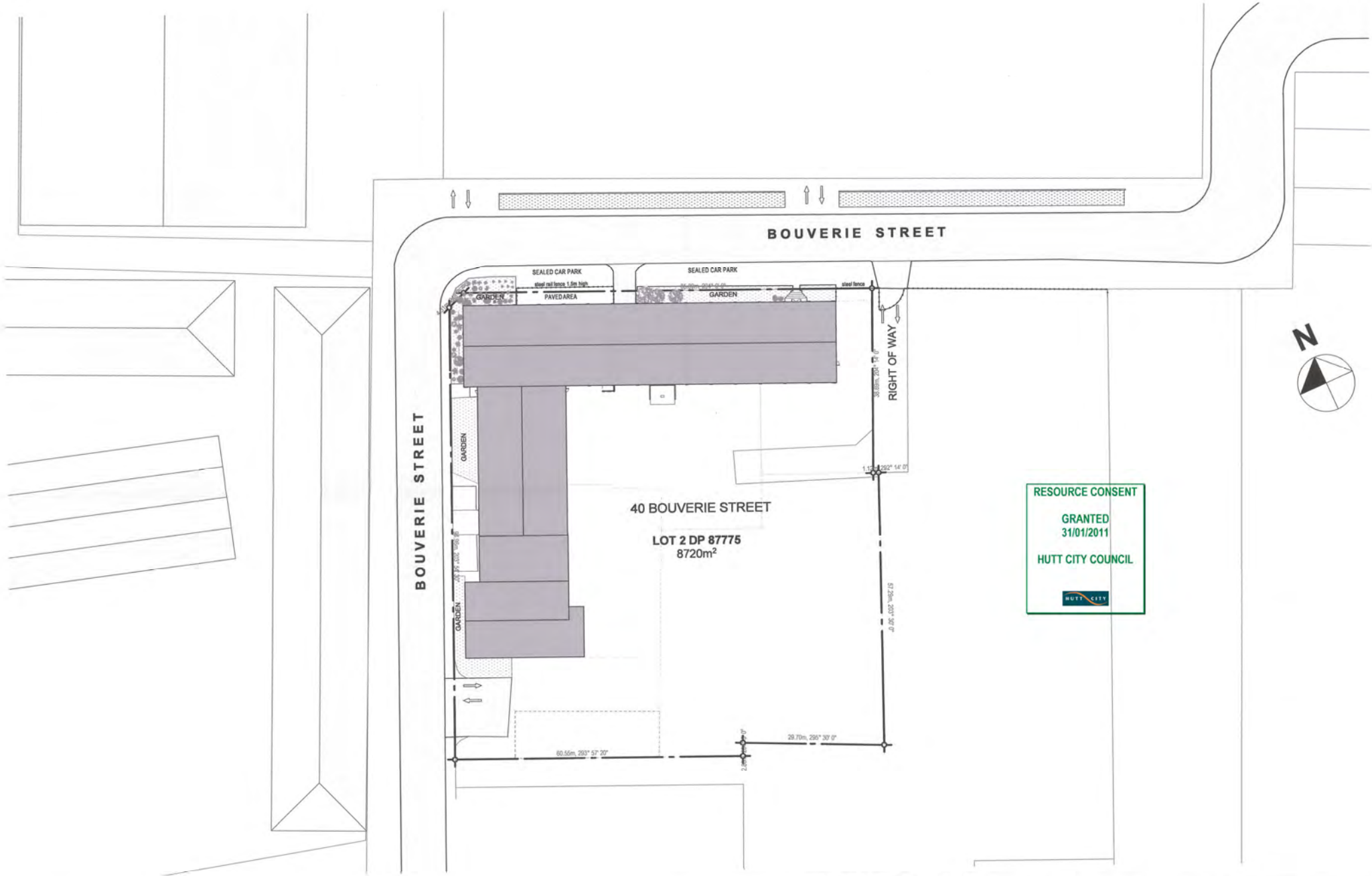
RM100488

GRANTED  
31/01/2011

HUTT CITY COUNCIL



Existing Site Plan by Goodson Architects, No. 317  
drawing A1.01  
Appendix 1



**RESOURCE CONSENT**  
 GRANTED  
 31/01/2011  
 HUTT CITY COUNCIL

RESOURCE CONSENT

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**EXISTING SITE PLAN**

Project: Building Alterations  
 Address: 40 Bouverie Street, Petone, Lower Hutt  
 Client: Balanced Investments Construction Limited

**GOODSON ARCHITECTS**  
 LIMITED  
 UNIT 23, 13 LEEDS STREET  
 WELLINGTON, NEW ZEALAND  
 TEL: 04-381 0388 FAX: 04-381 0389  
 EMAIL: mail@goodsonarchitects.co.nz

DATE	29/11/2010	Drawing No:	Revision
JOB NO	317	<b>A1.01</b>	
SCALE	1:500		
DRAWN	FL		
ORIGINAL	A2		

RESOURCE CONSENT

RM100488

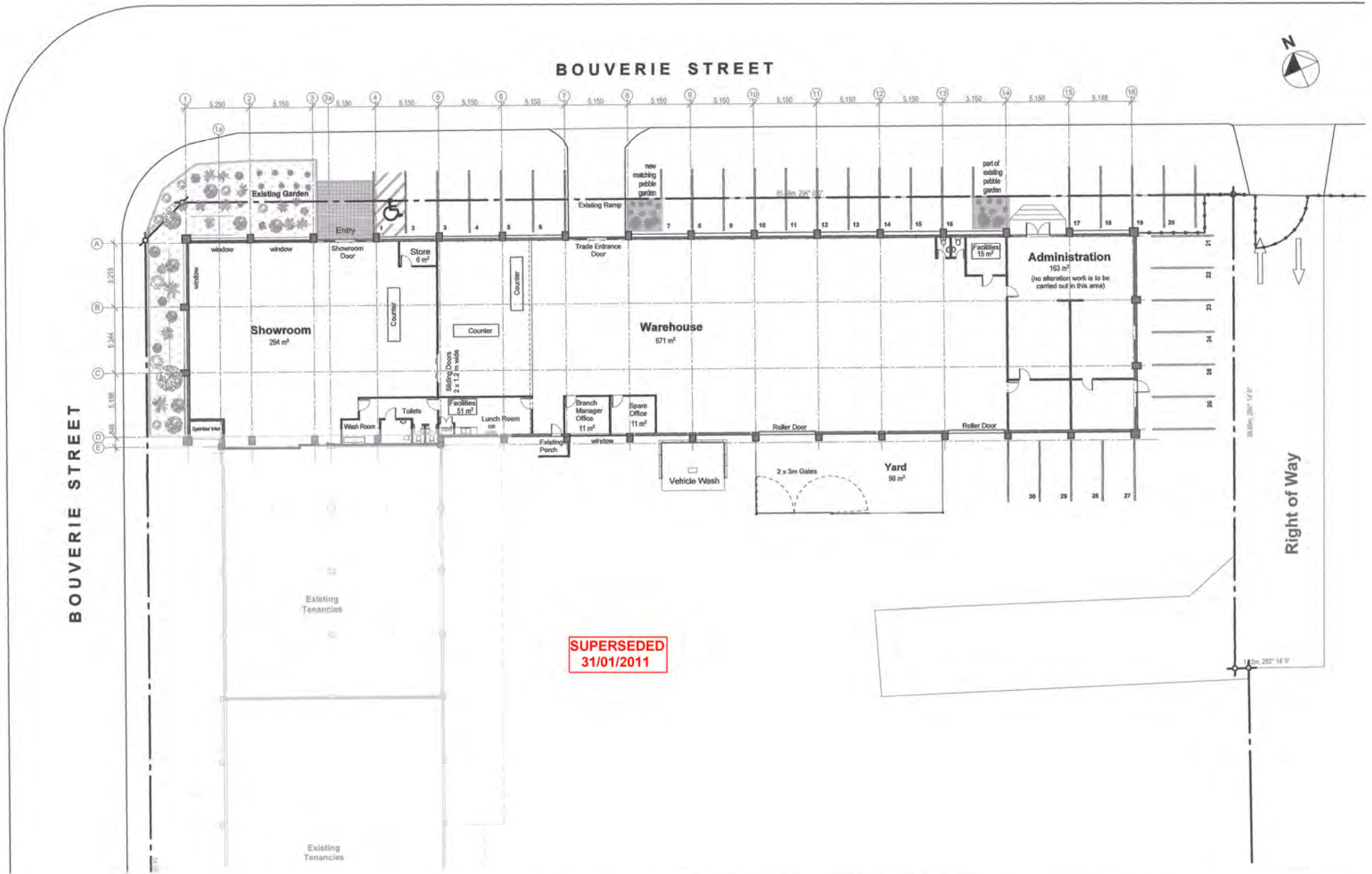
GRANTED  
31/01/2011

HUTT CITY COUNCIL



Proposal Plans by Goodson Architects No. 317  
drawings A1.02, A2.02 and A3.02  
Appendix 2





**SUPERSEDED**  
31/01/2011

RESOURCE CONSENT

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**PROPOSED GROUND FLOOR PLAN**

Project: Building Alterations  
 Address: 40 Bouverie Street, Petone, Lower Hutt  
 Client: Balanced Investments Construction Limited

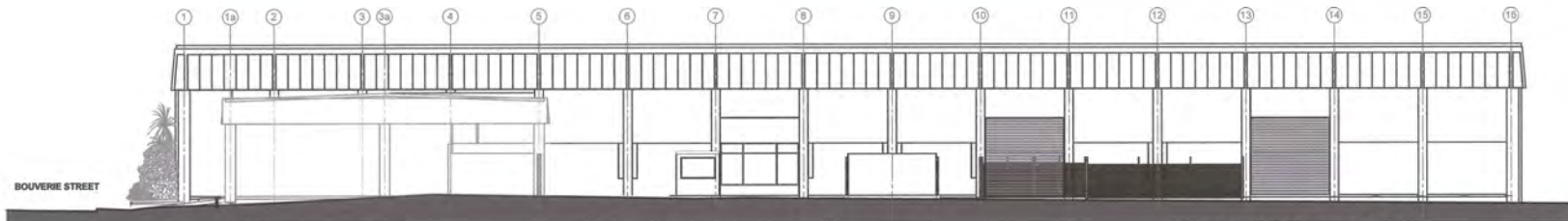


**GOODSON ARCHITECTS**  
 L I M I T E D  
 UNIT 25, 13 LEEDS STREET  
 WELLINGTON, NEW ZEALAND  
 TEL 04-381 0388 FAX 04-381 0389  
 EMAIL: mail@goodsonarchitects.co.nz

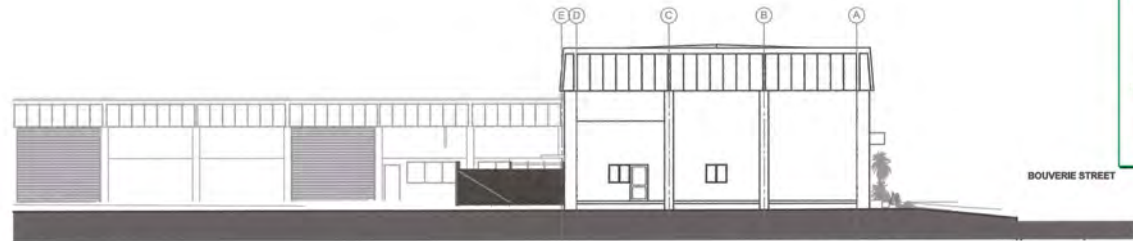
DATE	29/11/2010	Drawing No.	Revision
JOB NO	317	A2.02	
SCALE	1:200		
DRAWN	HL		
ORIGIN	A2		



NORTH ELEVATION 1:200



SOUTH ELEVATION 1:200



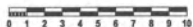
EAST ELEVATION 1:200



WEST ELEVATION 1:200

RESOURCE CONSENT  
GRANTED  
31/01/2011  
HUTT CITY COUNCIL

RESOURCE CONSENT  
GRANTED  
31/01/2011  
HUTT CITY COUNCIL



RESOURCE CONSENT

**PROPOSED ELEVATIONS**

Project: Building Alterations  
Address: 40 Bouverie Street, Petone, Lower Hutt  
Client: Balanced Investments Construction Limited

**GOODSON ARCHITECTS**  
LIMITED  
UNIT 23, 13 LEEDS STREET  
WELLINGTON, NEW ZEALAND  
TEL 04-381 0388 FAX 04-381 0389  
EMAIL: mail@goodsonarchitects.co.nz

DATE	22/11/2010	Drawing No:	Revision
JOB NO	317	A3.02	
SCALE	1:200		
DRAWN	FL		
ORIGINAL	A2		

12 February 2013

All Doors Ltd  
C/- Community Planners  
28 Major Drive  
KELSON

Sarah Clarke  
Environmental Consents  
04 570 6729  
[sarah.clarke@huttcity.govt.nz](mailto:sarah.clarke@huttcity.govt.nz)  
Our reference: **RM130009**

Dear Grant,

**Approval of land use resource consent application to establish 6 off street car parks at 40 Bouverie Street, Petone (RM130009).**

I am pleased to advise that, acting under delegated authority from Hutt City Council, I have granted a resource consent for the proposal at the above property (Lot 2 DP 87775) without requiring public notification.

**The decision is subject to the following conditions:**

1. That the proposal is carried out substantially in accordance with the information and approved plans (ref: Appendix 3 proposed off-street car parks) submitted with the application and held on file at the council.
2. That the consent holder keeps a copy of this decision on site when work starts and makes it available on request to council staff.
3. That the consent holder advises the council ([enforcement@huttcity.govt.nz](mailto:enforcement@huttcity.govt.nz) or (04) 560 1044) at least two working days before any work starts on site; and that the consent holder also supplies the name, phone number and address of the main contractor and, if applicable, the same details for the earthworks company.

**Important note:** When given notice of a start date, a compliance officer will suggest an on-site meeting to run through a checklist of things to make sure the project runs as smoothly as possible. This service is included in the resource consent application fee. Using it could avoid difficulties later on.

**The council has granted consent for the following reasons:**

1. The proposal establishes off-street car parking which will increase the parking available within the surrounding area.
2. The visual amenity effects of the reduction in landscaping within this area are generally consistent with the character of the surrounding area and within the site itself.

3. The proposal is consistent with the policies and objectives of the city's District Plan.
4. The proposal is consistent with the principles and purposes of Part 2 of the Resource Management Act 1991.
5. The council has given due regard to the New Zealand Coastal Policy Statement, any national, regional or proposed regional policy statement and any other relevant regulations in reaching its decision. The council considers there are no other relevant matters that need to be dealt with.

**1. Notes:**

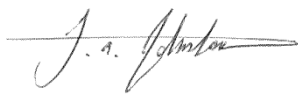
1. In accordance with section 357 of the Resource Management Act 1991, the consent holder is able to object to the conditions of the consent. The consent holder must submit reasons in writing to the council within 15 working days of the date of this decision. A fee of \$900 is payable when lodging an objection.
2. The consent lapses, in accordance with section 125 of the Resource Management Act 1991, if the proposal is not given effect to within five years, that is, by 12 February 2018.
3. The consent applies to the application as approved by the council. The consent holder should notify the council if there are changes to any part of the plans. The council may require that the consent holder submits a new resource consent application.
4. The proposal has been assessed against the requirements of the city's District Plan. Bylaws may apply to the proposal that may require separate approval from the council before starting any site works. See [www.huttcity.govt.nz](http://www.huttcity.govt.nz) for a full list of bylaws.
5. The proposal has not been checked for compliance with the Building Act 2004. No associated building work should start without first getting a building consent.
6. The consent is not a licence to create adverse effects such as unwarranted dust, noise, disruption and so on. It does not alter the legal duty to avoid, remedy or minimise such effects. The council may enforce the provisions of the Resource Management Act 1991 if the consent holder fails to meet this obligation.
7. Failure to comply with an abatement notice may result in the council imposing an infringement fine or initiating prosecution.

Yours sincerely,



Sarah Clarke  
Senior Resource Consents Planner

Peer reviewer:



Tim Johnstone  
Senior Resource Consents Planner

Application lodged: 17 January 2013  
Application approved: 12 February 2013  
Working days to process application: 16 working days

# NOTIFICATION REPORT

## 1. The proposal:

The applicant seeks resource consent to establish 6 off-street car parks where a landscaping strip was previously located in association with All Doors Ltd which are located in a portion of the building (2220m<sup>2</sup>) on this site.

## 2. The site:

The application site is located at 40 Bouverie Street, Petone. The site contains an existing building with a footprint of 2220m<sup>2</sup> and 85 associated car parks mainly to the rear of the building but also some parks accessed directly off Bouverie Street. The building currently contains; All Doors Ltd, Plumbing world and the Ministry for Primary Industries. Humes Pipe Systems are located beyond the parking area behind the building.

The site is in the general business activity area of the city's District Plan and is not subject to any other identified restrictions.

The application site is legally described as Lot 2 DP 87775, contains an area of 8700m<sup>2</sup> contained within Certificate of Title WN55C/47. There is a consent notice on this certificate of title which notes the previous contamination which occurred on the site; as Petone Gas Works for Coal and Gas Manufacturing was carried out on the site between 1900-1961. Preliminary investigation was undertaken in 1996 and the site was capped with fill up to 1.2m in depth.

A number of resource consents have been granted for this site in the past, these include;

- RM100488 – Establish retail activity (Plumbingworld);
- RM090213 – Trading Warehouse for Humes Pipe Systems;
- RM070769 – Two lot subdivision which was never completed; and
- RM070488 – Right of way in favour of 38 Bouverie Street.

## 3. Activity status: Discretionary 6A2.4(a)

## 4. The District Plan rule which the proposal does not comply with:

The proposal involves establishing car parking which will not be screened subject to permitted activity condition 6A 2.1(n) and the proposed crossing width exceeds 9m by approximately 29.5m and additionally vehicle movements exiting the site will not be in a forwards direction.

## 5. Permitted baseline:

The activity is considered to be permitted on this site subject to the permitted activity conditions. Therefore it is only the effects of the proposal relating the non-compliances with the permitted activity conditions identified above which are relevant to this assessment.

**6. Potential adverse environmental effects of proposal:**

- Visual amenity effects
- Traffic effects
- Construction effects

**7. Has the applicant requested notification?**

No.

**8. Is there sufficient information to consider the application?**

Yes. The provisions of section 95C triggering automatic notification when an applicant does not supply enough information, and still fails to do so when asked, do not apply in this case.

**9. Which properties are adjacent to the site, as defined by section 95D(a)?**

I consider the properties at 25-31, 33, 35, 38 and 52 Bouverie Street and 124 Richmond Street, Petone to be adjacent to the site. Therefore I must disregard any effects on the owners and/or occupants of these properties. I must also disregard any effects on any person who has given written approval.

**10. Having regard to section 95A, are the potential adverse effects on the environment minor?**

**Visual amenity effects**

The proposal represents a non-compliance with the landscaping permitted activity condition, where greater than 5 car parks are established on site a screen or fence is required. Only one additional park is proposed above the 5 permitted and there will be no landscaping and a reduction in the existing landscaping. Aside from the landscaping of large car parking areas there is no requirement for landscaping in the front yard as there are in other activity areas of the District Plan.

The character of the area is predominantly a mixture of retailing and industrial type activities. The reduction of landscaping in this location given the small degree of the non-compliance is considered to have less than minor visual amenity effects given this mixed character and the degree of landscaping within the surrounding area and on the site itself. The effects of the landscaping reduction and the additional on site car parking will be less than minor.

**Traffic effects**

The proposal has been reviewed by Council's consultant traffic engineer Bill Barclay, who has commented as follows;

- *Access to the car parks will be by a continuous kerb crossing along the road edge for approximately 15.0 metres. This increases to 38.5 metres when added to the crossing needed for an adjacent set of parks. The maximum width permitted by the District Plan is a function of traffic generation as determined by a preliminary assessment according to Chapter 14A Table 4. The preliminary assessment has not been carried out but the*

*maximum permitted width is unlikely to exceed 9.0 metres. The proposed length is therefore well in excess of what is permitted. The proposal also fails to ensure all movements to or from the road are in a forward direction, as is required by the Plan for car parks with more than four spaces.*

- *The proposal will gain six on-site spaces for the loss of two on-street spaces, a net gain of four.*
- *Continuous kerb crossings have some undesirable effects, including the loss of public on-street parking, loss of definition of the road edge, potential effects on pedestrians, and the effect of reverse manoeuvring and manoeuvring within the road area. Some of these effects will apply in this case, but it can be noted that the number of pedestrians is small, and space is available within the parking lane for manoeuvring, without cars being exposed to through traffic. I have checked the New Zealand Transport Agency crash database but have not found evidence of a safety problem associated with other continuous kerb crossings in Bouverie Street.*
- *I am aware that the applicant (Petone Working Mens Club) is planning a development for which it will be important to maximise the number of car parks, both on and off-street.*
- *On balance I believe the proposal can be accepted on this occasion. I support the proposal.*

I concur with the above statements made by Mr Barclay, and on this basis I am able to conclude that the traffic effects of the proposal will be less than minor.

### **Construction effects**

The construction activity under this resource consent would not have materially different effects to the construction of fully permitted changes to parking in another location within the wider site. In addition to this the District Plan allows for some additional noise during such times in accordance with NZS 6803P “Measurement and Assessment of Noise from Construction, Maintenance and Demolition Work”.

Given the temporary nature and scale of the effects of construction associated with this consent, it is considered that the construction effects will be less than minor.

### **11. In accordance with section 95E, are there any parties adversely affected by the proposal?**

No. Section 95E(3)(a) stipulates that those individuals who give written approval to a proposal cannot be considered to be an “affected party”.

I consider the effects to be less than minor on the identified adjacent properties for the following reasons;

- The proposal establishes car parking which will increase the parking available within the surrounding area.
- The visual amenity effects of the reduction in landscaping within this area are generally consistent with the character of the surrounding area and within the site itself.

### **12. In accordance with section 95E(3)(b), is it unreasonable to require the written approval of anyone?**

No.

**13. In accordance with section 95A(4), are there any special circumstances that warrant notification of the application?:**

No

**14. Decision:**

Non-notification under sections 95D and 95E(3) because the environmental effects are less than minor.



Sarah Clarke  
Senior Resource Consents Planner

Peer reviewer:



Tim Johnstone  
Senior Resource Consents Planner

**APPENDIX 3**

**Layout of proposed car parks**

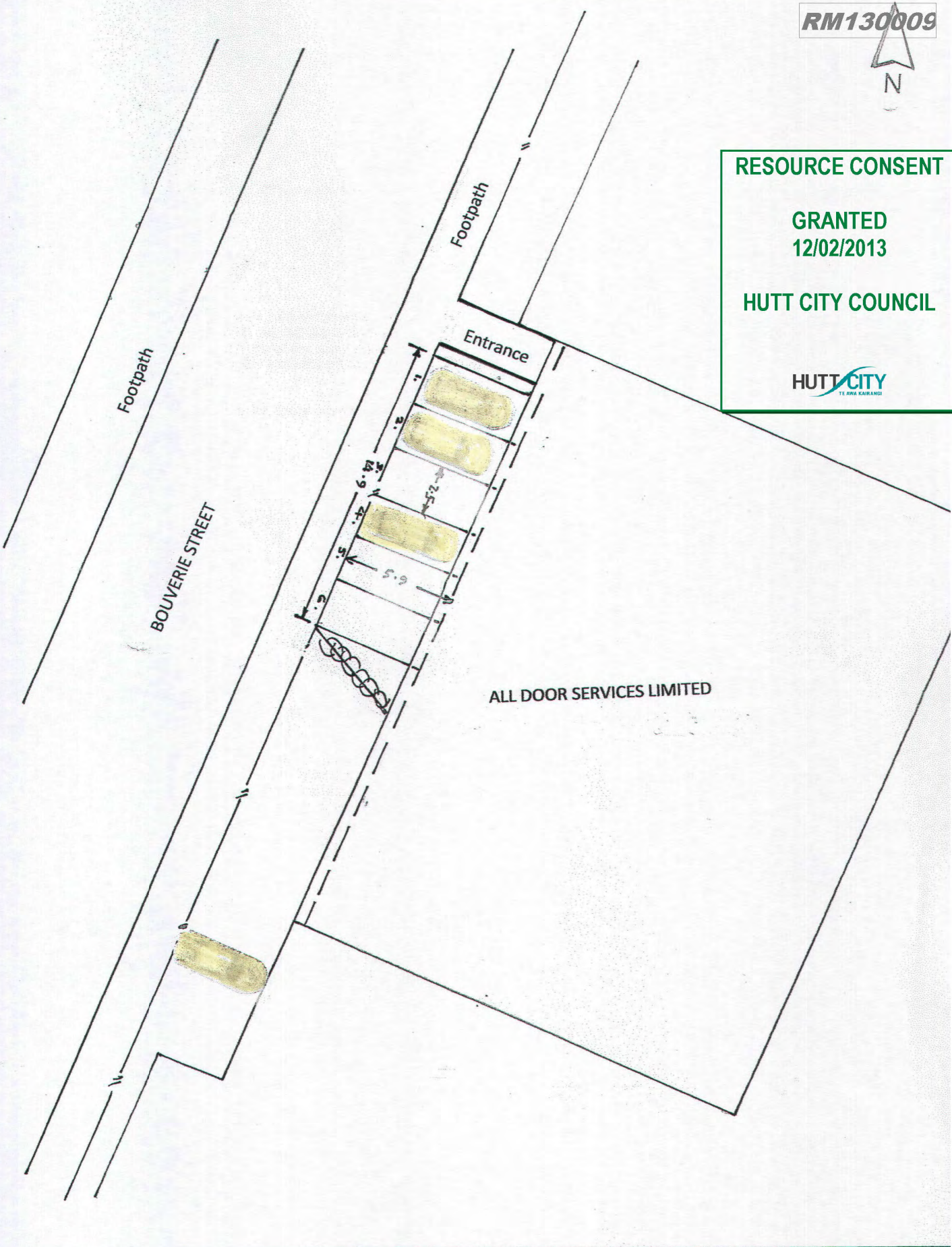
**For Petone Working Men's Club**



**RESOURCE CONSENT**

**GRANTED**  
12/02/2013

**HUTT CITY COUNCIL**

Scale = 1:25

**PROPOSED SIX (6) OFF STREET CAR PARKS**

**PETONE WORKING MEN'S CLUB**

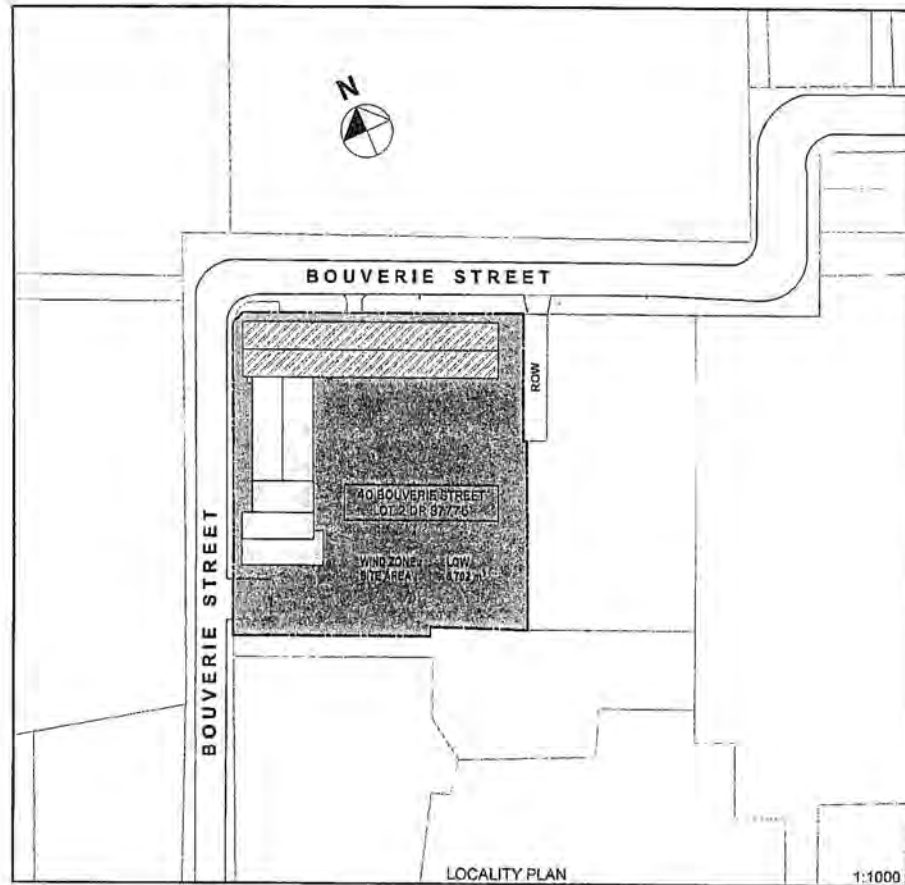
**APPENDIX 1  
Location Plan**

**For Petone Working Men's Club**

**RESOURCE CONSENT**  
**GRANTED**  
**12/02/2013**  
**HUTT CITY COUNCIL**



HUTT CITY  
CITY COUNCIL

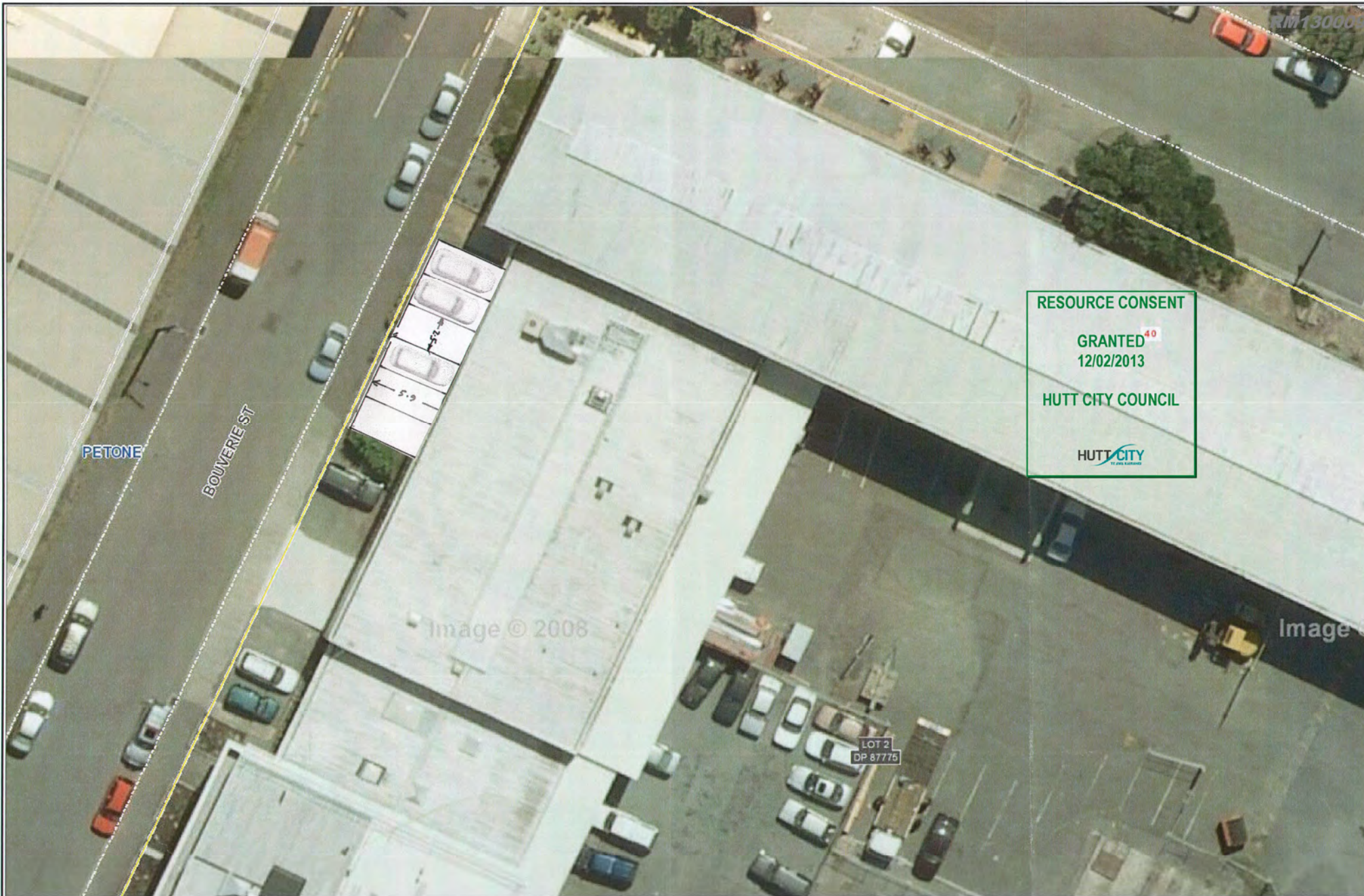




**APPENDIX 2**

**Site Plan**

**For Petone Working Men's Club**



RESOURCE CONSENT  
GRANTED<sup>40</sup>  
12/02/2013  
HUTT CITY COUNCIL  
HUTT CITY  
CITY COUNCIL

Image © 2008

Image

LOT 2  
DP 87775



Land Information Services

Although the information displayed has been prepared with care and in good faith, this map is designed to be illustrative only. The council cannot guarantee the accuracy or completeness of the information and accepts no liability for any loss suffered as a result of reliance on it. Property boundary/Asset display may not be survey accurate, and can only be verified by a registered surveyor.  
This map is drawn on the New Zealand Transverse Mercator projection, using New Zealand Geodetic Datum 2000.  
Cadastral information sourced from Land Information New Zealand: Crown Copyright Reserved.  
Aerial photography flown over Jan-Mar 2008/10. Copyright 2008/10 Hutt City Council and New Zealand Aerial Mapping Limited.

Scale: 1:241  
Sheet Size: A3 - L  
16/01/2013 11:25:24 a.m.  
Date Printed:

CODE COMPLIANCE CERTIFICATE NUMBER B+PB 98-0320

This certificate is issued by Hutt City Council pursuant to section 43 [3] of the Building Act 1991, and Building Consent application number B+PB 98-0320.

PROJECT:

New or re-located building

Alteration

Intended Use: COMMERCIAL- STORAGE FACILITY

Intended Life:

Indefinite, but not less than 50 years.

Specified in application as \_\_\_\_\_ years.

Demolition:

Being stage \_\_\_\_\_ of an intended \_\_\_\_\_ stages.

PROJECT LOCATION:

40 BOUVERIE ST P  
PETONE

Lot No. 1 DP No. DP 85303

COUNCIL CHARGES:

The total charges payable are as shown on the attached invoice.

THIS CODE COMPLIANCE CERTIFICATE IS:

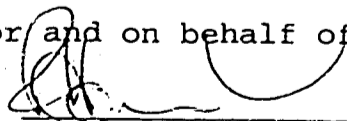
A Final certificate issued in respect of all building work under the above Building Consent.

An Interim certificate in respect of part only, as specified in the attached particulars, of the building work under the above Building Consent.

Issued subject to the conditions specified in the attached \_\_\_\_\_ page[s] headed "Conditions of Code Compliance No. \_\_\_\_\_", being this Certificate.

Signed for and on behalf of the Council:

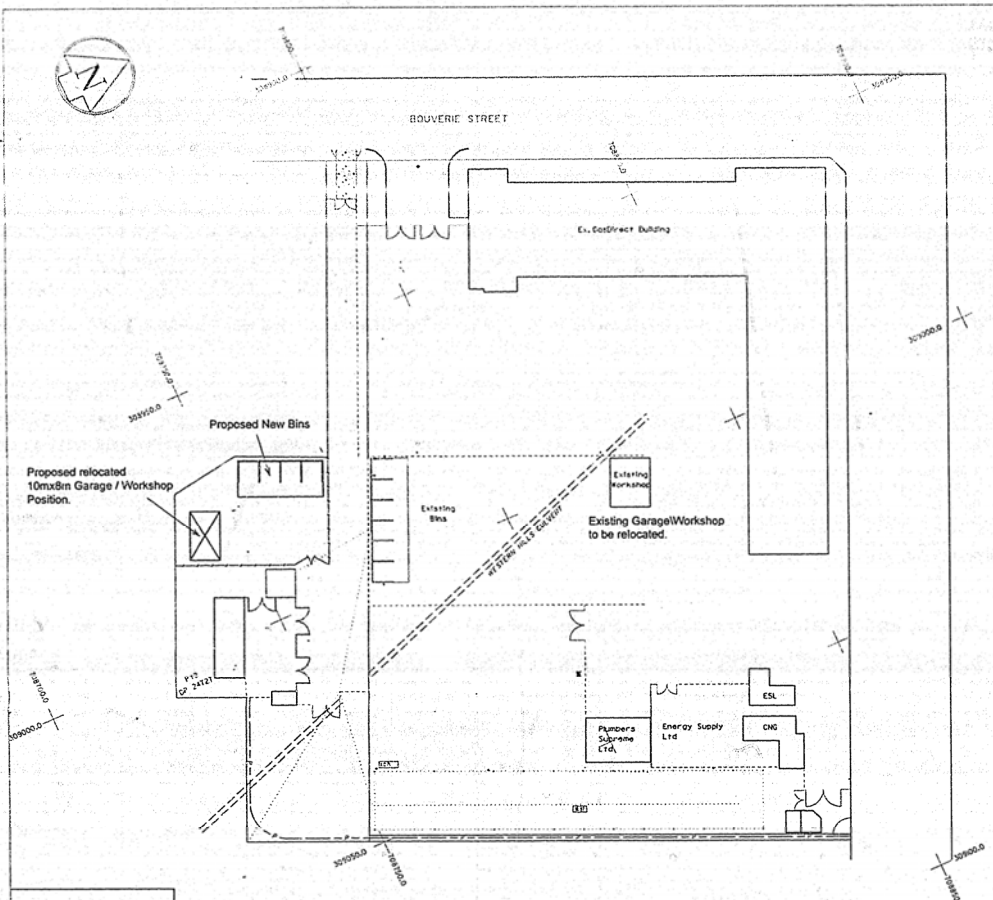
Name:



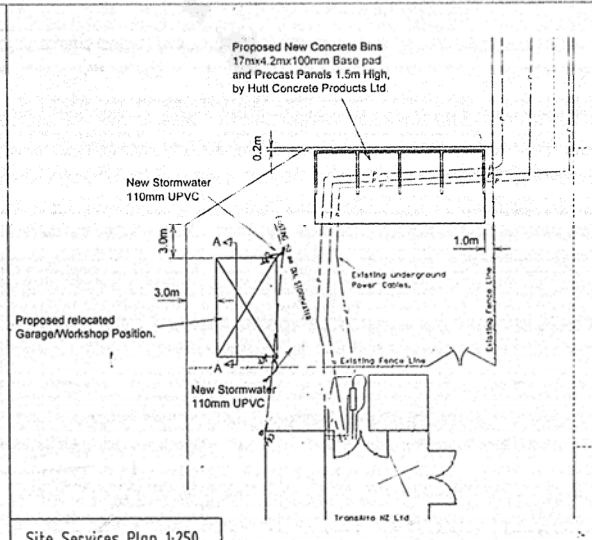
Position:

**TEAM LEADER APPROVALS**

Date: 19-MAR-99

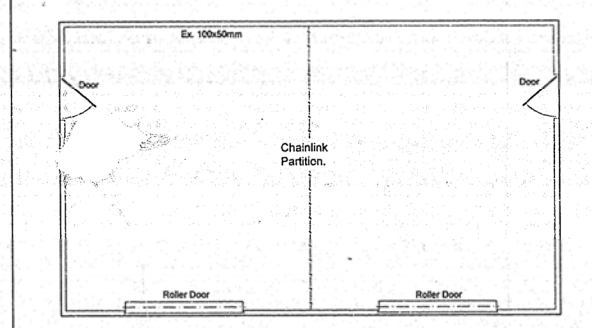


Site Plan 1:500

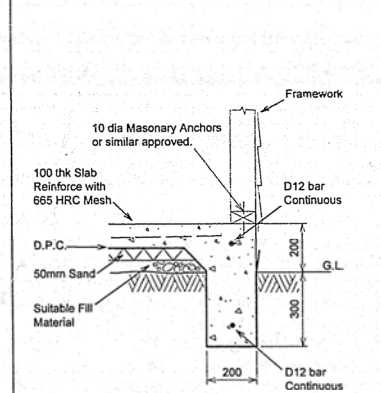


Site Services Plan 1:250

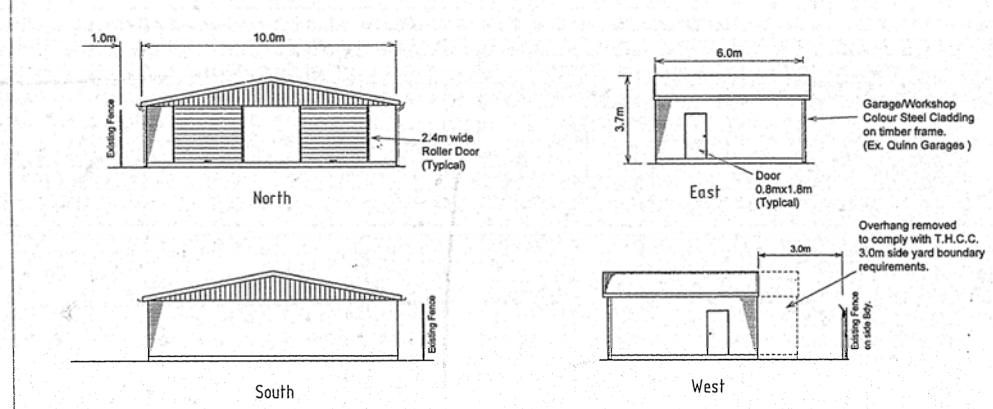
APPROVED  
BUILDING CONSENT  
NAME: [Signature]  
DATE: 9/24/98  
HUTT CITY COUNCIL



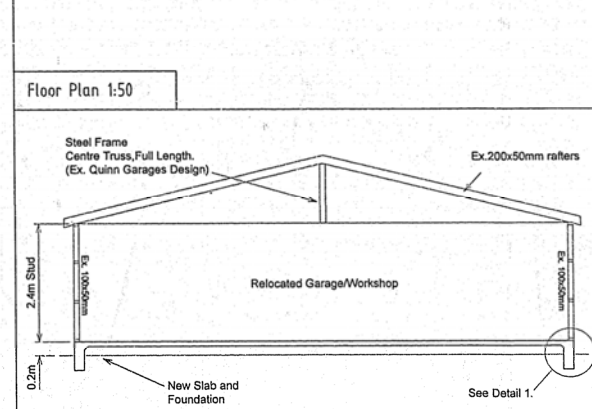
Floor Plan 1:50



Detail 1. 'Foundation' 1:10



Elevations 1:100



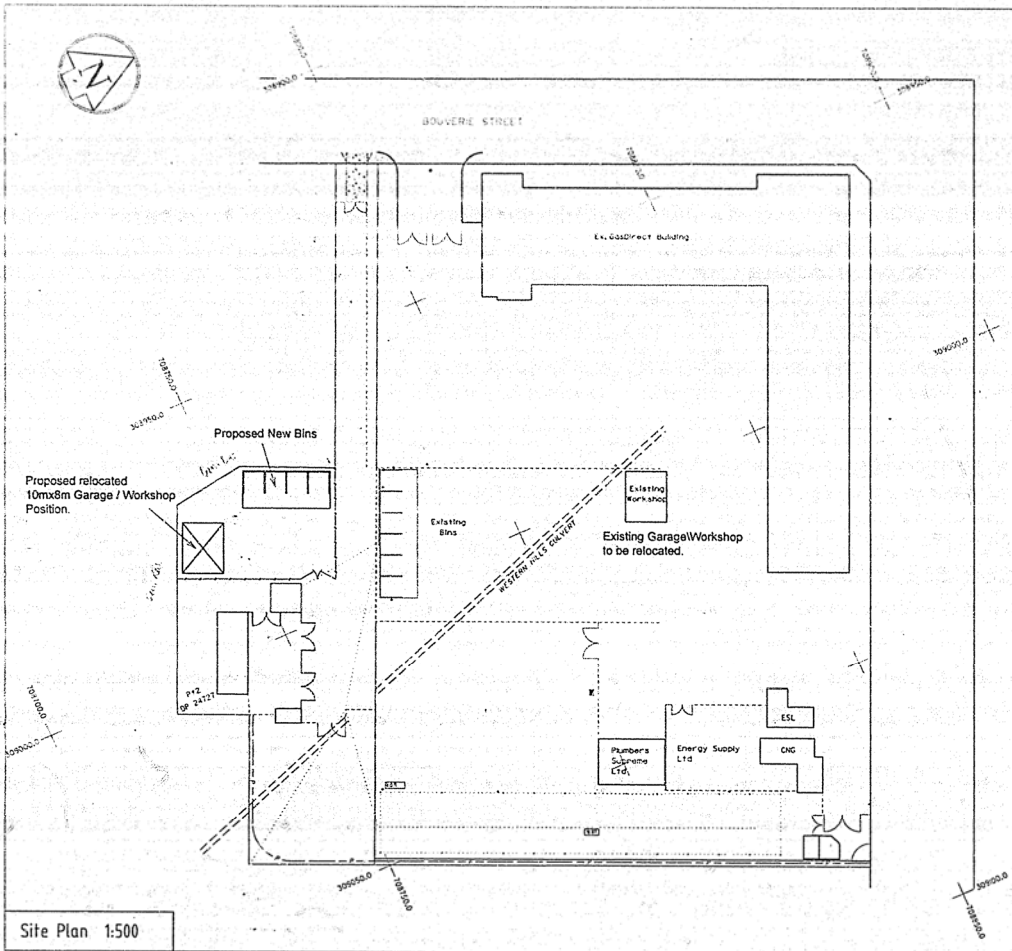
Section A-A 1:50

Amendment  
Building dimensions altered to comply with T.H.C.C. 3.0m side yard boundary requirements.

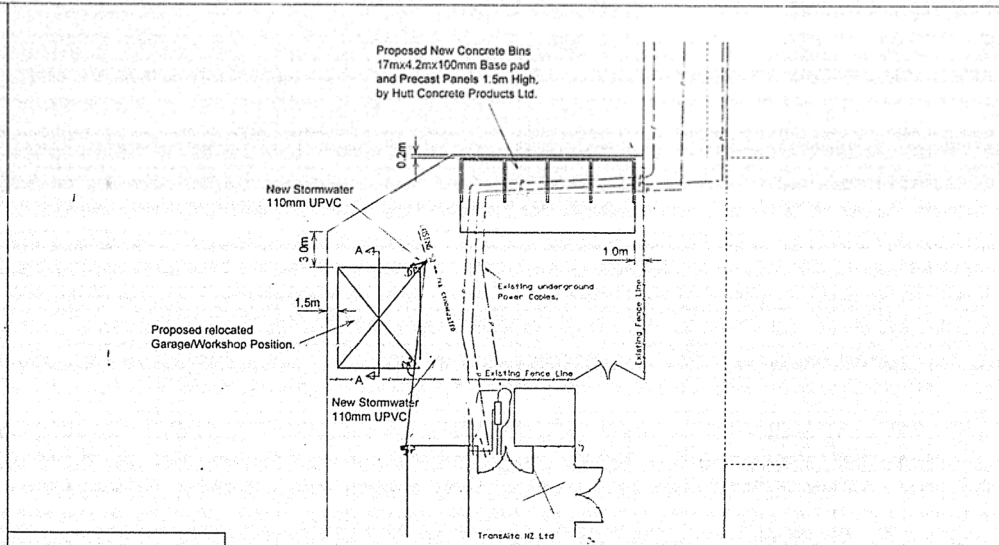
AMENDED PLAN  
REG. No. 480320 DATE 1/4/97  
ADDRESS/WORK 38 Bouverie St  
PERTAINING TO

DESIGNED BY	Marty 03/98
DESIGNED	Marty
SCALE	1:500
DRAWN BY	X
CHECKED BY	X
DATE	1/4/97
SHEET NO.	1 of 1
PROJECT NO.	10001298 - A1

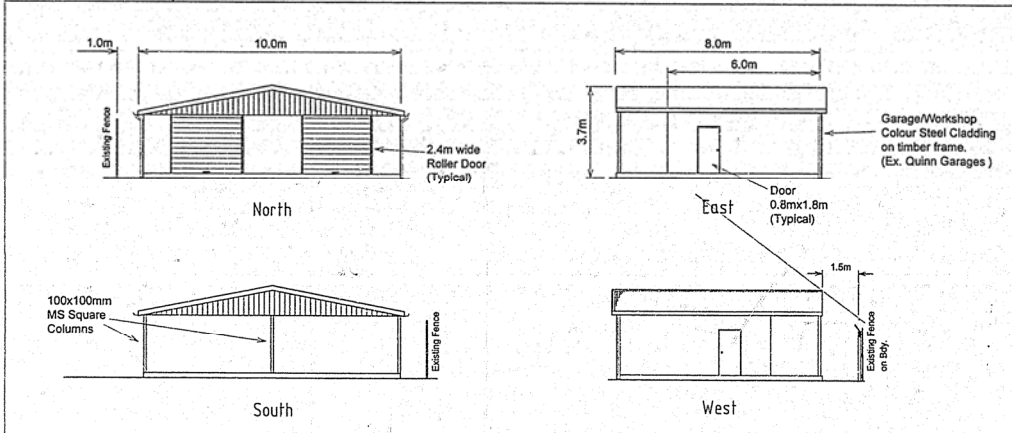
Garage & Workshop Relocation  
Bouverie Street Depot



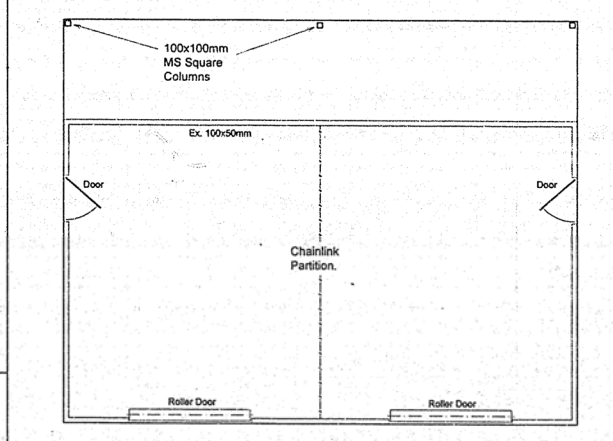
Site Plan 1:500



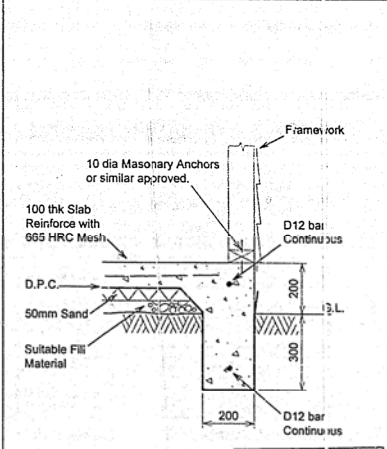
Site Services Plan 1:250



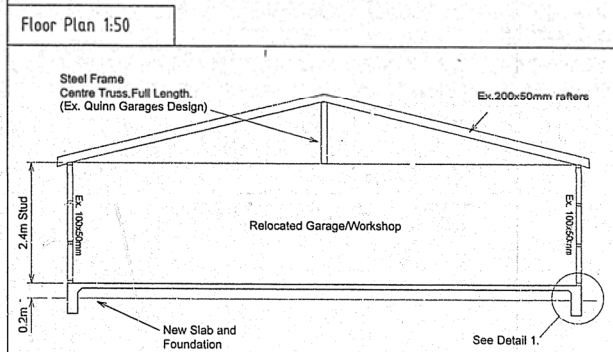
Elevations 1:100



Floor Plan 1:50



Detail 1. 'Foundation' 1:10



Section A-A 1:50

APPROVED BUILDING CONSENT MAY BE ASSUMED

NAME: *[Signature]*  
 DATE: 25/03/22  
 REP: HUTT CITY COUNCIL  
 DESIGNED BY: *[Signature]*  
 DRAWN BY: *[Signature]*

TRANSALTA - HULL CITY ENERGY LTD

THIS BUILDING REQUIRES:

- FOUNDATION INSPECTION
- FLOOR INSPECTION
- CLAD INSPECTION
- IN-LINE INSPECTION
- RIVAL INSPECTION

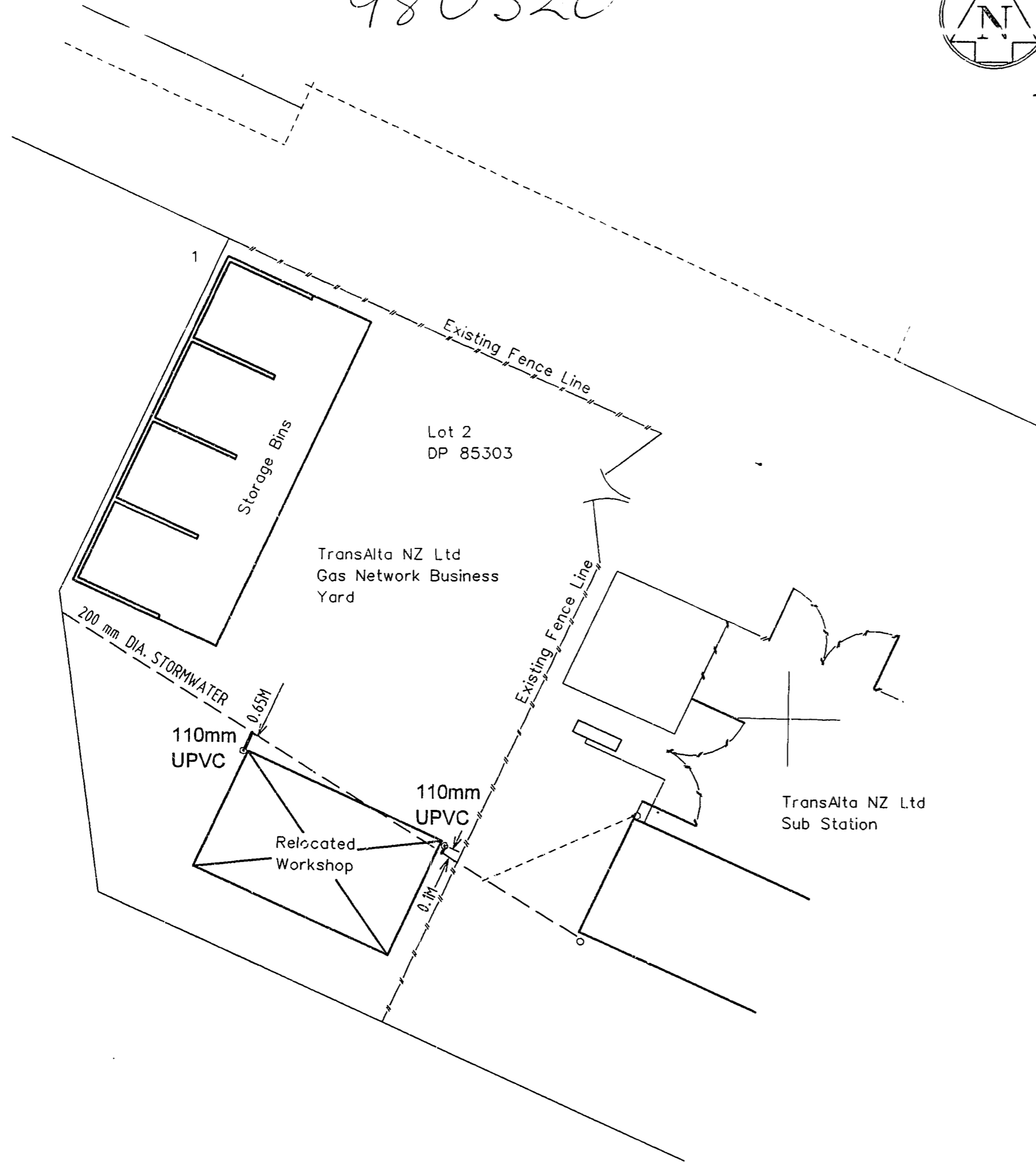
24 HOURS NOTICE PLEASE

TRANSALTA

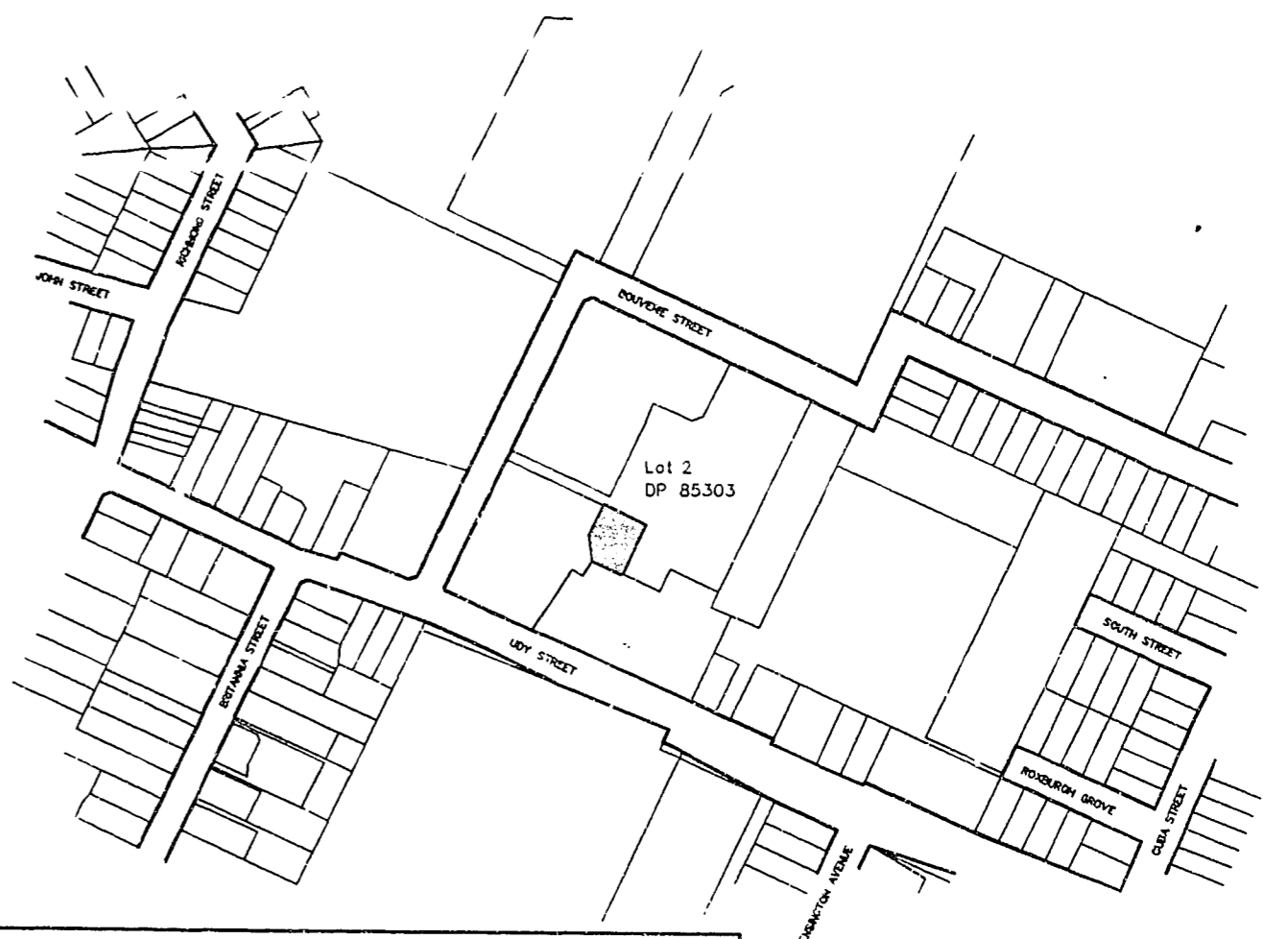
Garage & Workshop Relocation  
 Bouverie Street Depot

Drawn: Marty 03/22  
 Designed: Marty  
 Scale: 1:50  
 Job No: X  
 Date: 10/01/22

980320



Drainage Plan 1:250



Locality Plan 1:5000

Notes:

Plan produced in accordance with T.H.C.C. 'Advice of Completion of Building Work' Section 43 (1) Building Act 1991.

References:

Original Drawing - 10001298.dgn  
Hutt City Council (Consents) - B+PB 98-0320



AS BUILT: DRAINAGE

RELOCATED WORKSHOP  
BOUVERIE STREET, PETONE

Drawn	Marty	
Designed	Marty	
Scale	As stated	A3 Sheet
Job No.	X	
Drng No.	Sheet 1 of 1 Shts	Issue 0
Ref:	10001298	

\\data\_files\pms\1111\1298.dgn Apr 17 1998 12:55:42

20 February 2015

Wellington Electricity Lines Limited  
PO Box 31049  
LOWER HUTT 5040

Derek Kerite  
Environmental Consents  
04 04 570 6960  
[derek.kerite@huttcity.govt.nz](mailto:derek.kerite@huttcity.govt.nz)  
Our reference: **BC050271**

Dear Sir/ Madam

**Code Compliance Certificate refused **BC050271** at 38 Bouverie Street PETONE 5012**

In accordance with section 95 of the Building Act 2004, I am advising you of Council's decision to refuse to issue CCC for the building consent identified above at this point in time. The Council refuses to issue CCC as the building works are not finished and there is no agreement to extend the timeframe in which a decision to issue CCC must be made.

If you would like to contact me about this matter, please telephone on 04 570 6960. Please keep this letter with your building consent documents.

Yours sincerely,



Derek Kerite  
Building Manager

02 March 2007

Contact: G L Tipler  
Group/Division: Inspection and Enforcement  
Telephone: 04 570 6989  
Facsimile: 04 579 6855  
E-Mail: gary.tipler@huttcity.govt.nz  
Our Reference: BC 060454

McCombie Gieck Family Trust  
No 2 Nominees Limited  
PO Box 30626  
LOWER HUTT 5040

Dear Madam / Sir

**BUILDING CONSENT 060454 – 40 BOUVERIE STREET PETONE**

Please find enclosed the Territorial Authority's Code Compliance Certificate concerning the above Building Consent.

There is a considerable emphasis on obtaining a Code Compliance Certificate under the Building Act 2004, which also places significant value on this certificate. Please ensure this is filed in a safe, retrievable archive, available for future reference.

Should you need to make a future enquiry, regarding this application, please quote the Building Consent number.

Yours faithfully

**COPY OF ORIGINAL**  
**HUTT CITY COUNCIL**

G L Tipler  
**BUILDING INSPECTIONS MANAGER**

## Code Compliance Certificate

Section 95, Building Act 2004

The Building	
Street address of building: <b>40 Bouverie Street Petone</b>	Legal description of land where building is located: <b>LOT 2 DP 87775</b>
Building name:	Location of building within site/block number:
Level/unit number:	Current, lawfully established, use:
Year first constructed:	
The Owner	
Name of owner: <b>McCombie Gieck Family Trust No 2 Nominees Limited</b>	Contact person:
Mailing address: <b>PO Box 30626 LOWER HUTT 5040</b>	Email address:
	Website:
Building Work	
<b>BC 060454</b>	<i>Building alteration – wall / wash down area.</i>
Council Contact	
First point of contact for communications with the Council: <i>Building Inspections Manager, Phone 570 6666, Private Bag 31912 Lower Hutt.</i>	

### Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that —

- (a) the building work complies with the building consent; and
- (b) the specified systems in the building are capable of performing to the performance standards set out in the building consent.

Issued by Hutt City Council  
30 Laings Road Lower Hutt

Date: 02 March 2007

Building Inspections Manager, on behalf of Hutt City Council

**COPY OF ORIGINAL**  
**HUTT CITY COUNCIL**

# BUILDING REFURBISHMENT & TENANCY FITOUT 40 BOUVERIE STREET PETONE

NO	REVISION	BY	DATE
A	FOR BUILDING CONSENT	MIL	26/9/2006

Copyright of this drawing is vested in Spencer Holmes Ltd.  
The Contractor shall verify all dimensions on site.

COUNCIL CO

V I L  
 BUILDING CONSENT  
 APPROVED  
 7 NOV 2006  
 061321  
 HUTT CITY COUNCIL

R E S O U R C E M A N A G E M E N T - L A N D P L A N N I N G - S U R V E Y I N G - S T R U C T U R A L

## DRAWING SCHEDULE

- 00-DRAWING SCHEDULE
- 01-EXISTING FOUNDATION PLAN -SHOWING DEMOLITION 1:100
- 02-EXISTING STRUCTURAL PLANS -SHOWING DEMOLITION 1:100
- 03-EXISTING STRUCTURAL SECTION A-A -SHOWING DEMOLITION 1:50
- 04-EXISTING STRUCTURAL SECTION B-B -SHOWING DEMOLITION 1:50
- 05-PROPOSED FLOOR & ROOF PLANS 1:50
- 06-PROPOSED STRUCTURAL SECTIONS 1:50
- 07-PROPOSED STEELWORK DETAILS 1:50
- 08-PROPOSED STEELWORK DETAILS 1:10 & 1:20
- 09-PROPOSED WORKSHOP FOUNDATION PLAN 1:50
- 10-CONSTRUCTION DETAILS 1:20
- 20-PROPOSED WASHDOWN SLAB SITE PLAN & DETAILS

**SpencerHolmes**  
engineers • surveyors • planners

Level 6  
PO Box 588  
Phone (04) 472-2261  
Email

8 Willis Street  
Wellington, NZ  
Fax (04) 471-2372  
admin@spencerholmes.co.nz

CLIENT  
**BALANCED INVESTMENTS**

PRINCIPAL CONSULTANT  
**WORKSPACE VISION**

PROJECT  
**BUILDING REFURBISHMENT  
& TENANCY FITOUT  
40 BOUVERIE ST, PETONE**

DRAWING TITLE  
**DRAWING SCHEDULE**

<input type="checkbox"/> DESIGNED PJM	<input type="checkbox"/> CAD FILE	E06-0503-03
<input type="checkbox"/> DRAWN MIL	<input type="checkbox"/> FIELD BOOK	
<input type="checkbox"/> CHECKED	<input type="checkbox"/> DATE	14/9/2006

SCALE AS SHOWN	SIZE A1
DRAWING NUMBER E06-0503-00	REV A

**COUNCIL COPY**

**COUNCIL COPY**

NO	REVISION	BY	DATE
A	FOR CONSENT	DJW	12/4/06
B	CARPARKS ADDED	DJW	28/4/06
C	LAYOUT ALTERATIONS	DJW	7/8/06

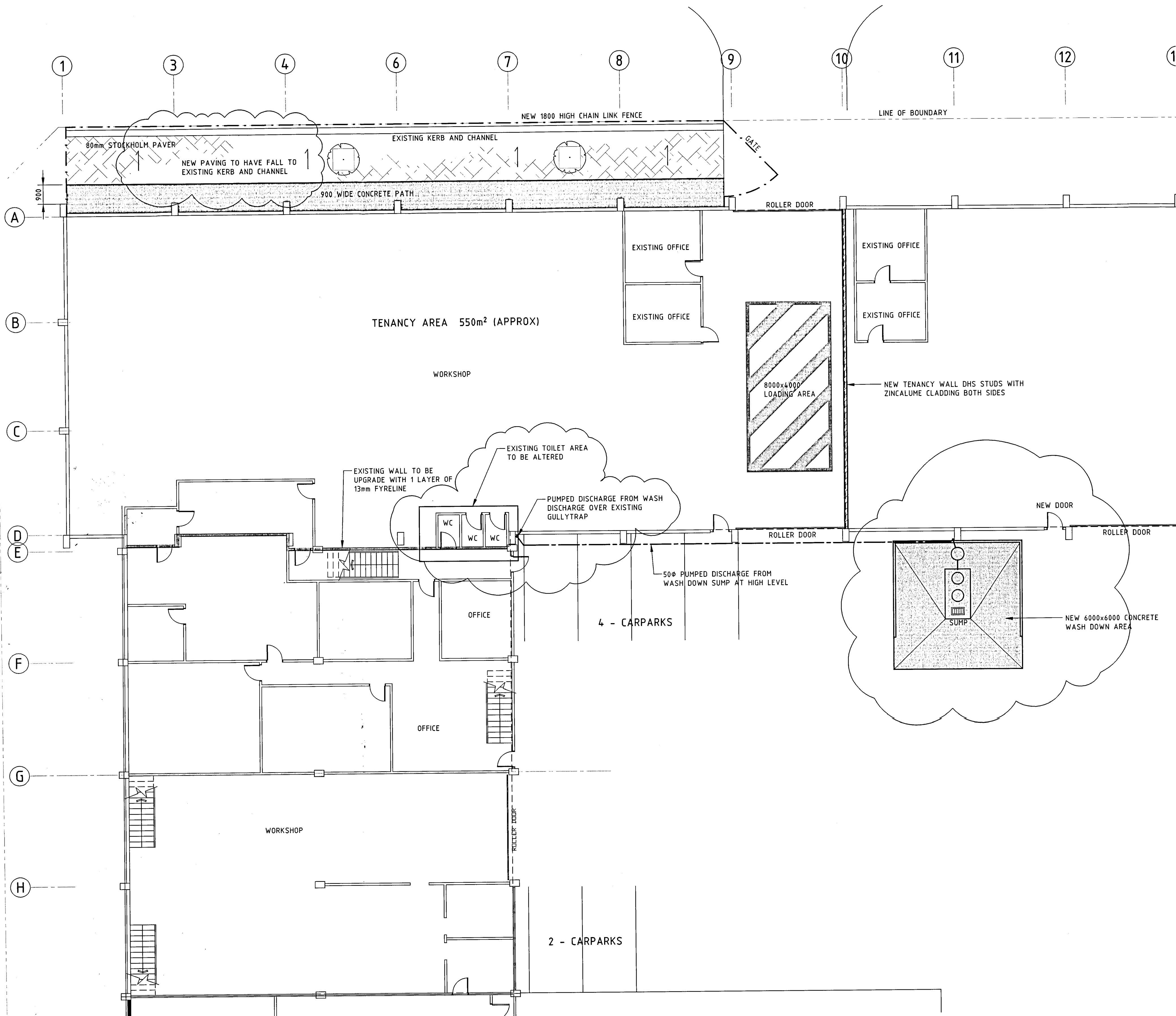
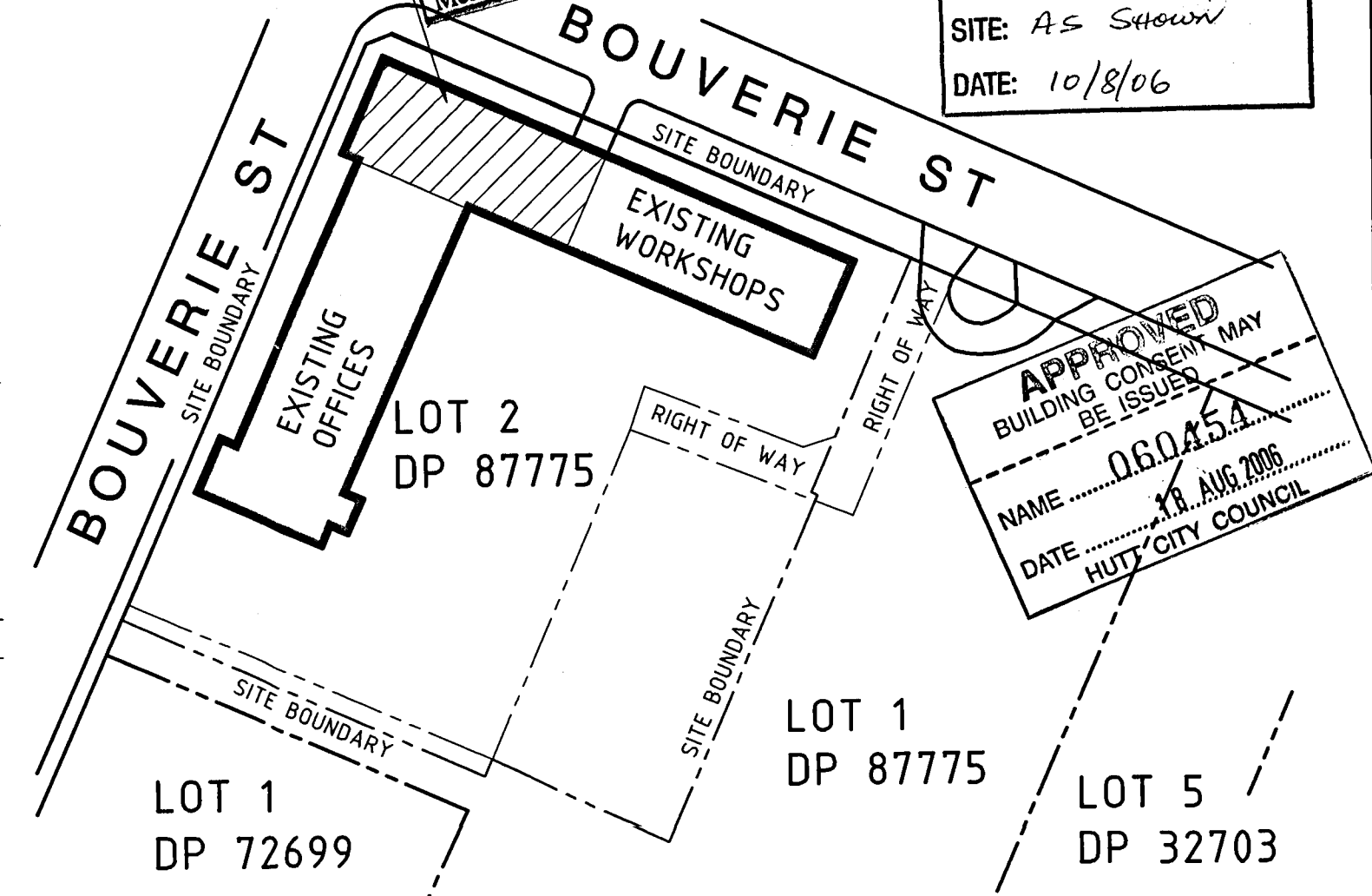
Copyright of this drawing is vested in Spencer Holmes Ltd. The Contractor shall verify all dimensions on site.

**AMENDED PLAN**  
 CONSENT No: 060454  
 SITE: AS SHOWN  
 DATE: 10/8/06

**NOTE**  
 This Plan must be read together with the written comments contained within the Project Information Memorandum and Building Consent.

AREA OF PROPOSED WORKS SHOWN HATCHED

**APPROVED**  
 BUILDING CONSENT MAY BE ISSUED  
 NAME: Y. R. ANG 2006  
 DATE: 10/8/06  
 HUTY CITY COUNCIL



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 Phone (04) 472-2261  
 Email admin@spencerholmes.co.nz

8 Willis Street  
 Wellington, NZ  
 Fax (04) 471-2372

CLIENT  
**BALANCED INVESTMENTS**

PRINCIPAL CONSULTANT

PROJECT  
**40 BOUVERIE STREET  
 PETONE**

DRAWING TITLE  
**PROPOSED ALTERATIONS**

DESIGNED PJM  
 DRAWN DJW  
 CHECKED [ ]

CAD FILE E050898-01  
 FIELD BOOK  
 DATE MARCH 2006

SCALE AS SHOWN  
 DRAWING NUMBER E05-0898-01

SIZE A1  
 REV C

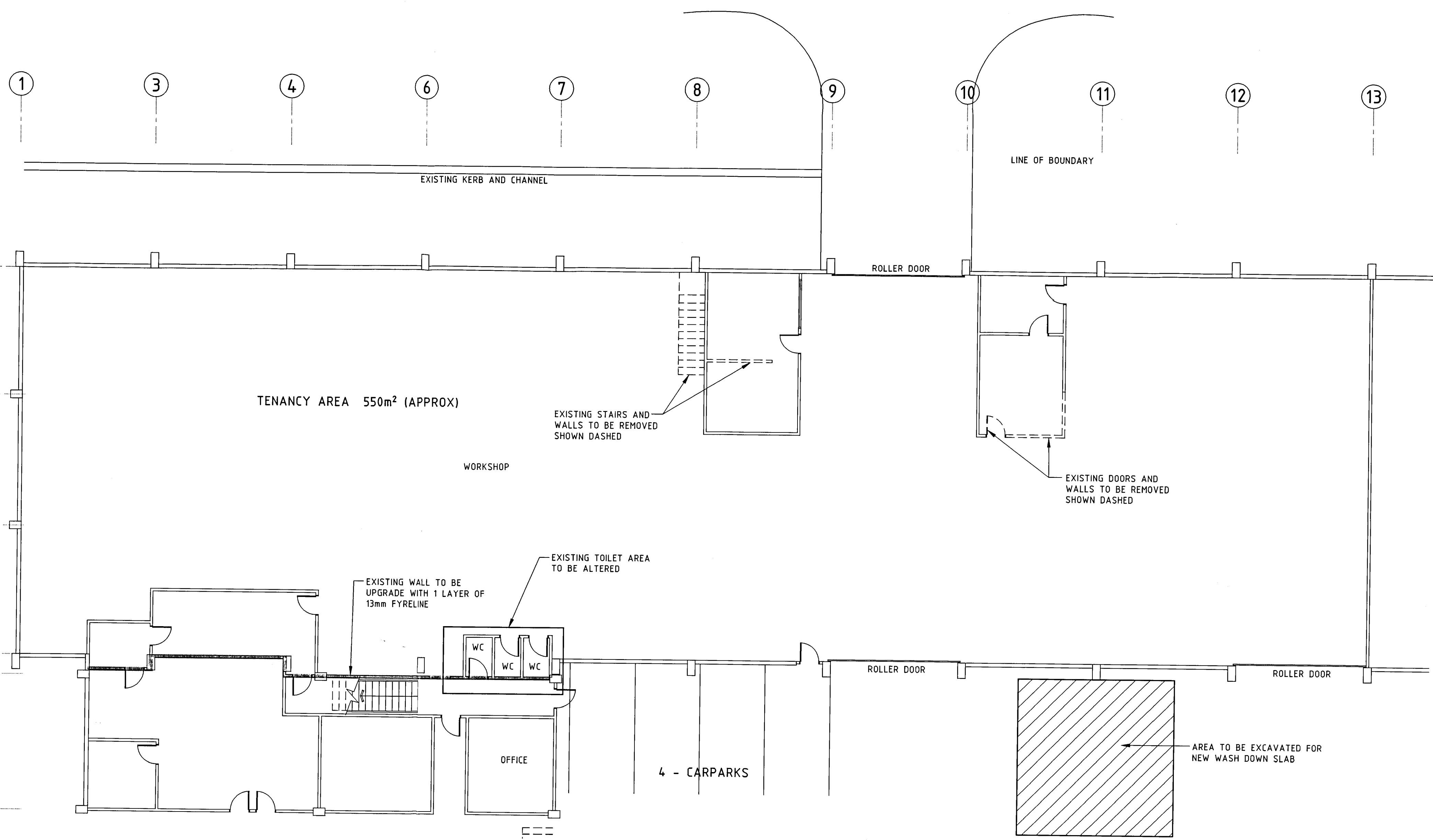
RESOURCE MANAGEMENT • LAND PLANNING • SURVEYING • STRUCTURAL • CIVIL • FIRE

COUNCIL COPY

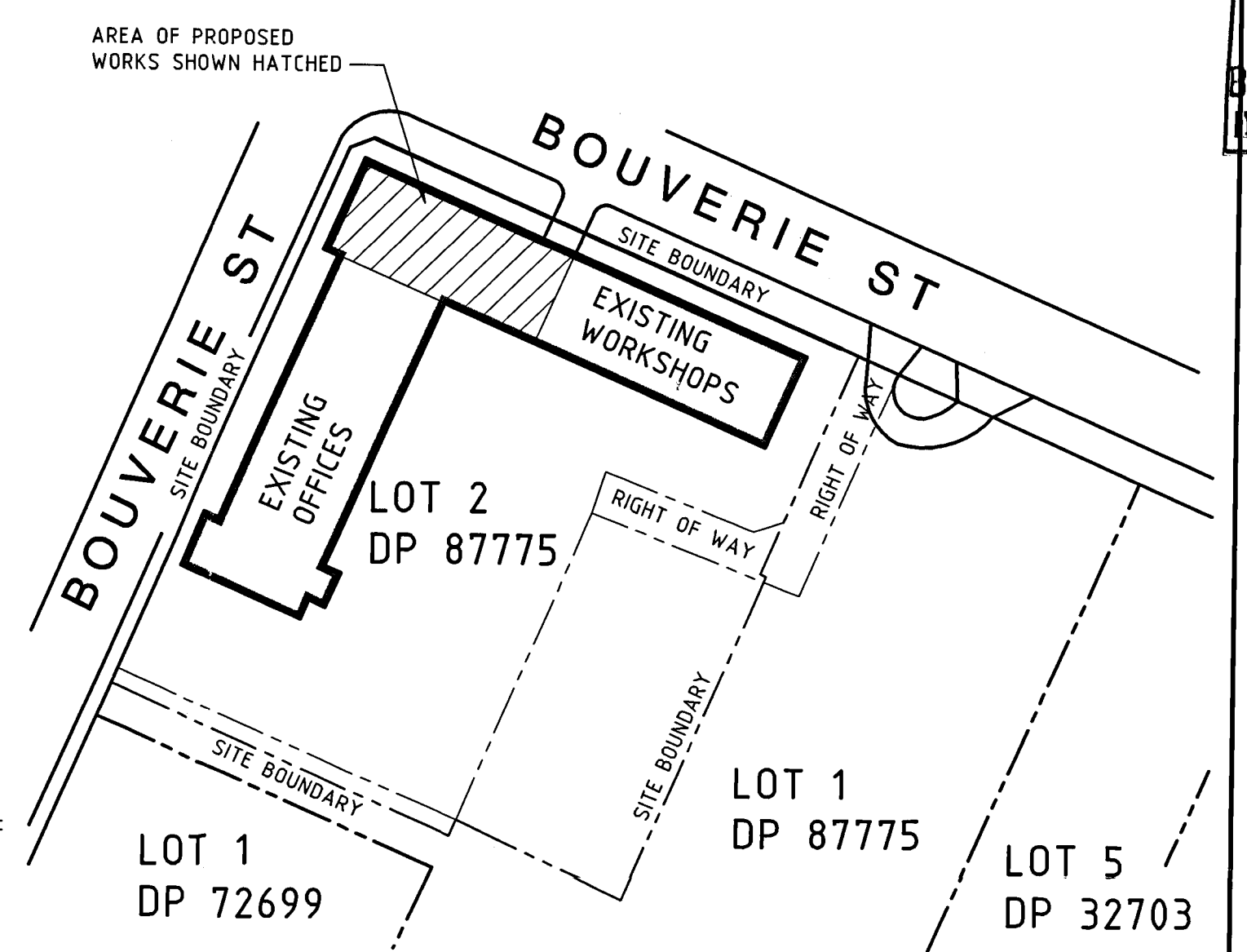
NO	REVISION	DATE
A	FOR CONSENT	DJW 18/7/06
B	CARPARKS ADDED	DJW 28/7/06
C	LAYOUT ALTERATIONS	DJW 7/8/06
D	EXISTING LAYOUT ADDED	DJW 22/8/06

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**BUILDING CONSENT APPROVED**  
 - 1 SEP 2006  
 BC 060454  
 HUTT CITY COUNCIL



**EXISTING PLAN**  
1:100



**LOCATION PLAN**  
1:1000

**AMENDED PLAN**  
 CONSENT No.: 060454  
 SITE: AS SHOWN  
 DATE: 22/8/06

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 Fax (04) 471-2372

CLIENT	BALANCED INVESTMENTS
PRINCIPAL CONSULTANT	
PROJECT	40 BOUVERIE STREET PETONE
DRAWING TITLE	LOCATION AND EXISTING PLANS
DESIGNED PJM	CAD FILE E050898-01
DRAWN DJW	FIELD BOOK
CHECKED	DATE MARCH 2006
SCALE AS SHOWN	SIZE A1
DRAWING NUMBER E05-0898-01	REV D

RESOURCE MANAGEMENT • LAND PLANNING • SURVEYING • STRUCTURAL • CIVIL

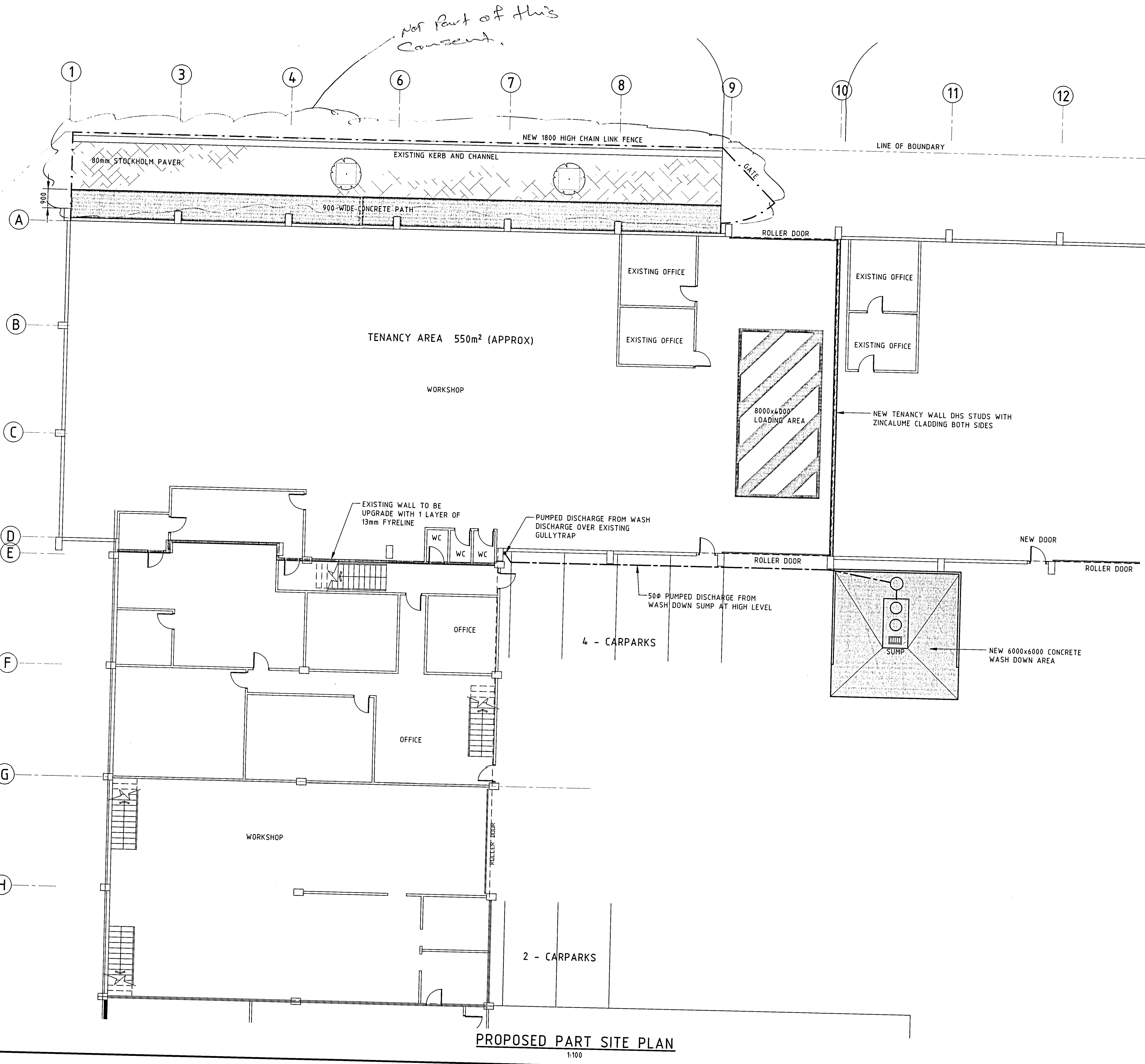
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A	FOR CONSENT
B	CARPARKS ADDED

**COUNCIL COPY**

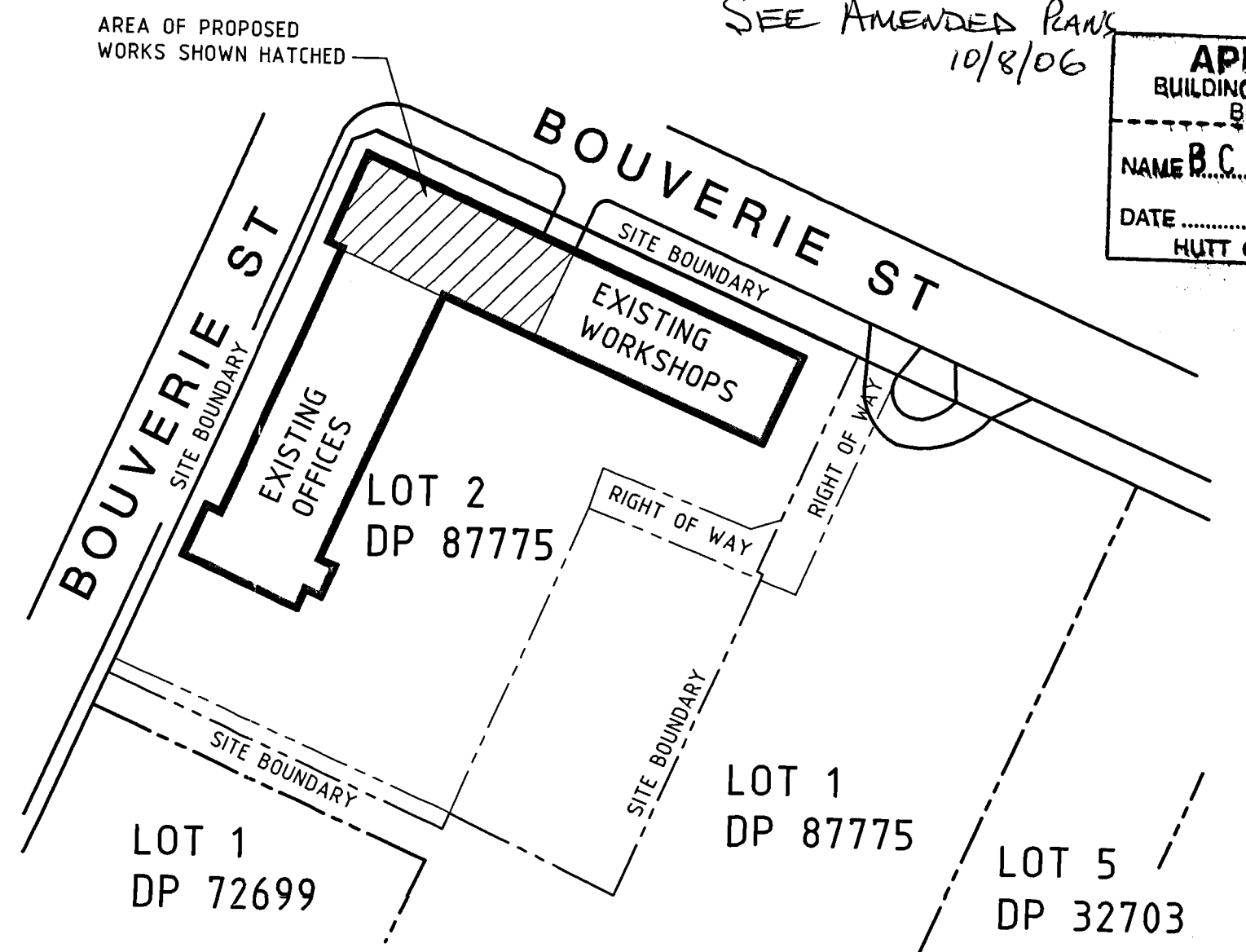
Copyright of this drawing is vested in Spencer Holmes Ltd.  
The Contractor shall verify all dimensions on site.

SEE AMENDED PLAN  
10/8/06

**APPROVED**  
BUILDING CONSENT MAY BE ISSUED  
NAME B.C. 06 0454  
DATE 15 JUN 2006  
HUTT CITY COUNCIL



**PROPOSED PART SITE PLAN**  
1:100



**LOCATION PLAN**  
1:1000

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CLIENT  
**BALANCED INVESTMENTS**

PRINCIPAL CONSULTANT

PROJECT  
**40 BOUVERIE STREET  
PETONE**

DRAWING TITLE  
**PROPOSED ALTERATIONS**

DESIGNED PJM  
DRAWN DJW  
CHECKED [ ]  
CAD FILE E050898-01  
FIELD BOOK [ ]  
DATE MARCH 2006

SCALE  
**AS SHOWN**  
DRAWING NUMBER  
**E05-0898-01**

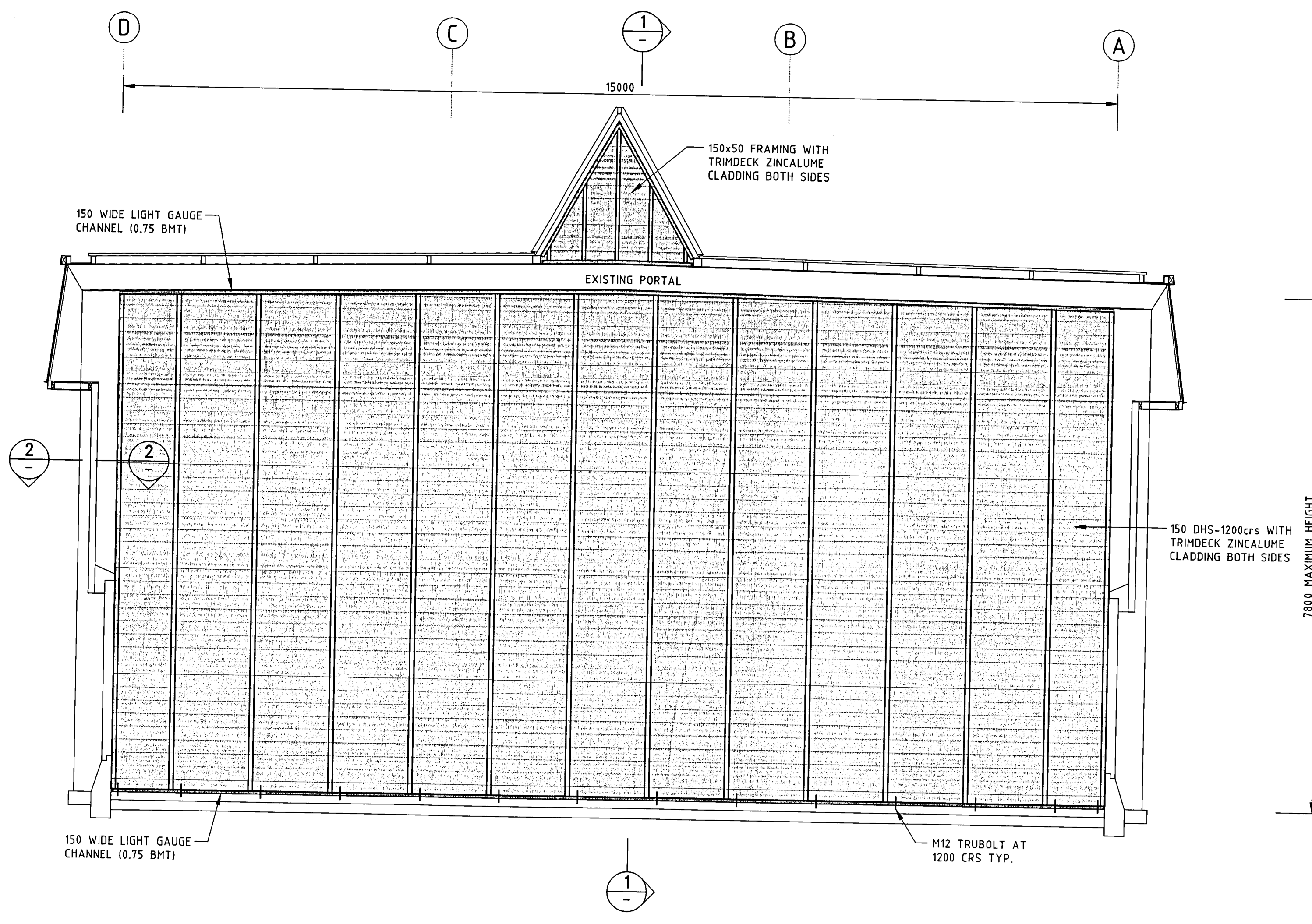
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**A1**  
REV  
**B**

RESOURCE MANAGEMENT • LAND PLANNING • SURVEYING • STRUCTURAL • CIVIL

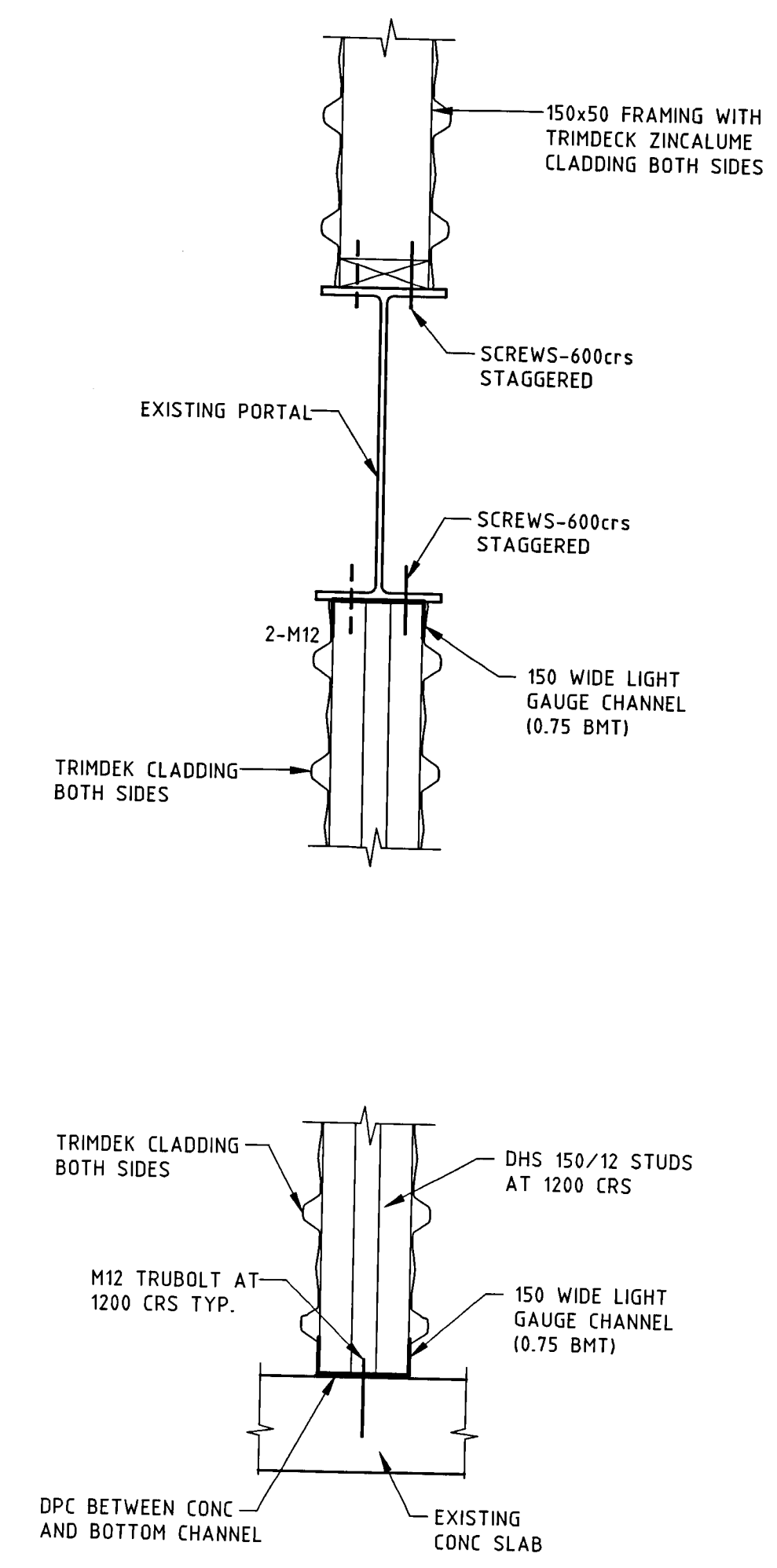
NO	REVISION	BY	DATE
A	FOR CONSENT	DJW	12/4/06

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The Contractor shall verify all dimensions on site.

80064



PROPOSED TENANCY WALL ELEVATION  
1:50



SECTION 1  
1:10

SECTION 2  
1:10

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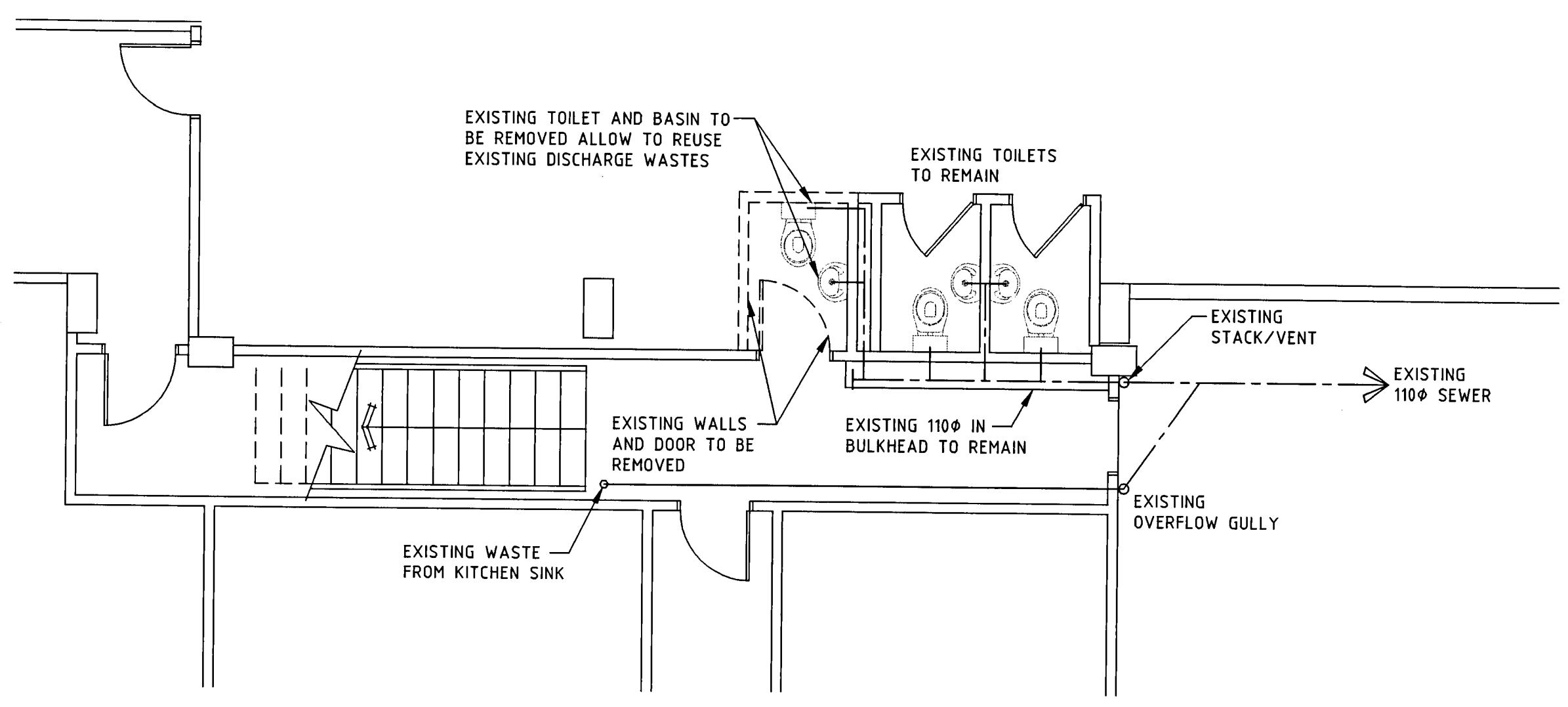
CLIENT	BALANCED INVESTMENTS
PRINCIPAL CONSULTANT	
PROJECT	40 BOUVERIE STREET PETONE
DRAWING TITLE	PROPOSED TENANCY WALL ELEVATION AND DETAILS
DESIGNED PJM	CAD FILE E050898-02
DRAWN DJW	FIELD BOOK
CHECKED	DATE MARCH 2006
SCALE AS SHOWN	SIZE A1
DRAWING NUMBER E05-0898-02	REV A

RESOURCE MANAGEMENT • LAND PLANNING • SURVEYING • STRUCTURAL • CIVIL • FIRE

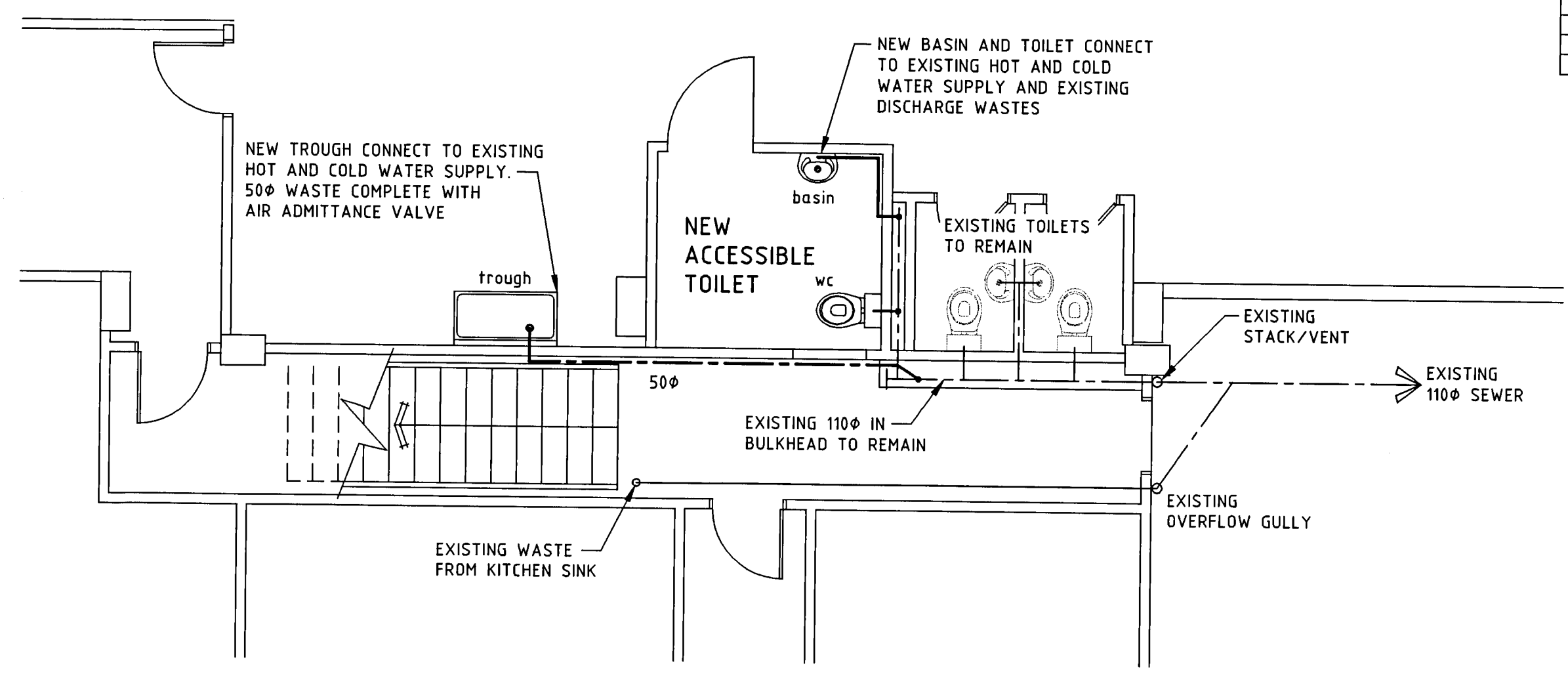
NO	REVISION	BY	DATE
A	FOR CONSENT	DJW	7/8/06

Copyright of this drawing is vested in Spencer Holmes Ltd.  
The Contractor shall verify all dimensions on site.

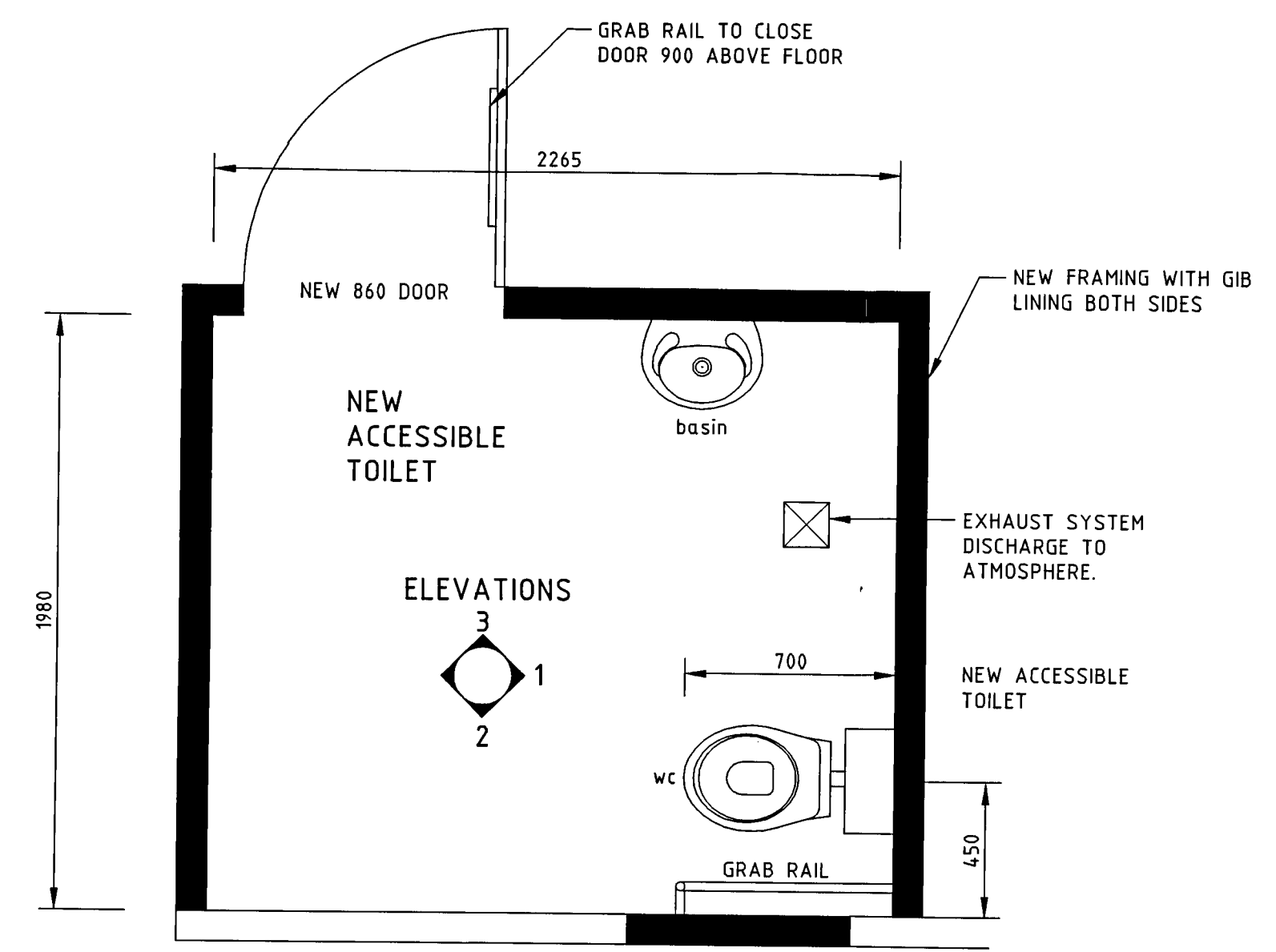
**APPROVED**  
BUILDING CONSENT MAY  
BE ISSUED  
NAME 060454  
DATE 18 AUG 2006  
HUTT CITY COUNCIL



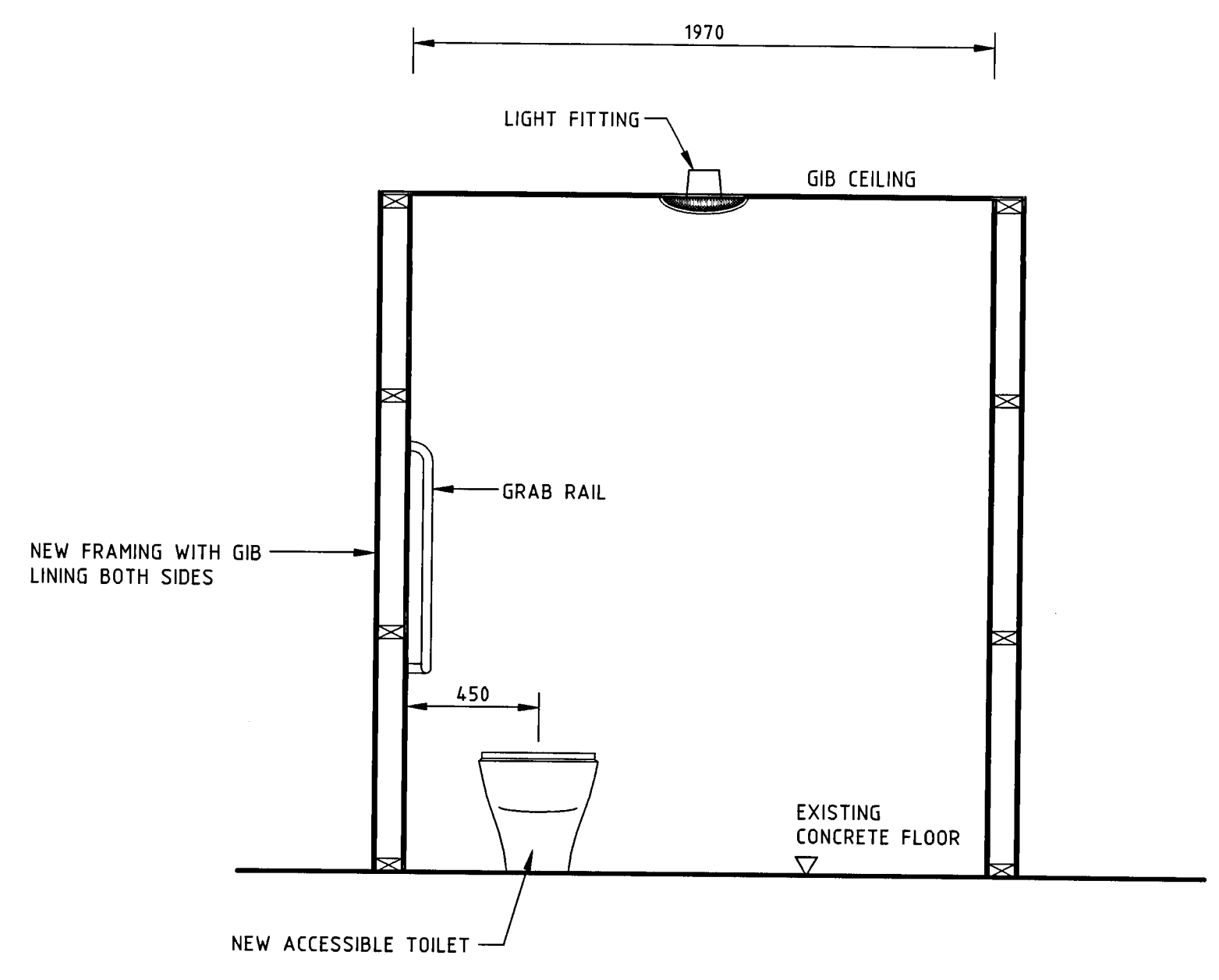
**EXISTING LAYOUT PLAN**  
1:50



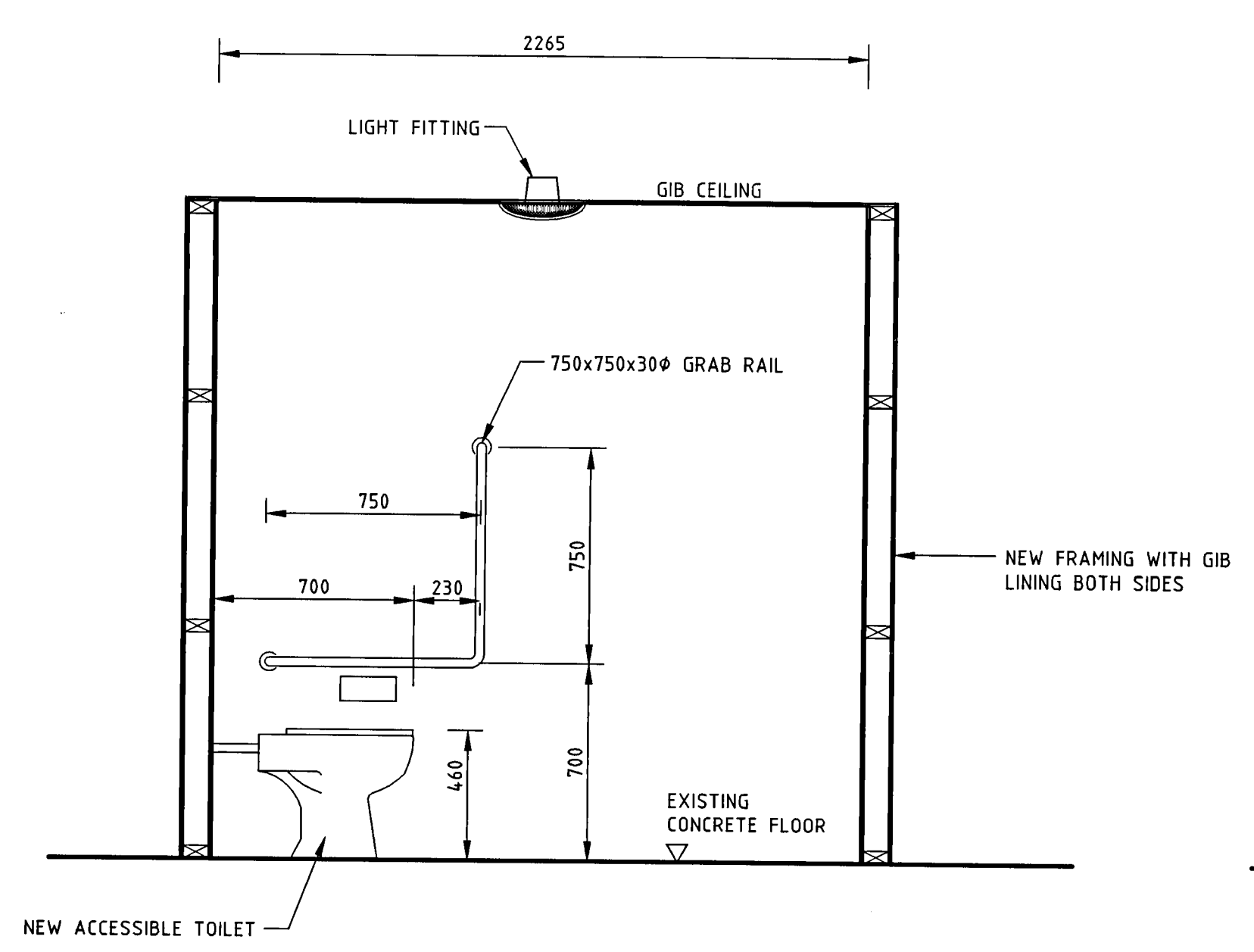
**PROPOSED TOILET LAYOUT PLAN**  
1:50



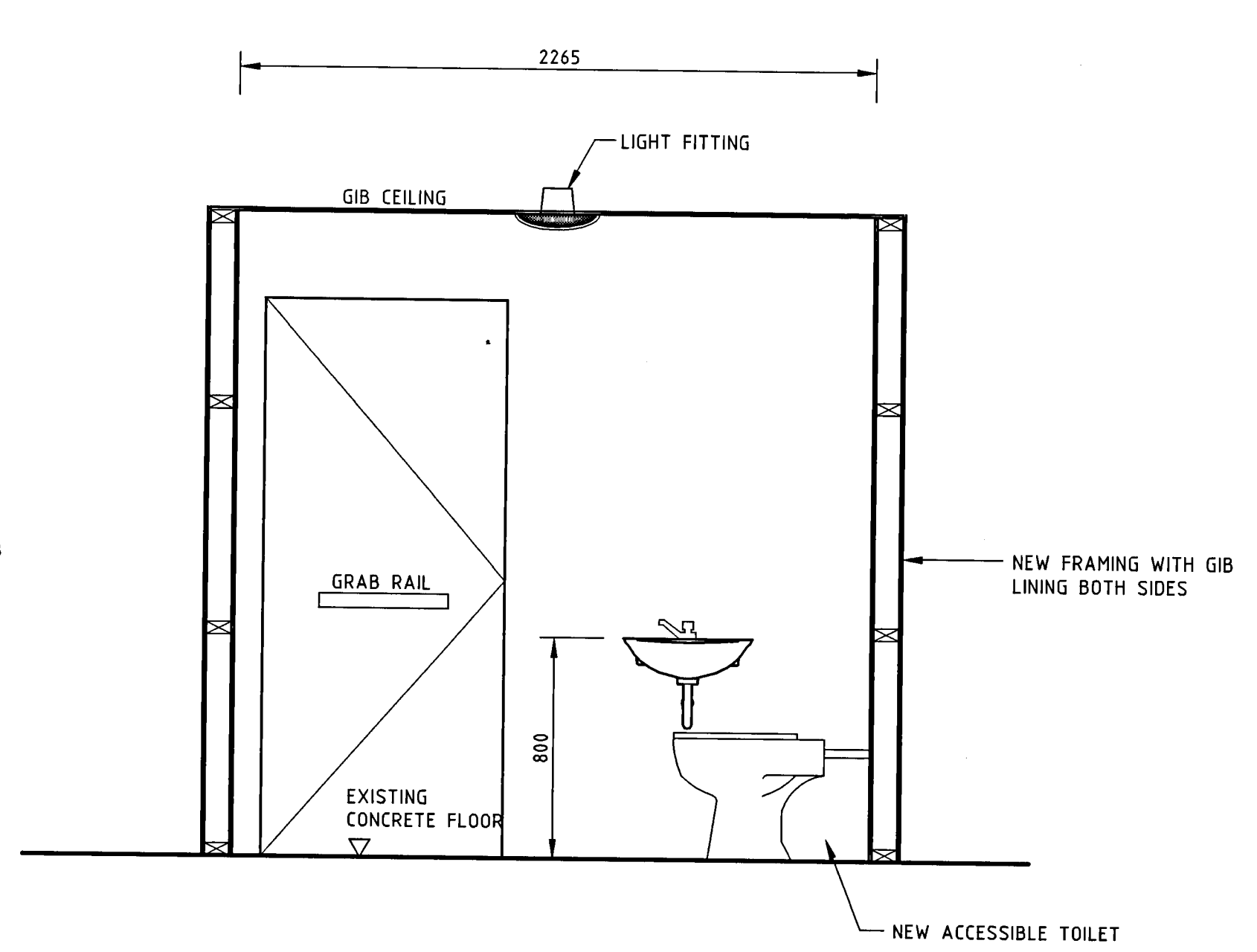
**PROPOSED ACCESSIBLE TOILET PLAN**  
1:20



**INTERNAL ELEVATION 1**  
1:20



**INTERNAL ELEVATION 2**  
1:20



**INTERNAL ELEVATION 3**  
1:20

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CLIENT  
**BALANCED INVESTMENTS**

PRINCIPAL CONSULTANT

PROJECT  
**40 BOUVIERIE STREET  
PETONE**

DRAWING TITLE  
**PROPOSED ACCESSIBLE TOILET  
PLAN AND ELEVATIONS**

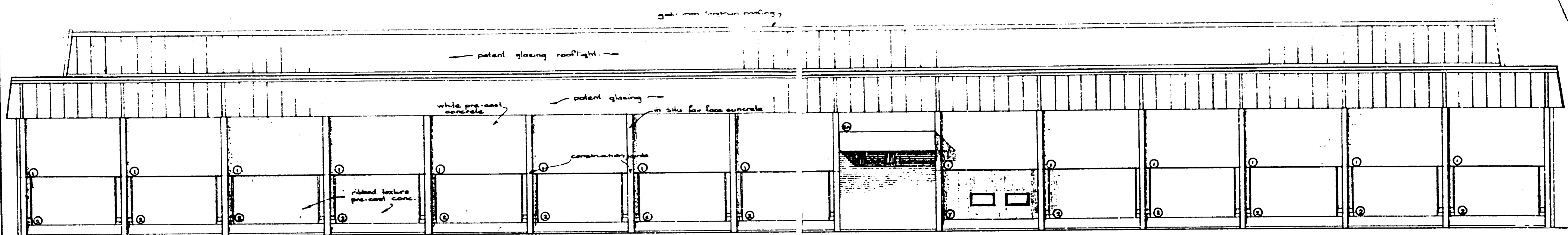
DESIGNED PJM  
DRAWN DJW  
CHECKED

CAD FILE E050898-04  
FIELD BOOK  
DATE AUGUST 2006

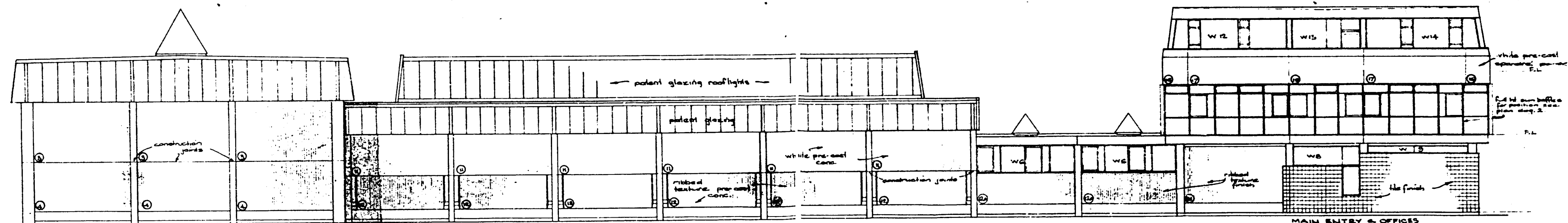
SCALE AS SHOWN  
SIZE A1

DRAWING NUMBER E05-0898-04  
REV A

RESOURCE MANAGEMENT · LAND PLANNING · SURVEYING · STRUCTURAL · CIVIL · FIRE



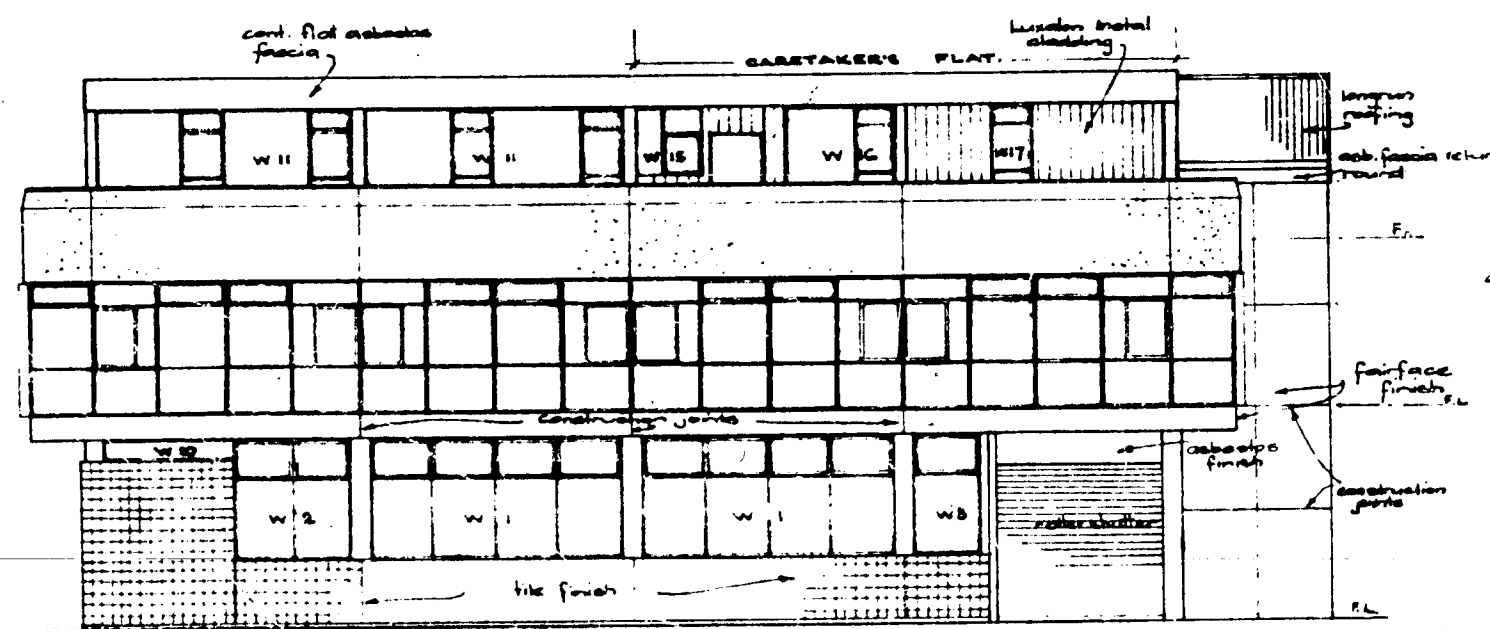
MAIN STORE - NORTH ELEVATION (to Bouverie St)



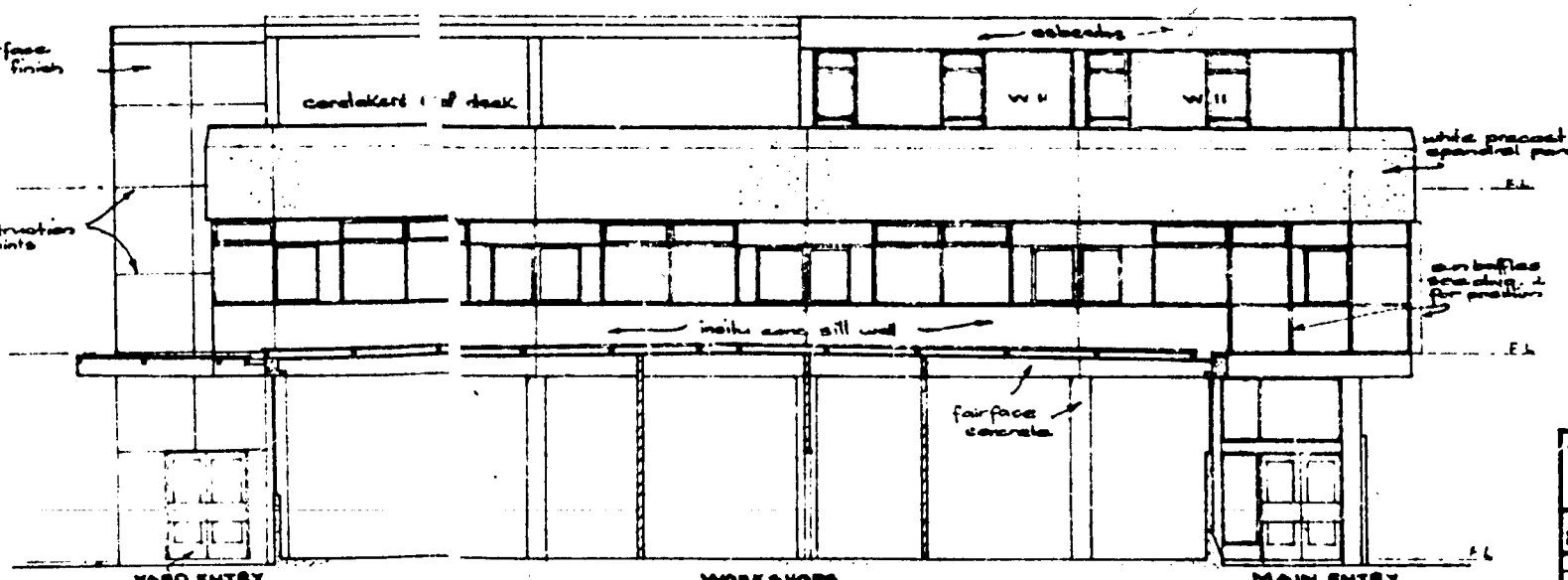
WEST ELEVATION (to Bouverie St)



EAST ELEVATION (to vehicle yard)



SOUTH ELEVATION

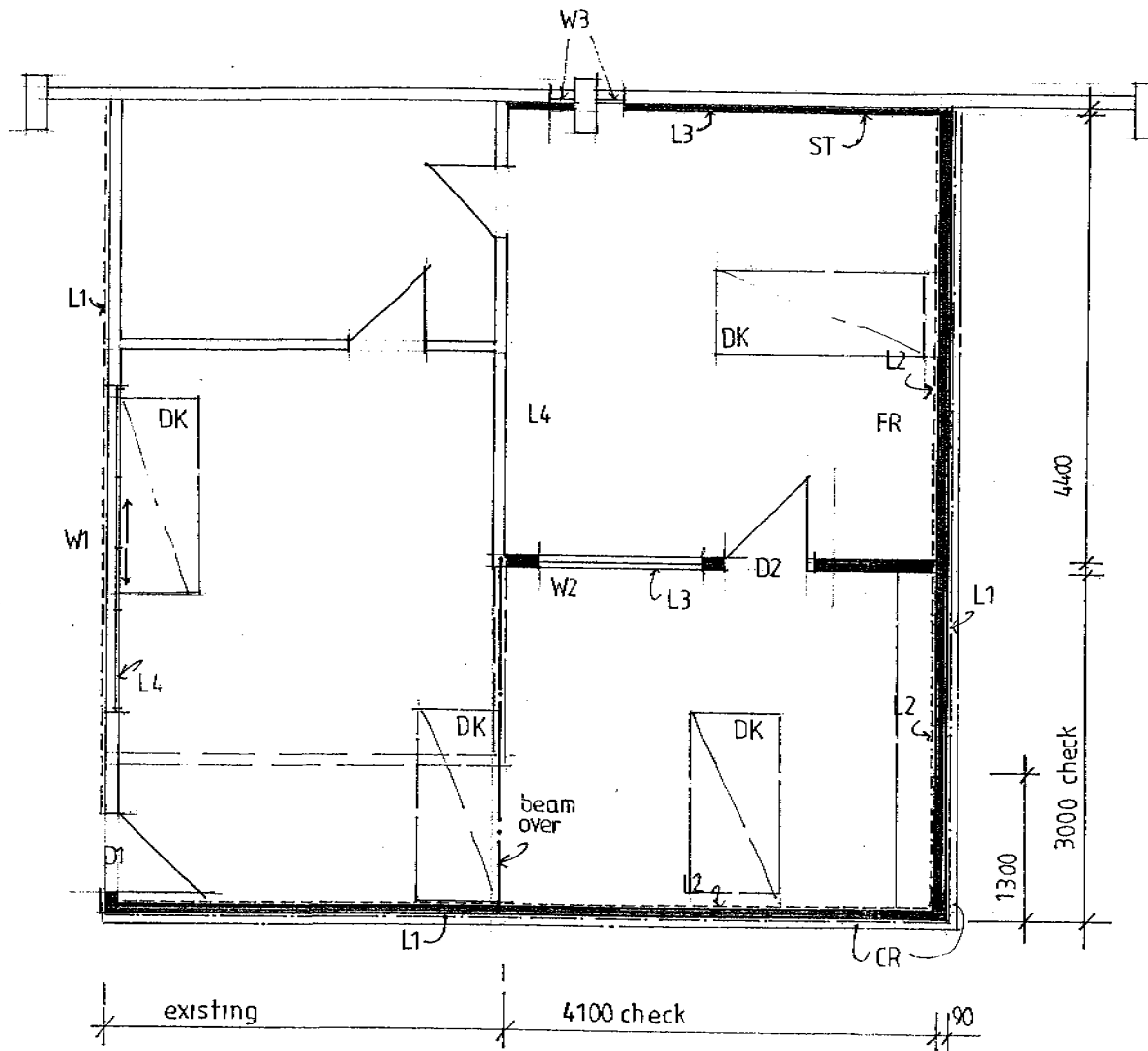


NORTH ELEVATION

THIS COPY MUST BE  
RETAINED ON WORKS

PETONE BOROUGH COUNCIL  
ENGINEERS DEPT.  
APPROVED  
*KAZ* 17/10/75

Scale: 1:100	BOLVERIE STREET DEVELOPMENT - STAGE I for the H.V.E.P. & C.B.	Job no. 77/11/515
Drawn: JPB, R.C.	COOK, NIGHTINGALE & ASSOCIATES Registered Architects - Consulting Engineers under H.M.A.	diag. no. 4
Traced: R.C.		
Checked:	ELEVATIONS	
Date: Feb. '75		



## FLOOR PLAN 1:50

### Notes:

- FR 90 x 45mm H1.2 framing to exterior  
3 sets of dwangs with a third at between the CR and lower dwang  
Place 1.8 batts to exterior wall
- ST 45mm strapping and insulation
- CR 300 x 45mm crash rail at a height approx 300mm above ground  
or as to be advised

### LININGS

- L1 10mm ply to be painted with butt joints
  - L2 13mm Noiseline Gib. Bd.
  - L3 13mm Standard Gib. Bd.
  - L4 Reline to leave a good finish as required
- Ceilings - 13mm Standard Gib. Bd.

BC 060454

- D1. Reused door in new frame
- D2. 810mm HCFP paint quality
- W1. new aluminium sliders to replace window
- W2. fixed window above 1.5m x 600mm
- W3. replace existing glass for clear toughened as advised

### FLOOR FINISH

New carpet by tenant's selection

### WALL FINISH

Interior fully repainted to semigloss color (a selected light cream)  
Ceilings fully repainted with ceiling paint (white)

DK desk positions to be verified

### ELECTICAL, TELPHONES, COMPUTER CABLING

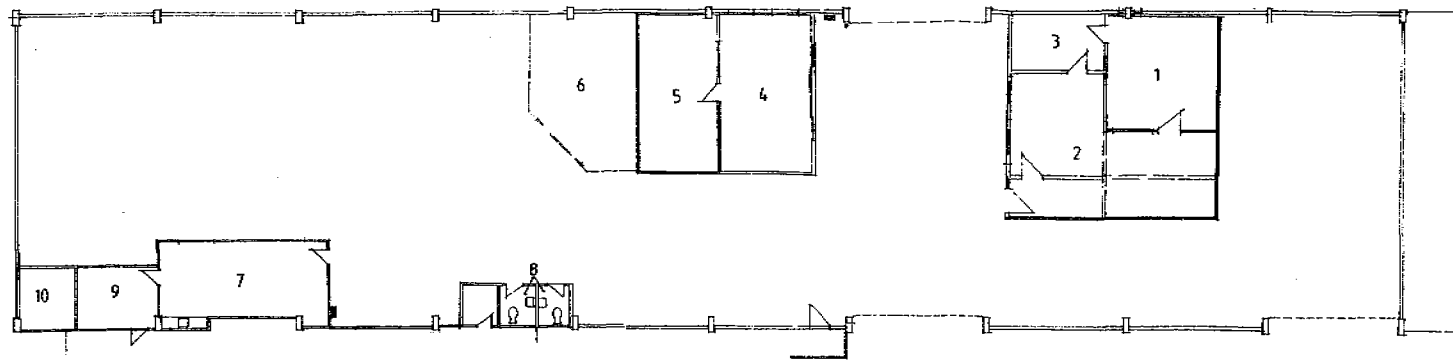
To be in wall framing as shown on the electrical plan

**COUNCIL COPY**

Notes:

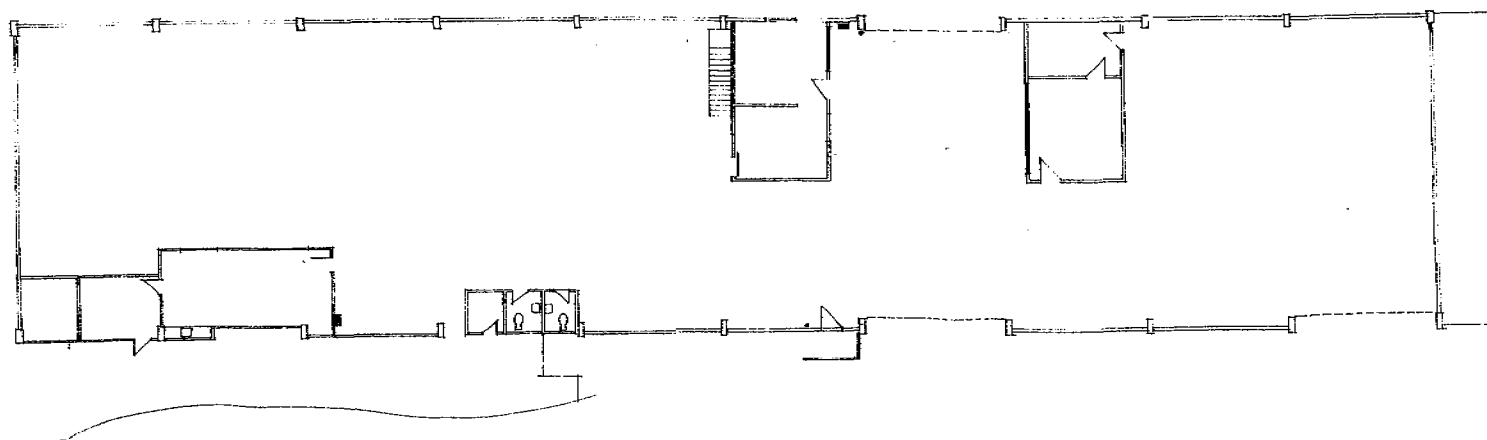
- 1. Manager
- 2. general office
- 3. records
- 4. showroom
- 5. sales office
- 6. parts store
- 7. staff tea room
- 8. staff toilets
- 9. open store
- 10. plant room

**BUILDING CONSENT  
APPROVED**  
- 1 SEP 2006  
B C 060454  
HUTT CITY COUNCIL



**INTERNAL PARTIONING 1: 00**

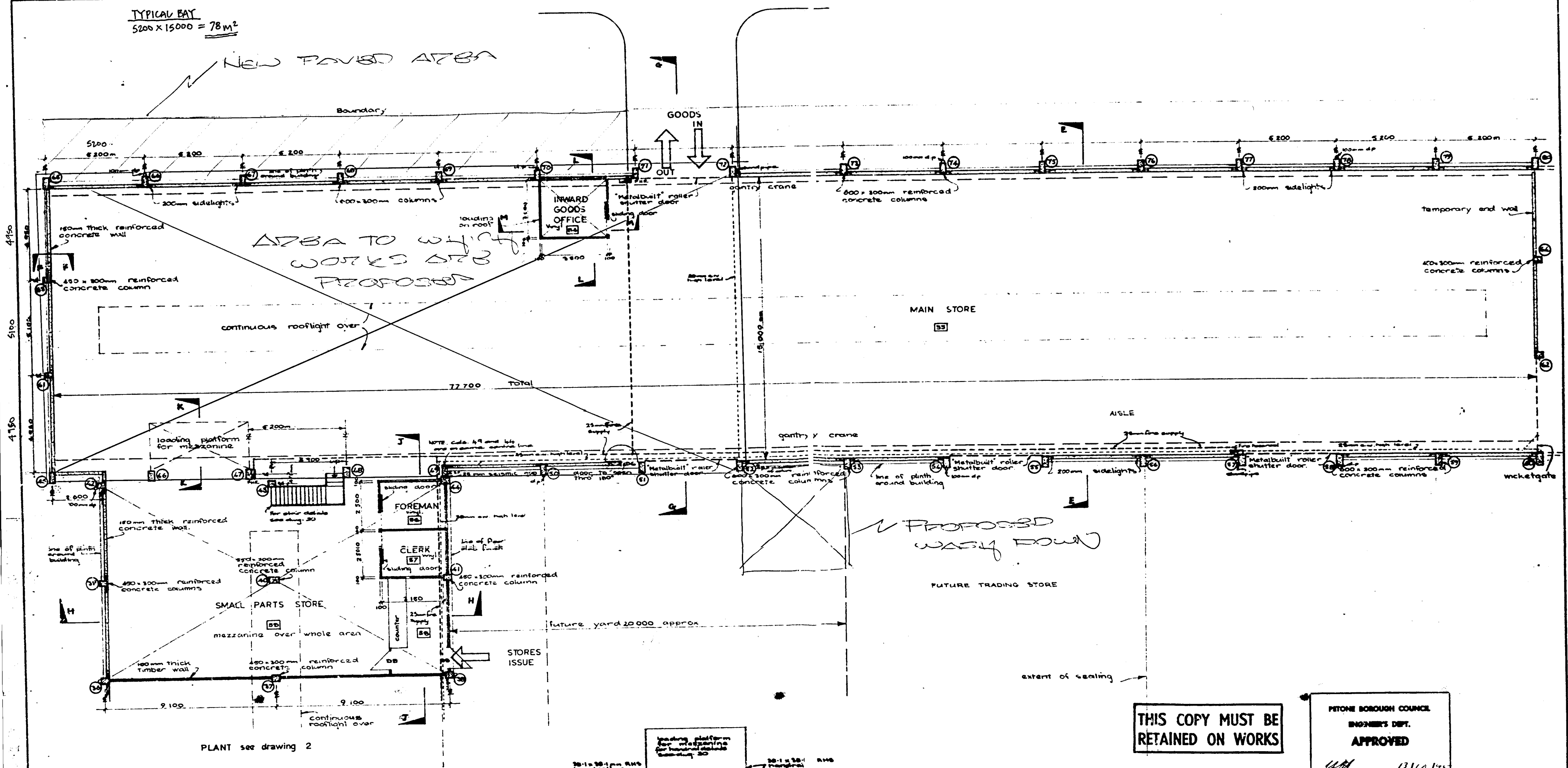
**AMENDED PLAN**  
CONSENT No. 060454  
SITE: 40 BOUVERIE ST  
DATE: 22/8/06



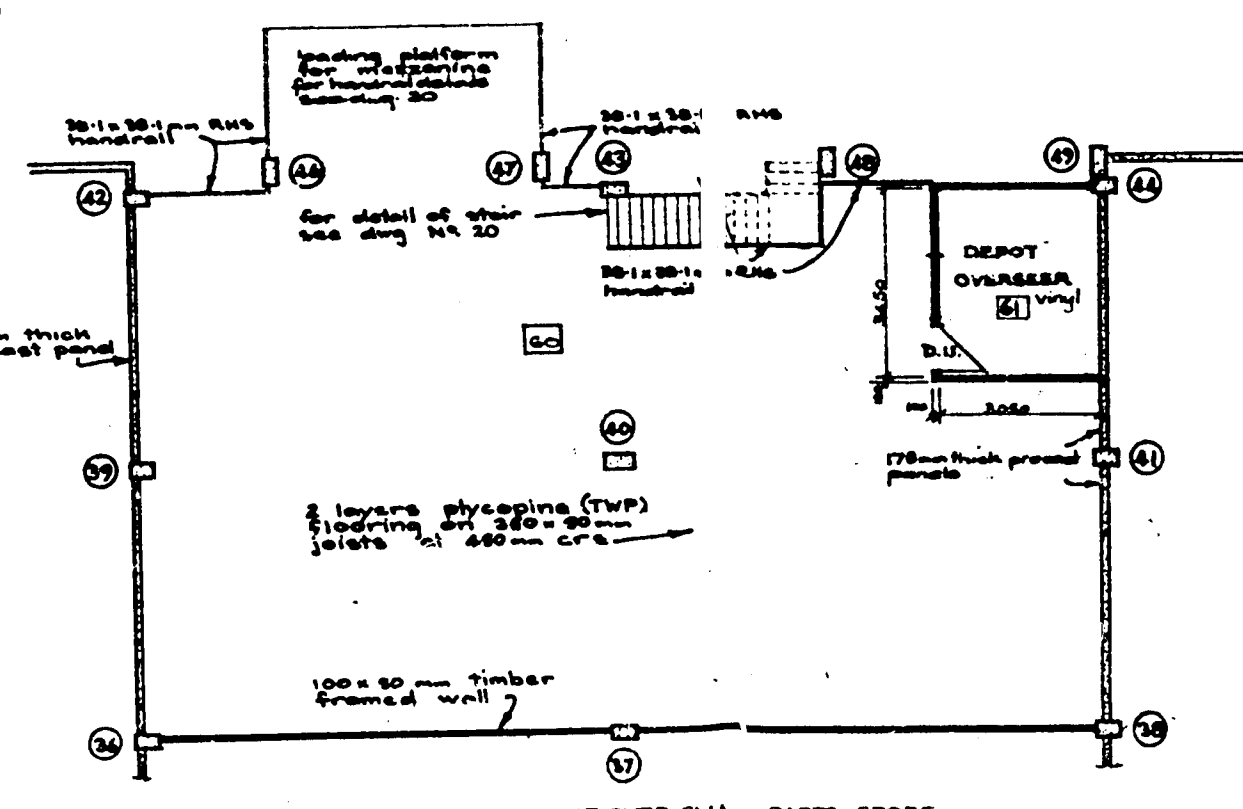
**EXISTING FLOOR PLAN 1: 00**

TYPICAL BAY  
5200 x 15000 = 78 m<sup>2</sup>

NEW PAVED AREA



PLANT see drawing 2



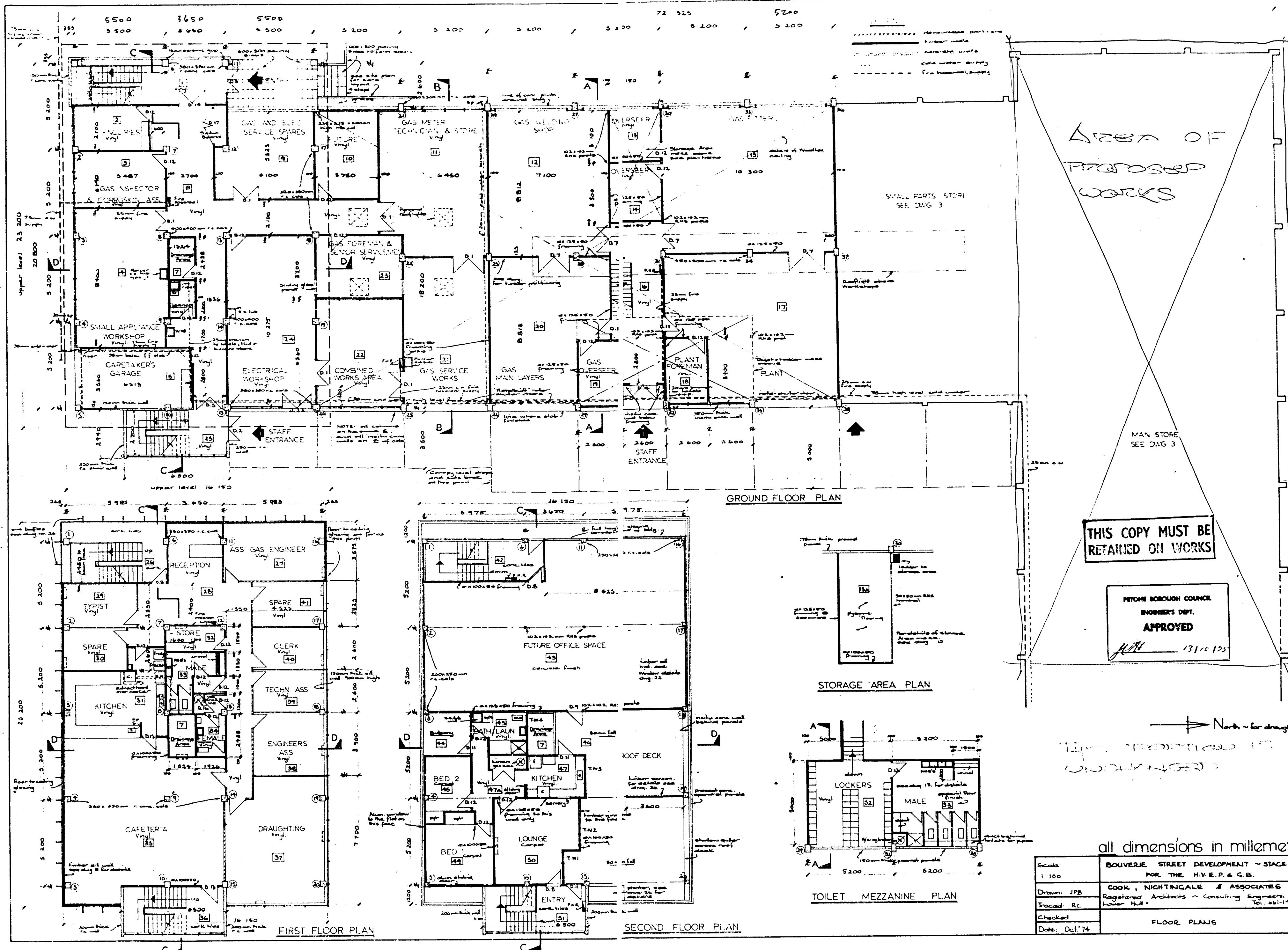
PLAN OF MEZZANINE OVER SMALL PARTS STORE

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PETONE BOROUGH COUNCIL  
ENGINEER'S DEPT.  
APPROVED  
*[Signature]* 13/10/75

all dimensions in millimetres

Scale: 1:100	BOUVERIE STREET DEVELOPMENT for the H.V.E.F. & G.B.	Job No. 73/14/518
drawn: JPB	COOK NIGHTINGALE & ASSOCIATES Registered Architects-Consulting Engineers Lower HUT	dwg No. 3
checked:	GROUND FLOOR PLAN OF SMALL PARTS STORE & MAIN STORE.	Tray 31
date: Feb 75		



THIS COPY MUST BE  
RETAINED ON WORKS

PITCHE BOROUGH COUNCIL  
ENGINEERS DEPT.  
APPROVED  
*[Signature]* 13/10/74

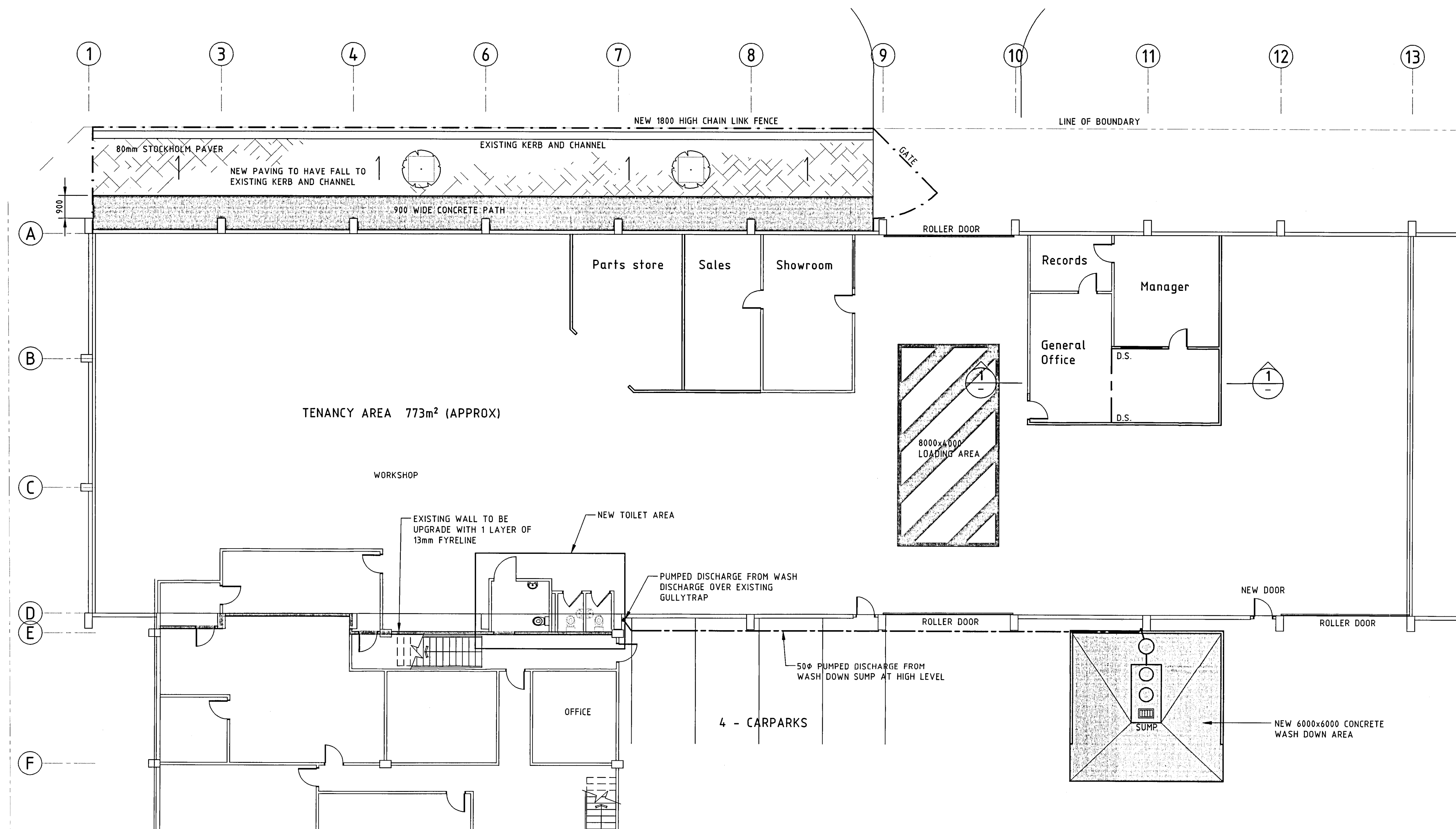
North - for draughting purpose

all dimensions in millimetres

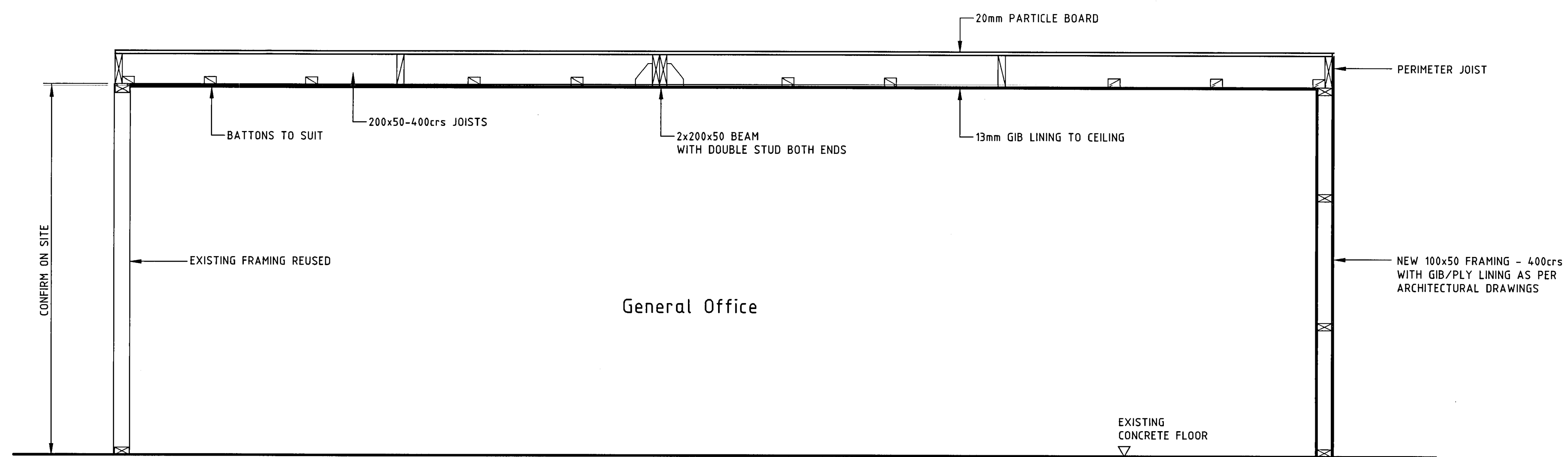
Scale:	BOUVERIE STREET DEVELOPMENT - STAGE I	Job no
1:100	FOR THE H.V.E.P. & C.B.	73/11/61
Drawn:	COOK, NIGHTINGALE & ASSOCIATES	diag no
Traced:	Registered Architects - Consulting Engineers	2
Checked:	Lower Hall	Tray 31
Date:	FLOOR PLANS	
Oct '74		

NO	REVISION	BY	DATE
A	FOR CONSENT	DJW	12/4/06
B	ARCHITECTS LAYOUT ADDED	DJW	23/8/06

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**PROPOSED PLAN**  
1:100



**SECTION 1**  
1:20

**AMENDED PLAN**  
CONSENT No: 060454  
SITE: AS SHOWN  
DATE: 22/8/06

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CLIENT  
**BALANCED INVESTMENTS**

PRINCIPAL CONSULTANT

PROJECT  
**40 BOUVIERIE STREET  
PETONE**

DRAWING TITLE  
**PROPOSED PLAN  
AND DETAILS**

DESIGNED PAM  
DRAWN DJW  
CHECKED  
CAD FILE E050898-02  
FIELD BOOK  
DATE MARCH 2006

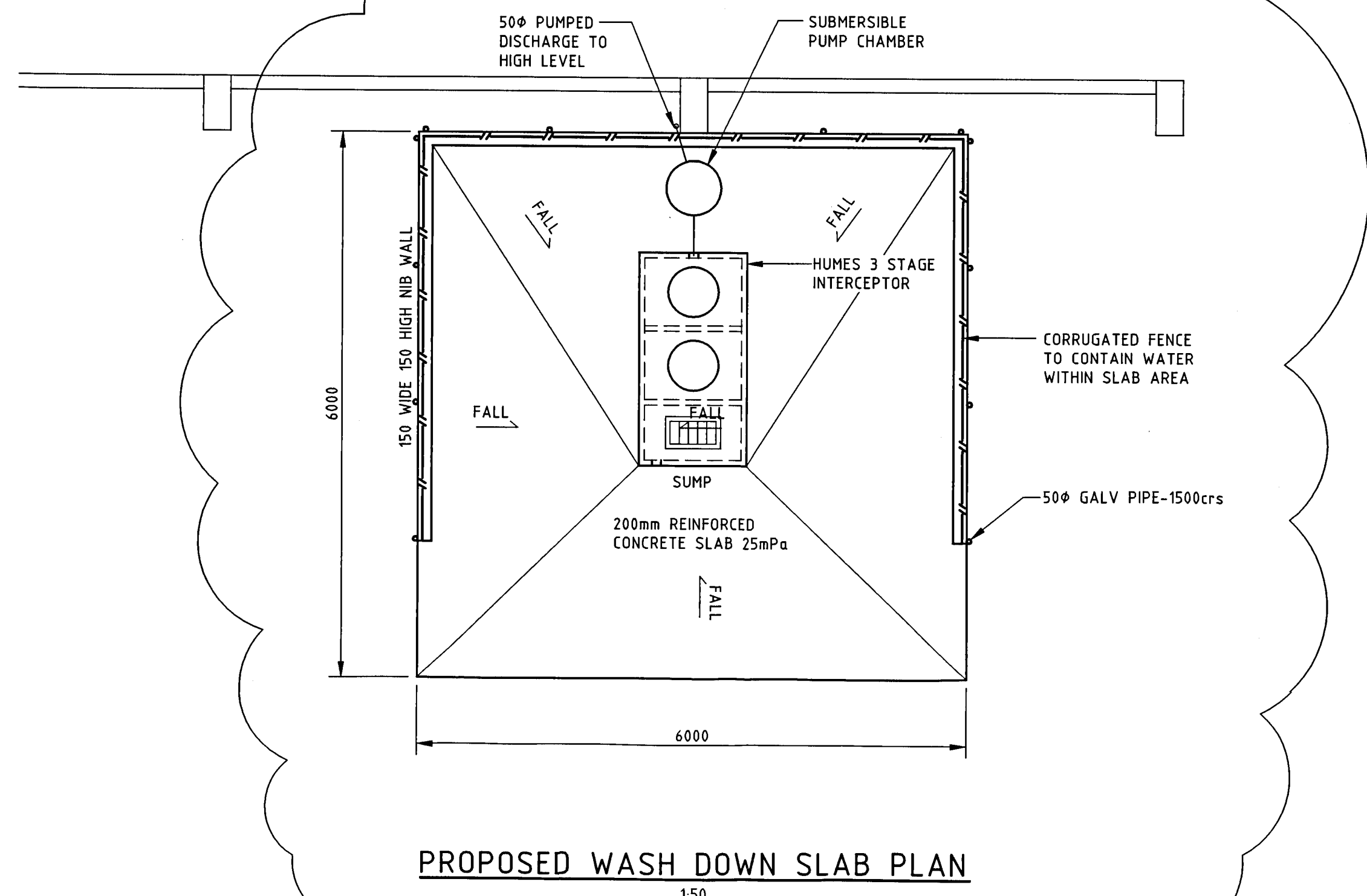
SCALE AS SHOWN  
DRAWING NUMBER E05-0898-02  
SIZE A1  
REV B

RESOURCE MANAGEMENT - LAND PLANNING - SURVEYING - STRUCTURAL - CIVIL FIRE

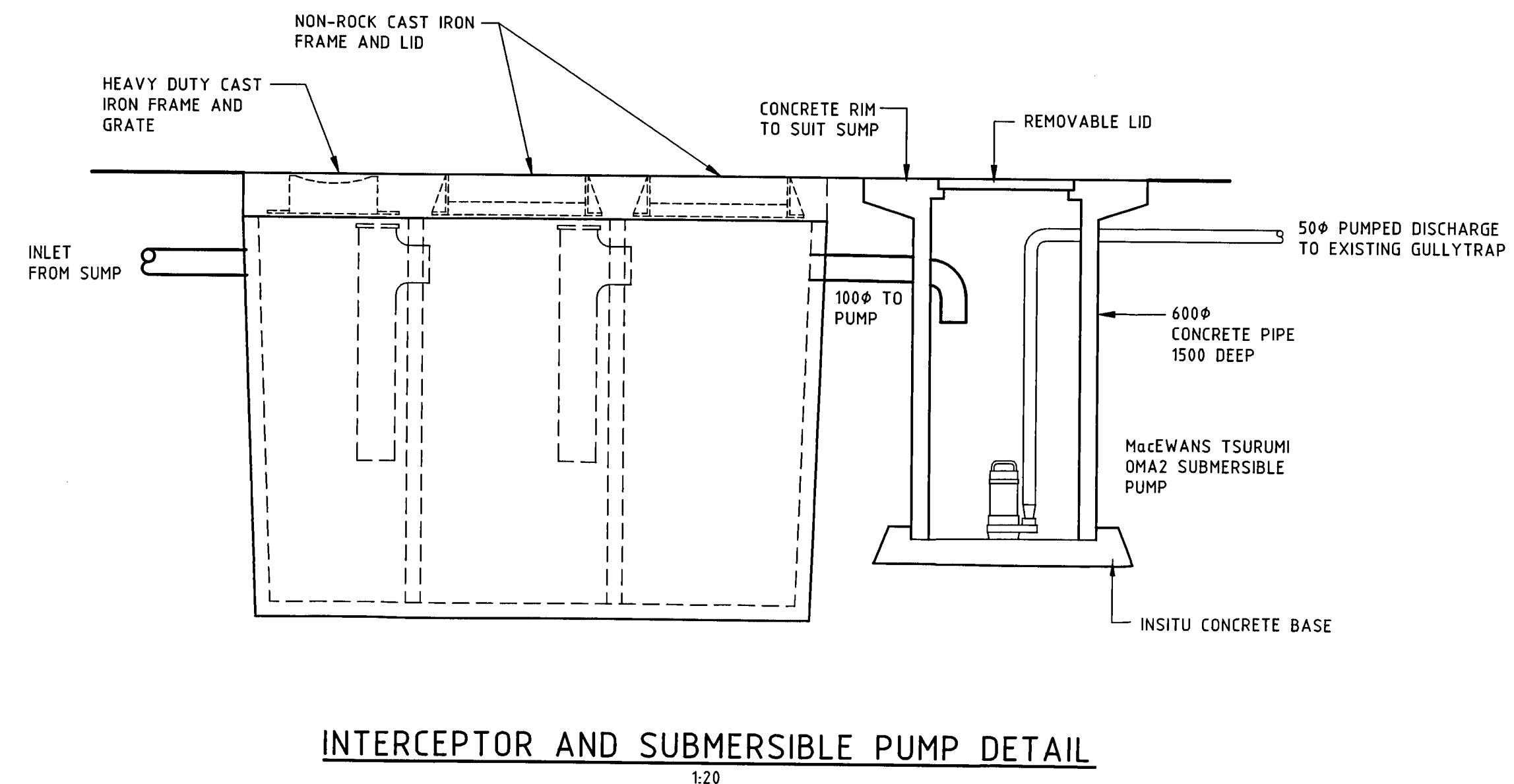
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B	LAYOUT ALTERED	DJW	7/8/06

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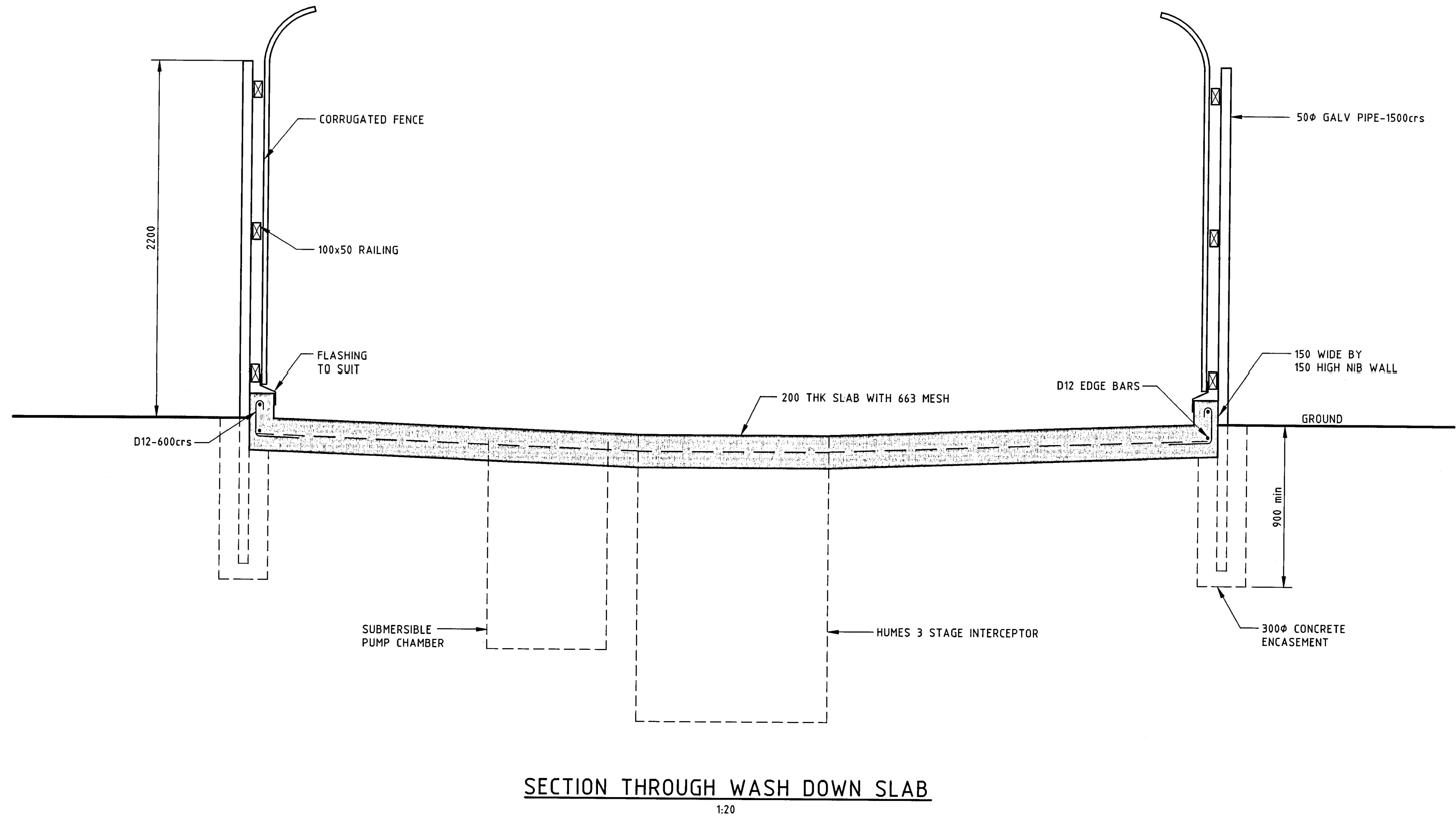
**APPROVED**  
BUILDING CONSENT MAY  
BE ISSUED  
NAME **060454**  
DATE **18 AUG 2006**  
HUTT CITY COUNCIL



**PROPOSED WASH DOWN SLAB PLAN**  
1:50



**INTERCEPTOR AND SUBMERSIBLE PUMP DETAIL**  
1:20



**SECTION THROUGH WASH DOWN SLAB**  
1:20

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PRINCIPAL CONSULTANT

PROJECT  
**40 BOUVIERIE STREET  
PETONE**

DRAWING TITLE  
**WASH DOWN SLAB  
PLAN AND DETAILS**

DESIGNED PJM  
DRAWN DJW  
CHECKED

CAD FILE E050898-02  
FIELD BOOK  
DATE MARCH 2006

SCALE AS SHOWN  
DRAWING NUMBER E05-0898-03

SIZE A1  
REV B

RESOURCE MANAGEMENT - LAND PLANNING - SURVEYING - STRUCTURAL - CIVIL - FIRE

27 April 2007

Contact: G L Tipler  
Group/Division: Inspection and Enforcement  
Telephone: 04 570 6989  
Facsimile: 04 579 6855  
E.Mail: gary.tipler@huttcity.govt.nz  
Our Reference: BC 061321

McCombie Gieck Family Trust  
No 2 Nominees Ltd  
PO Box 30626  
LOWER HUTT 5040

Dear Madam / Sir

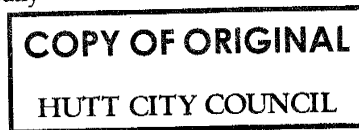
**BUILDING CONSENT 061321 – 40 BOUVERIE STREET PETONE**

Please find enclosed the Territorial Authority's Code Compliance Certificate concerning the above Building Consent.

There is a considerable emphasis on obtaining a Code Compliance Certificate under the Building Act 2004, which also places significant value on this certificate. Please ensure this is filed in a safe, retrievable archive, available for future reference.

Should you need to make a future enquiry, regarding this application, please quote the Building Consent number.

Yours faithfully



G L Tipler  
BUILDING INSPECTIONS MANAGER

## Code Compliance Certificate

Section 95, Building Act 2004

<b>The Building</b>	
Street address of building: <b>40 Bouverie Street Petone</b> Building name: Level/unit number: Year first constructed:	Legal description of land where building is located: <b>LOT 2 DP 87775</b> Location of building within site/block number: Current, lawfully established, use:
<b>The Owner</b>	
Name of owner: <b>McCombie Gieck Family Trust</b> <b>No 2 Nominees Ltd</b> Mailing address: <b>PO Box 30626</b> <b>LOWER HUTT 5040</b>	Contact person: Email address: Website:
<b>Building Work</b>	
<b>BC 061321</b>	<i>Building alteration - fitout</i>
<b>Council Contact</b>	
First point of contact for communications with the Council: <i>Building Inspections Manager, Phone 570 6666, Private Bag 31912 Lower Hutt.</i>	

**Code Compliance**

The building consent authority named below is satisfied, on reasonable grounds, that —

- (a) the building work complies with the building consent; and
- (b) the specified systems in the building are capable of performing to the performance standards set out in the building consent.

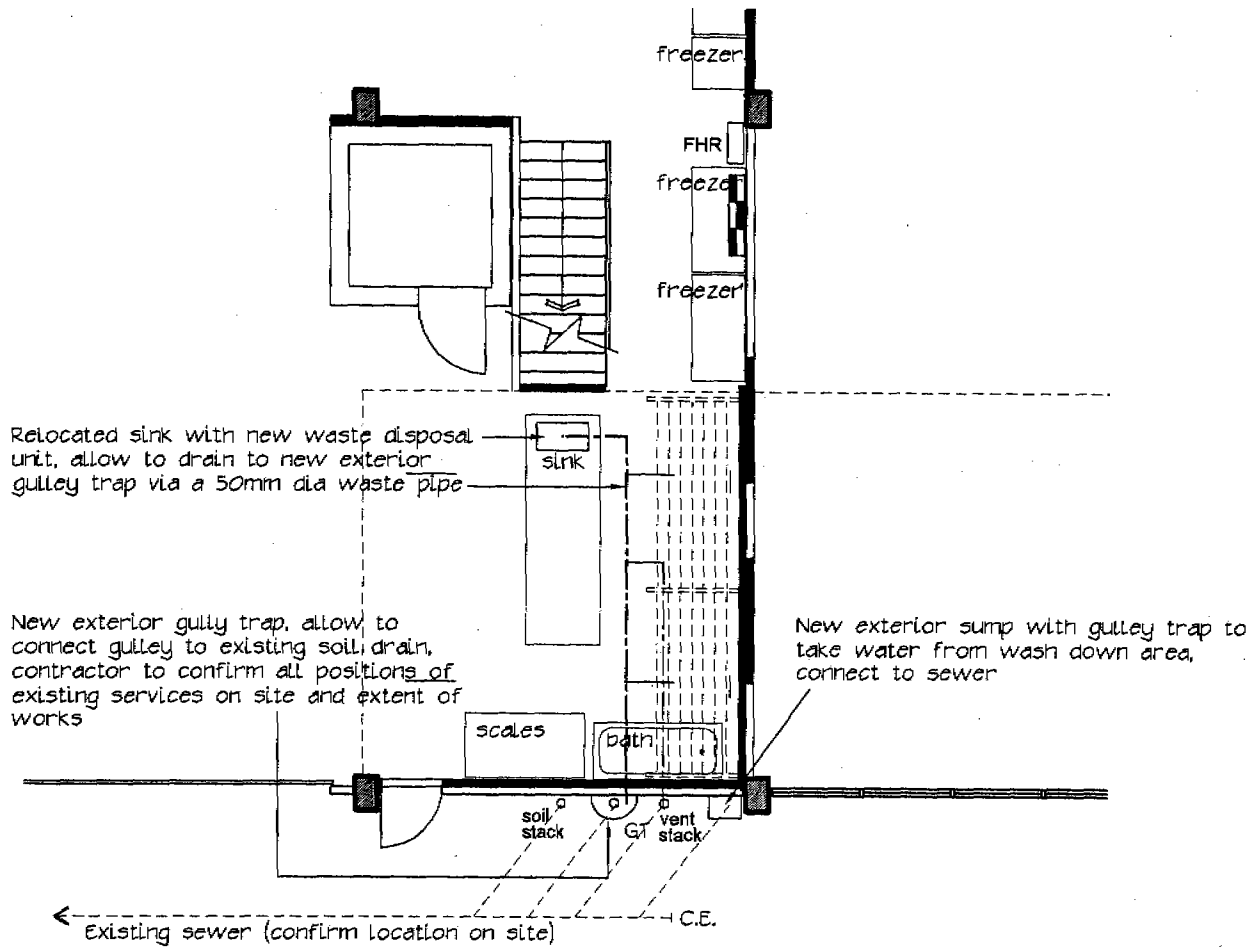
Issued by Hutt City Council  
 30 Laings Road Lower Hutt



Date: 27 April 2007

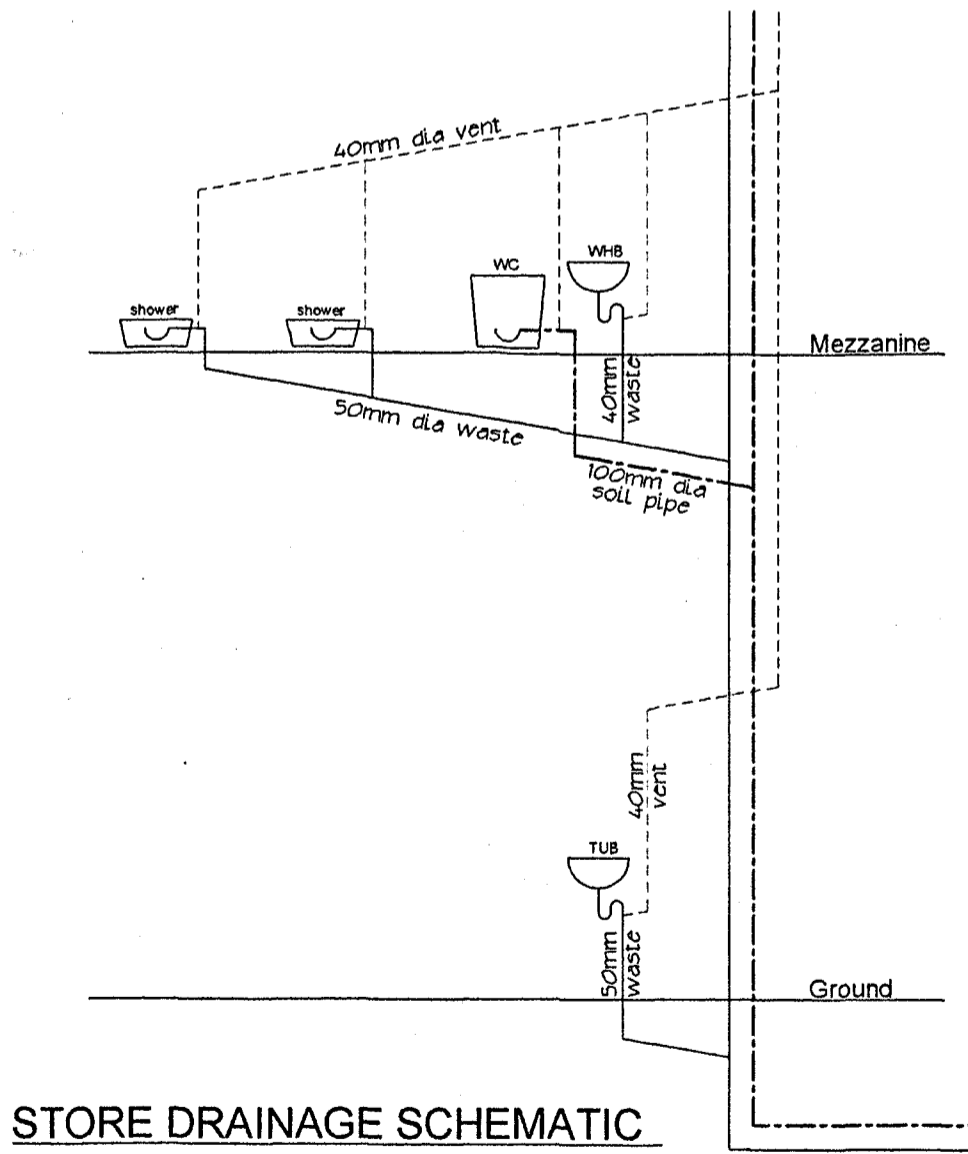
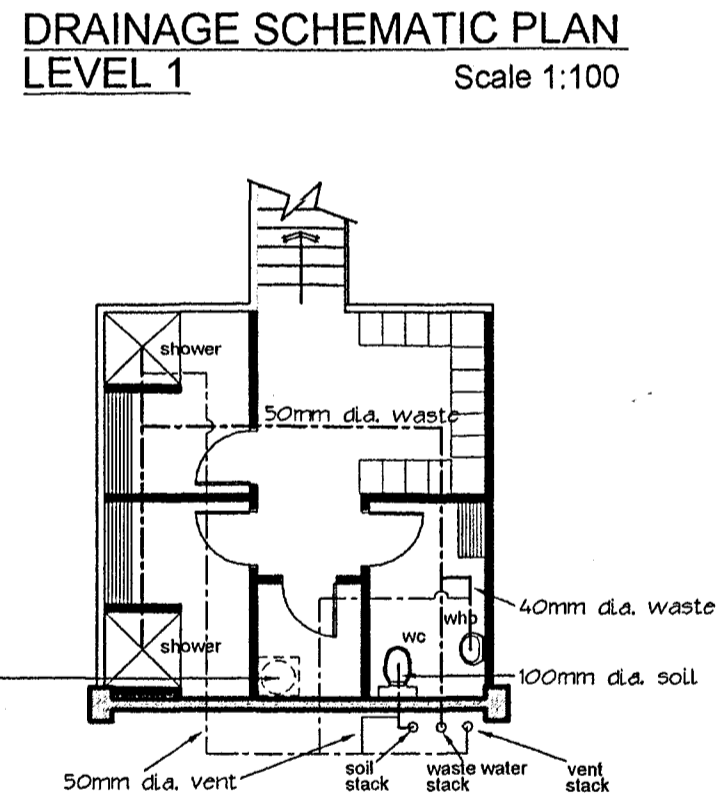
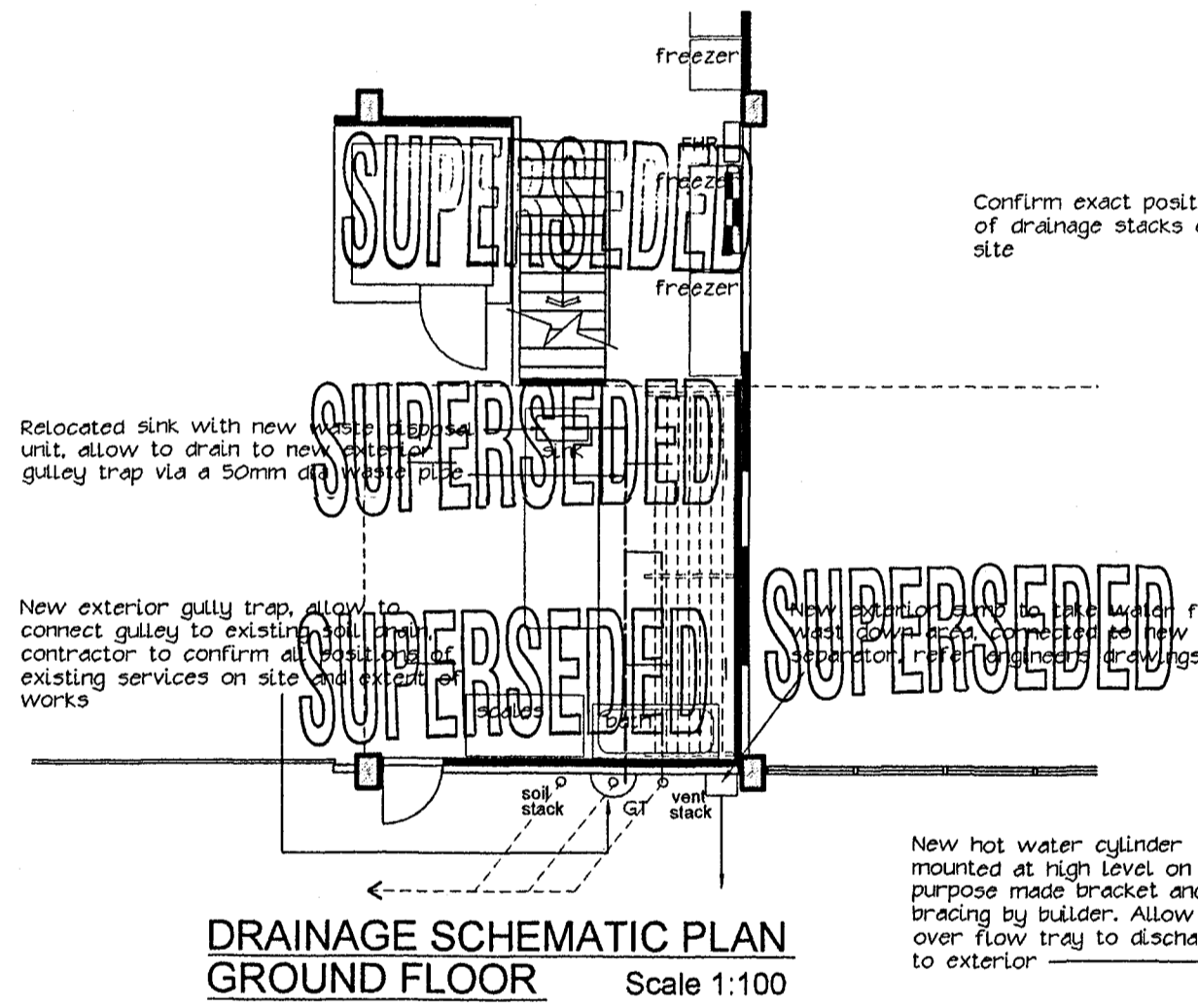
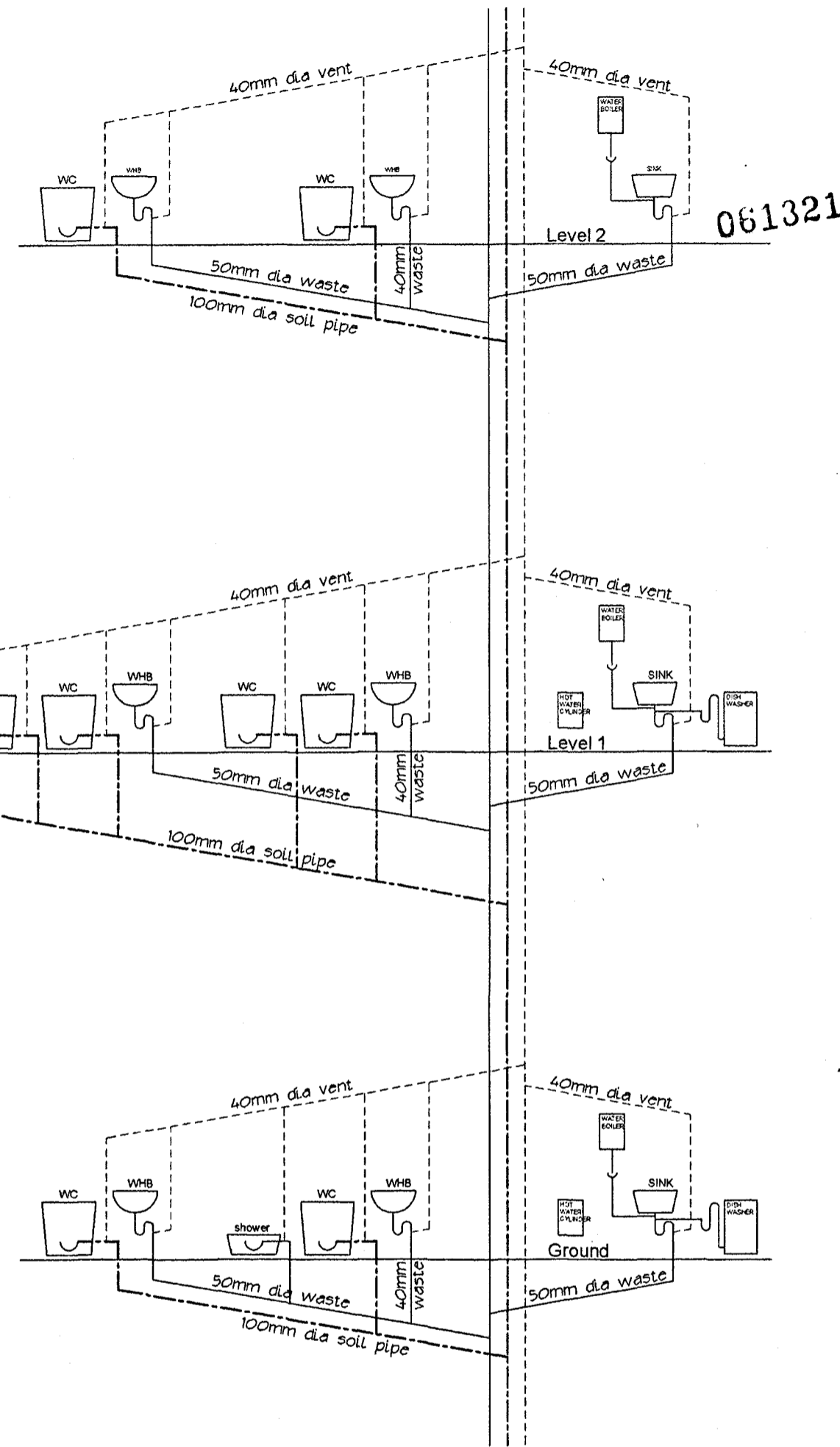
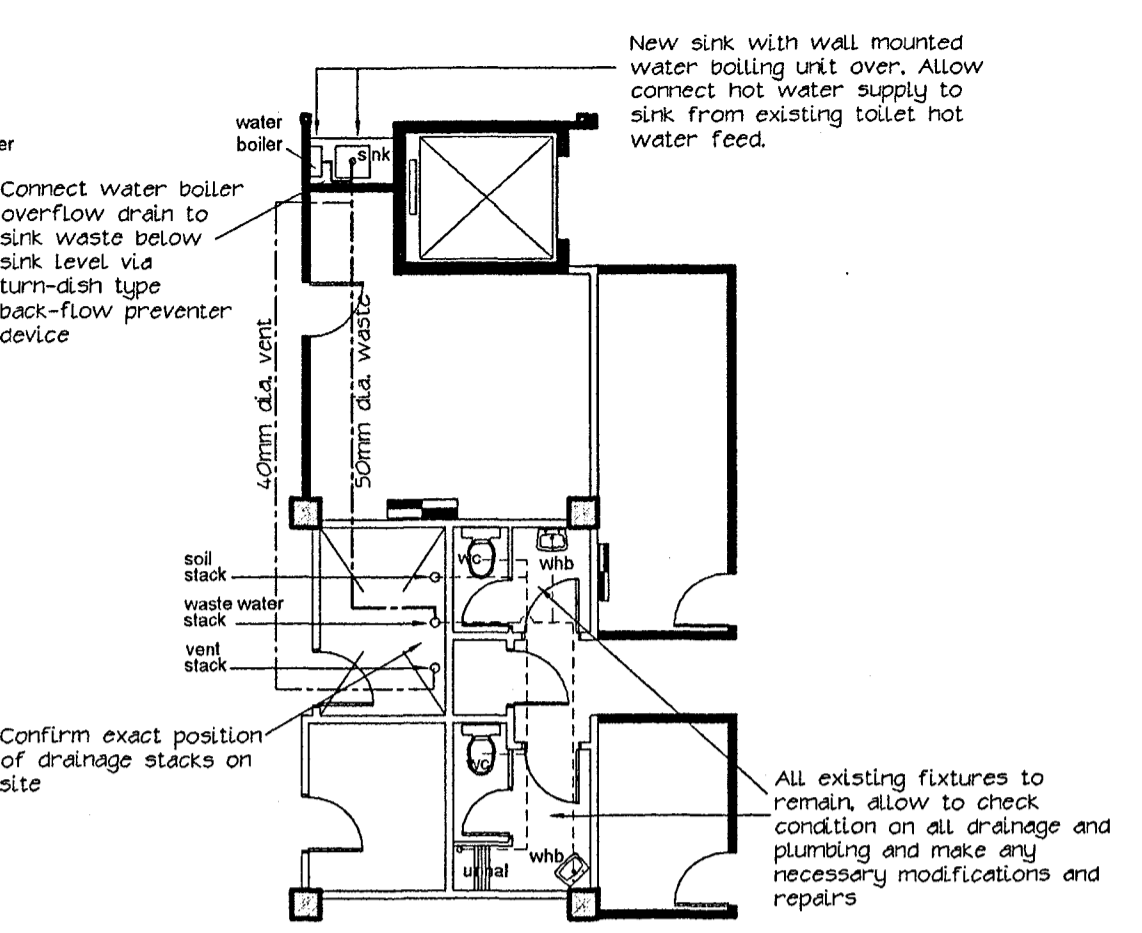
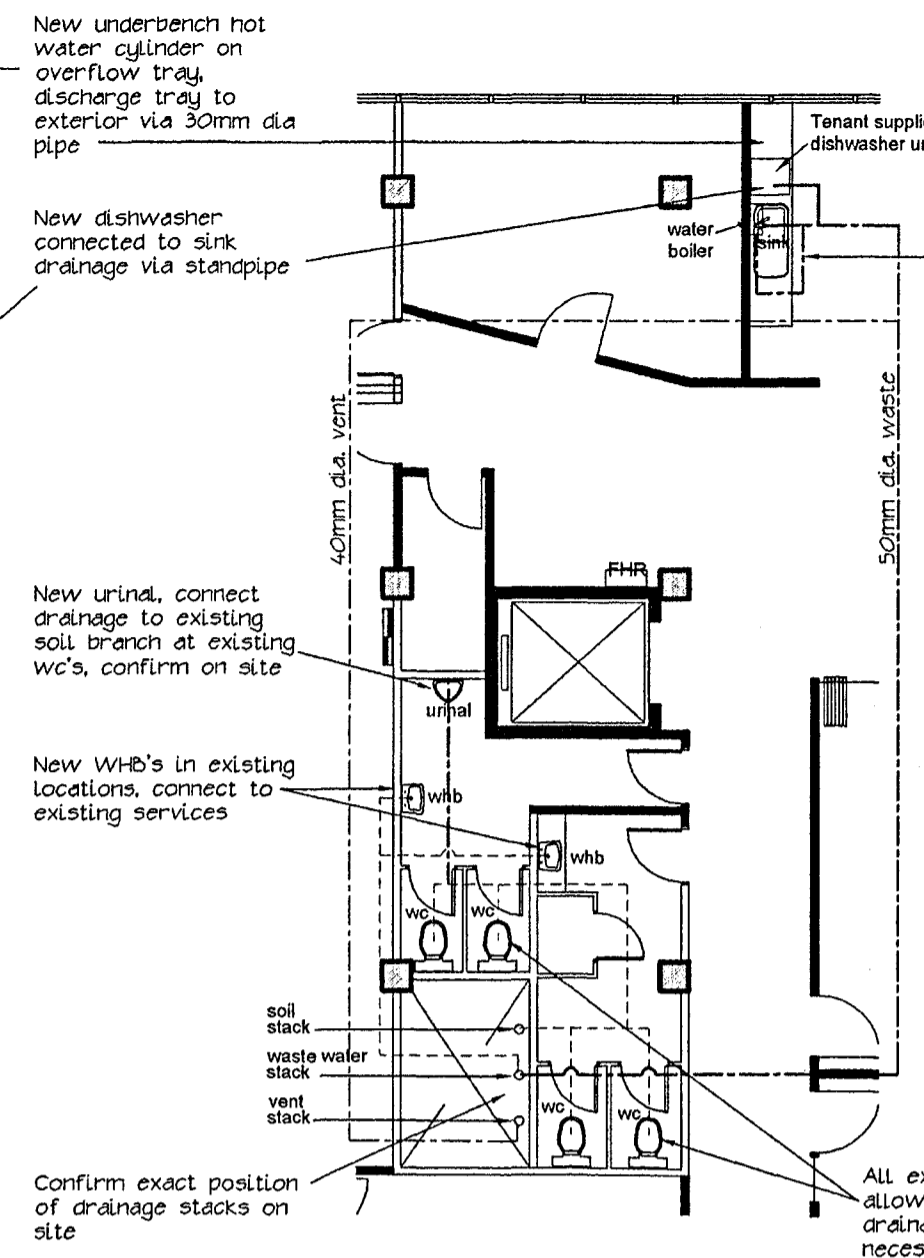
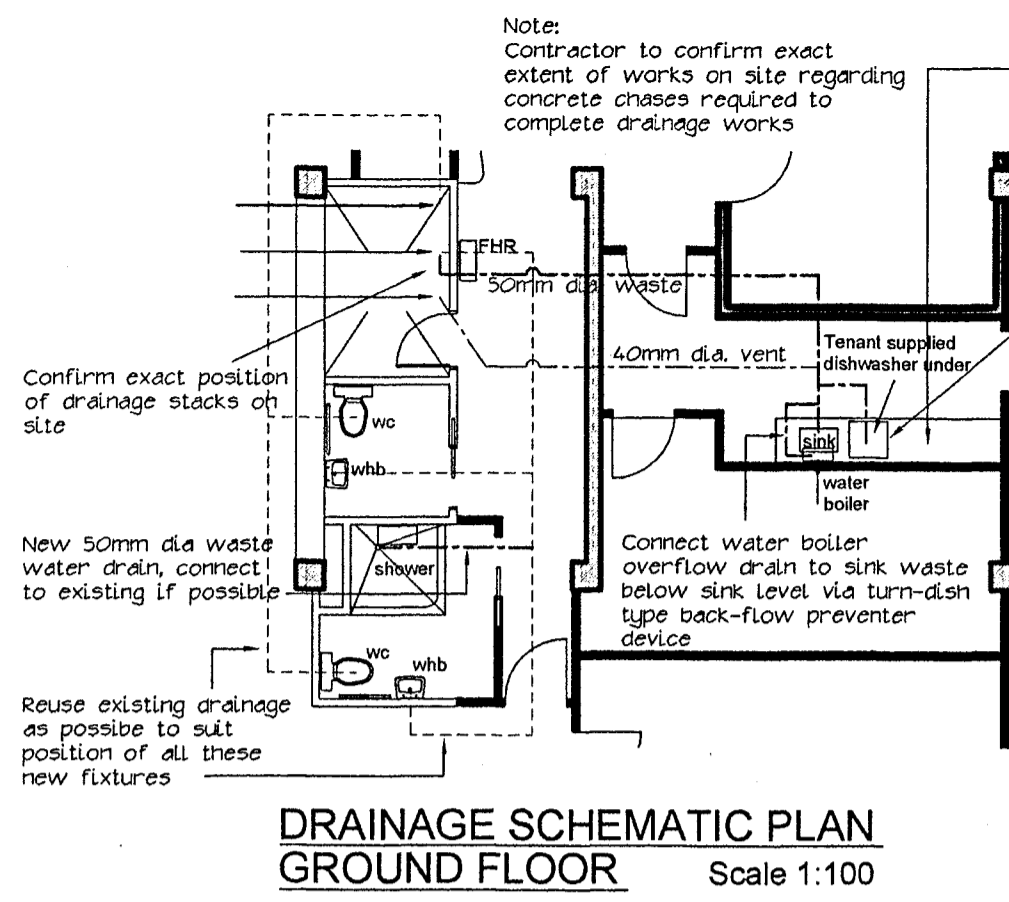
Building Inspections Manager, on behalf of Hutt City Council

061321



**DRAINAGE SCHEMATIC PLAN**  
**GROUND FLOOR**      Scale 1:100

HUTT CITY COUNCIL  
CONSENTS  
25 OCT 2006  
**REVIS**  
Page 212 of 313



**PLUMBING & DRAINAGE NOTES**

- 1) All pipework to be fully concealed.
- 2) Limit hot water temperature to a maximum of 55°C at discharge point.
- 3) Hot and cold water pipework not shown for clarity. Plumber shall connect all fixtures into existing building water supply. Ensure all hot water pipes are lagged. Water supply to comply with NZBC G12/AS1.
- 4) Set out taps in accordance with NZBC G12/AS1 Figure 18.
- 5) All sanitary pipes to AS/NZS 3500 2.2 1996 Section 7, fully vented to match existing.
- 6) All new dishwashers to be connected using burst-proof hoses
- 7) Existing floor wastes to remain, not shown on this drawing

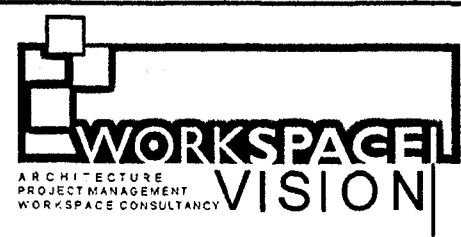
**LEGEND**

- New drainage (shown schematically only). Provide all inspection bends, junctions and clearing eyes as necessary.
- Existing drainage to remain, allow to check capacity and condition - make any necessary modifications or replacements.
- New vent pipe, existing vent pipes not shown for clarity

**NOTE**

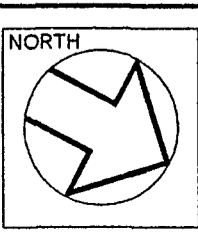
- 1) Drainage shown on this drawing is schematic only.
- 2) Extend all existing vent pipework to suit this new layout in accordance with NZBC G13/AS1 table 6.
- 2) Plumber shall allow to connect into existing water supply and drainage, confirm details on site.

**DRAINAGE SCHEMATIC PLAN MEZZANINE FLOOR Scale 1:100**



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PROJECT  
**BUILDING REFURBISHMENT AND TENANCY FITOUT FOR BALANCED INVESTMENTS**

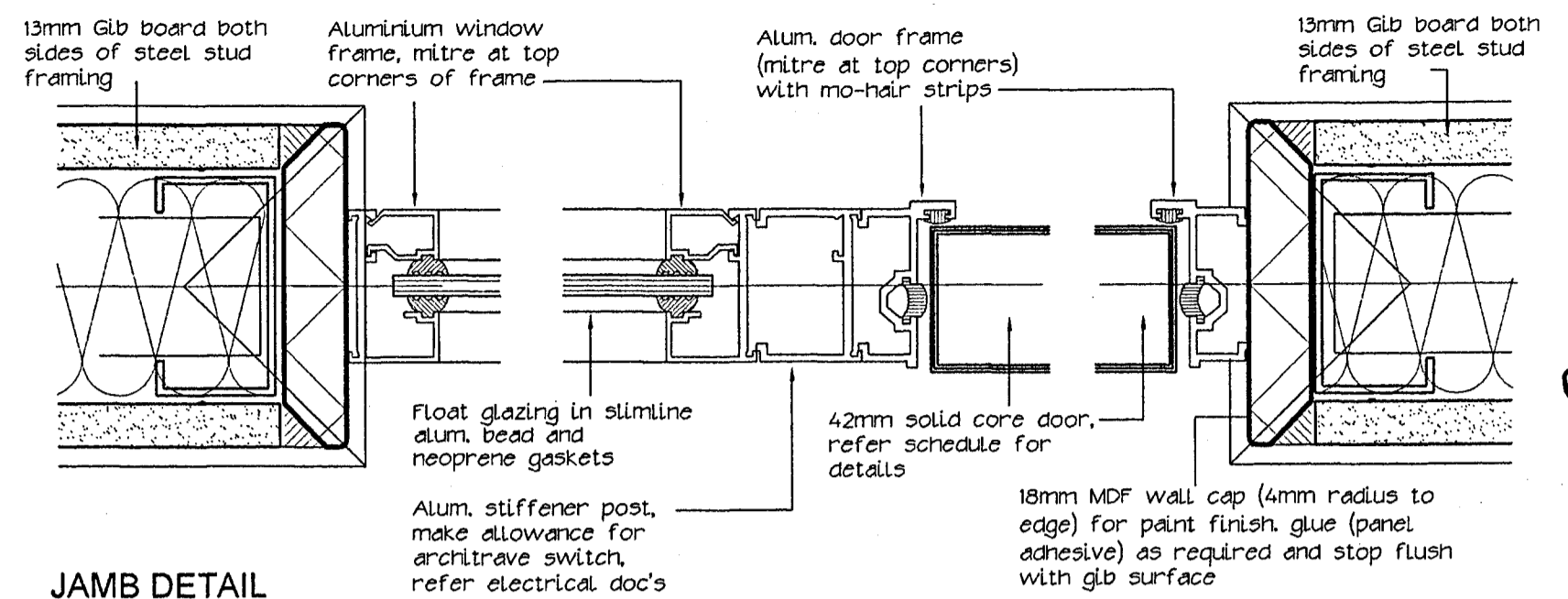
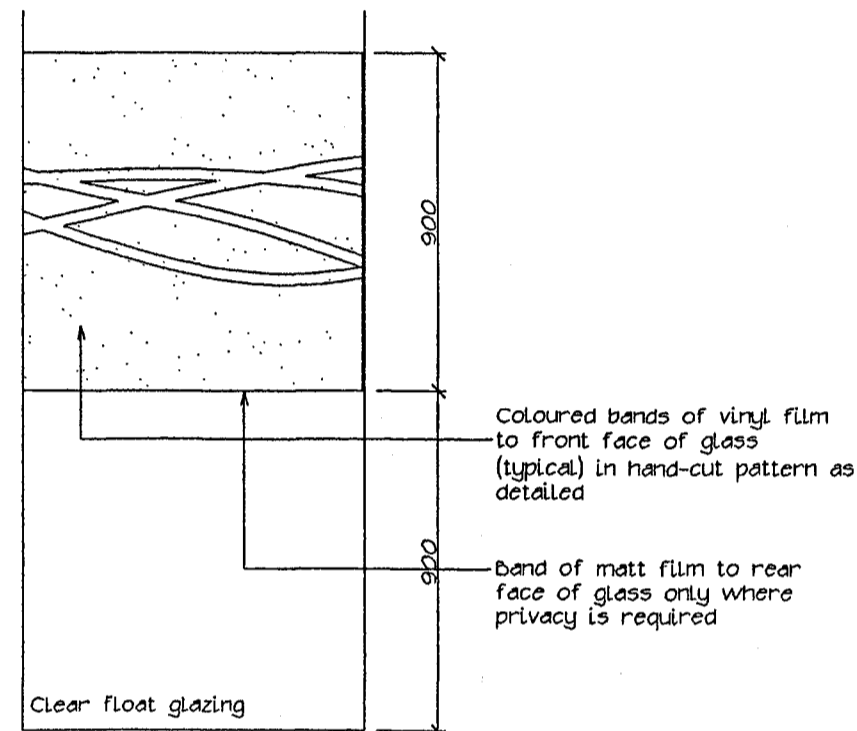
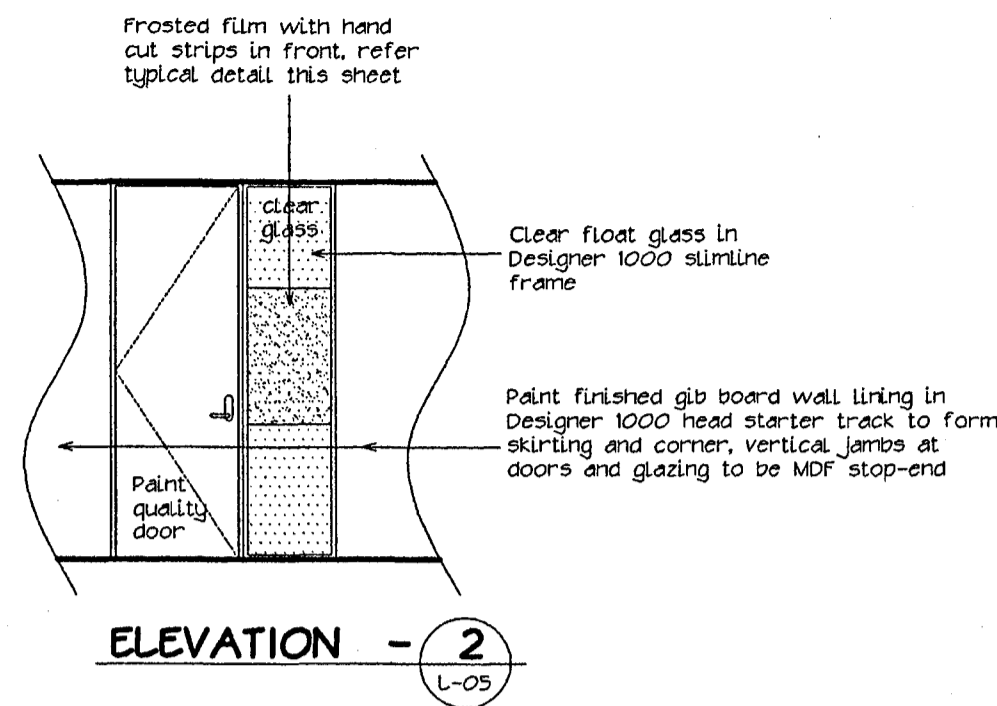
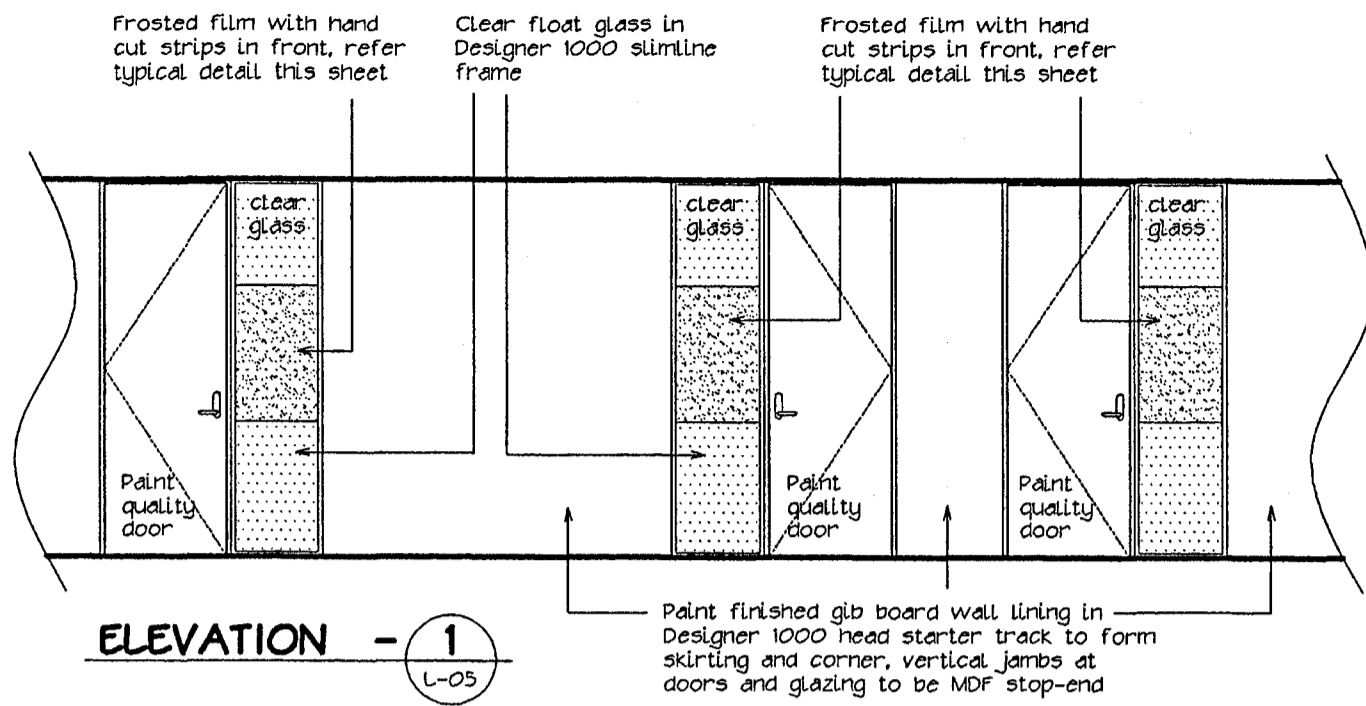
ADDRESS  
40 BOUVERIE STREET  
PETONE

SHEET TITLE  
**DRAINAGE PLANS AND SCHEMATICS**

SCALE 1:100 @ A2  
XREF 1561YLOG

DATE 22/09/2006  
COMPUTER REF. No. 1561EL11  
C.Code. DWG No. Page 213 of 214  
E L-11 1

The contractor shall verify all dimensions on site. Any discrepancy to this drawing must be referred to the Architect for clarification prior to manufacture of construction.

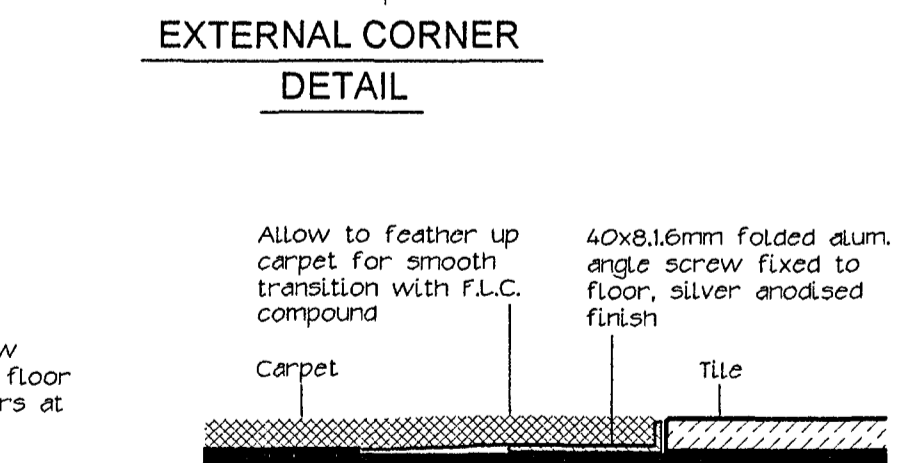
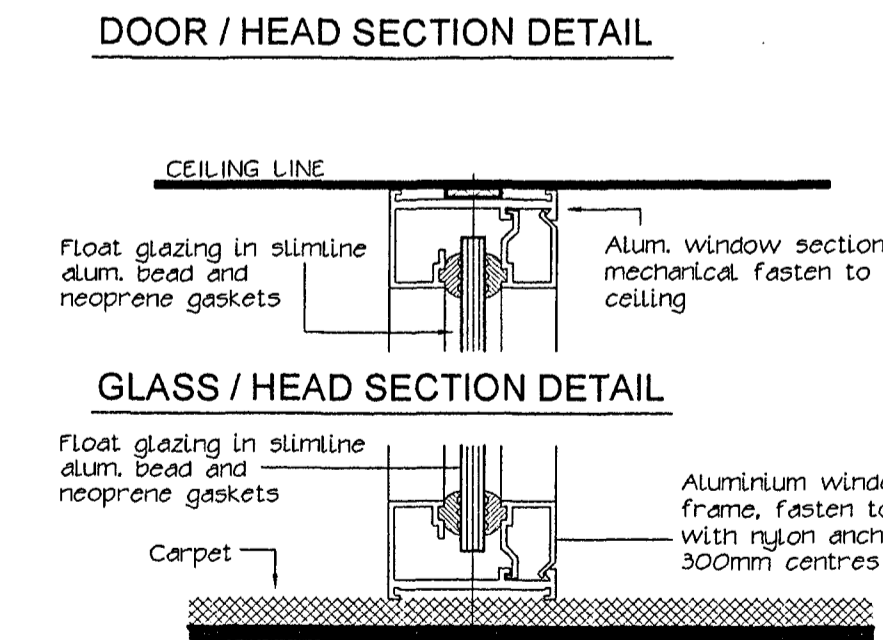
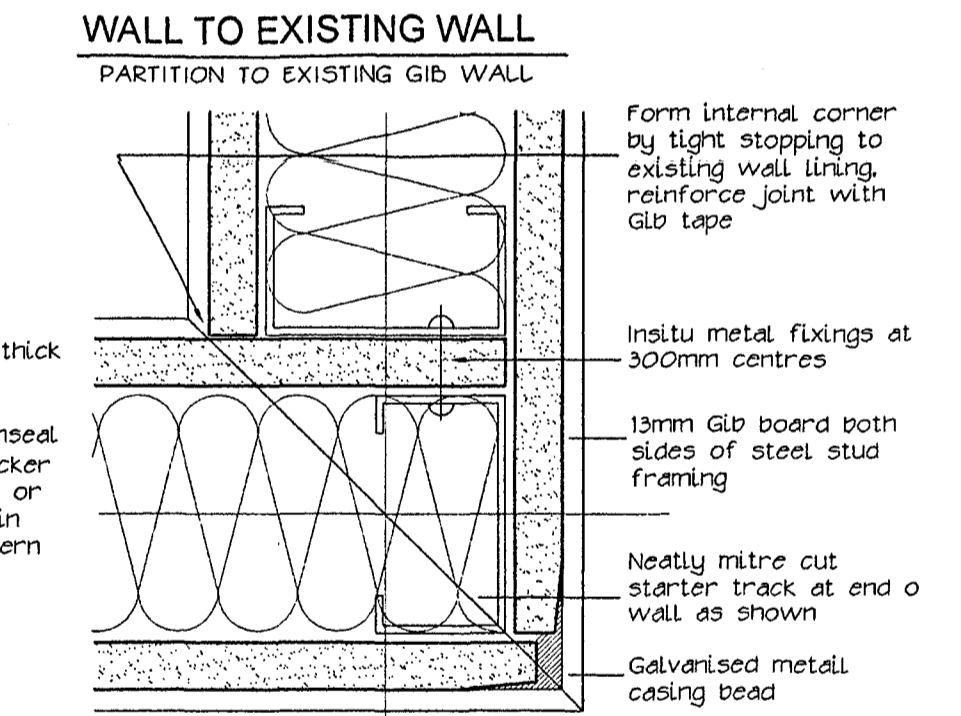
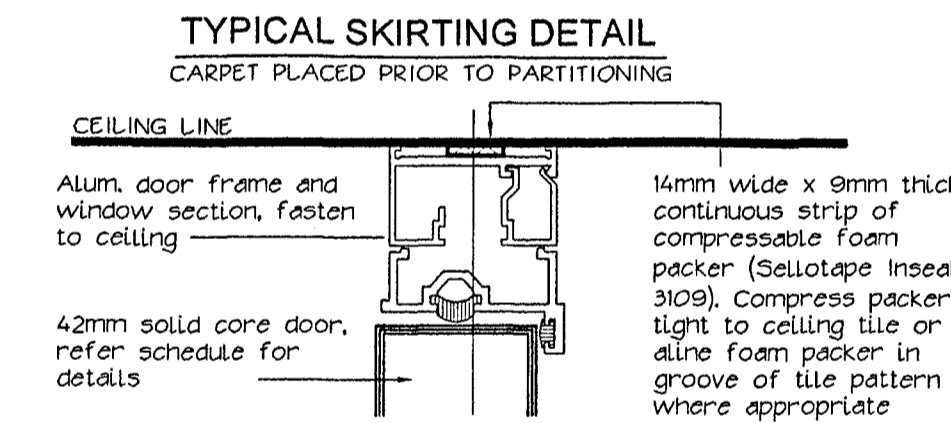
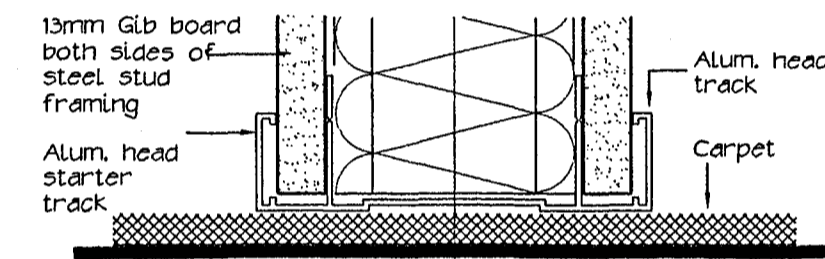
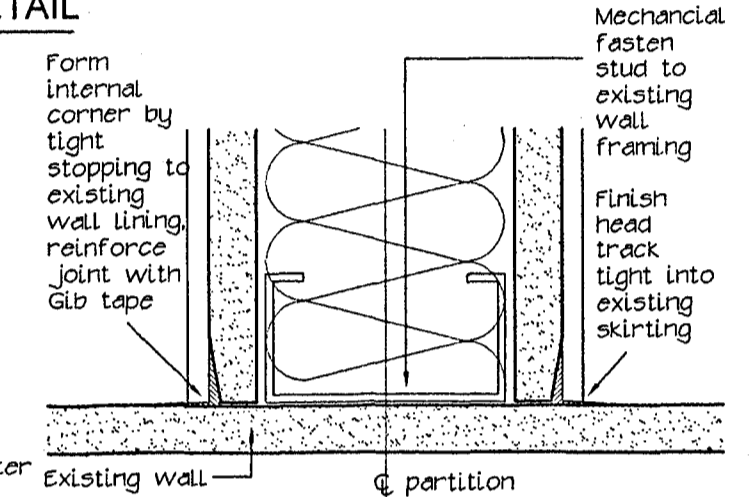
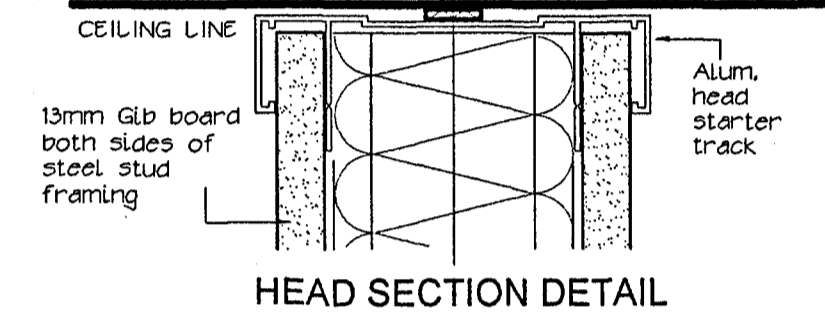


**JAMB DETAIL**

**DOOR JAMB TO GLAZED SCREEN DETAIL**

**DOOR DETAIL**

14x9mm cont. strip of compressable foam (Selltape Inseal 3109). Compress tight to ceiling tile or aline foam packer in groove of tile pattern



**NOTES:**

**PARTITION FRAMING SYSTEM:**  
Shall be 64mm galvanised steel stud at 600mm centres in Ulrich Designer 1000 Series partitioning system. Line both sides with 13mm Gib board stopped and finished.

**DOORS:**  
All new doors to be solid core, paint quality finish unless specified otherwise.

**GLAZING:**  
All glazing to doors and windows to be bondlite and shall comply with NZS 4223. All glazing mounted on blocks and fixed with neoprene gaskets.

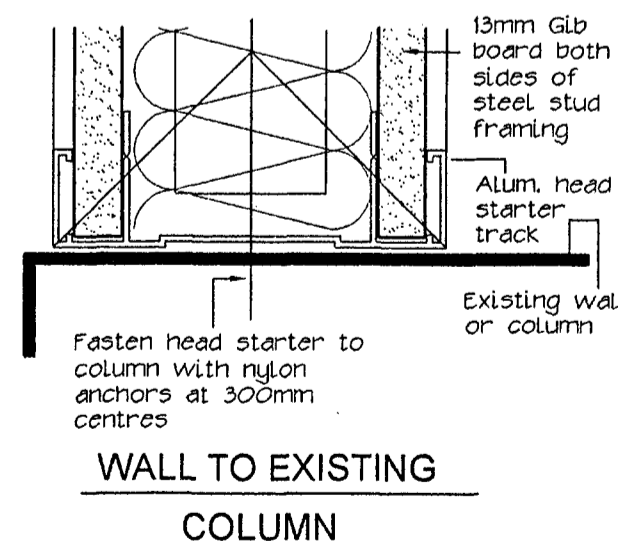
**GENERAL:**  
These are standard details, the contractor shall check on site prior to construction - if in doubt ask!

**FINISHES:**

All aluminium sections and profiles to be finished as follows  
Powder coat  
Colour - as selected

**INSULATION:**

All partition cavities to be filled with either insulation blanket / roll, refer specification for details

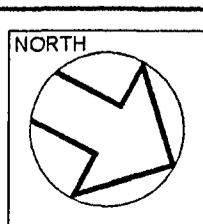


<b>AMENDMENTS</b>	
1 22/09/2006 Consent issue	



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**PROJECT**  
**BUILDING REFURBISHMENT AND TENANCY FITOUT FOR BALANCED INVESTMENTS**

**ADDRESS**  
40 BOUVERIE STREET  
PETONE

**SHEET TITLE**  
**INTERNAL ELEVATIONS AND TYPICAL PARTITION DETAILS**

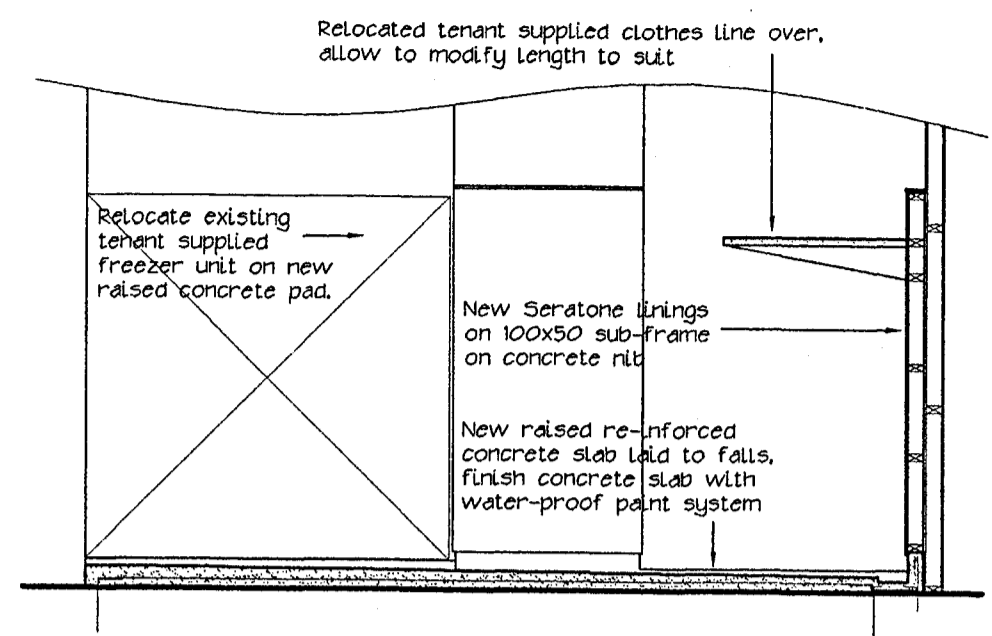
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**XREF**

**DATE** 22 / 09 / 2006  
**COMPUTER REF. No.** 1561EL10  
**C.Code DWG No.** L - 10 **Rev.** 1

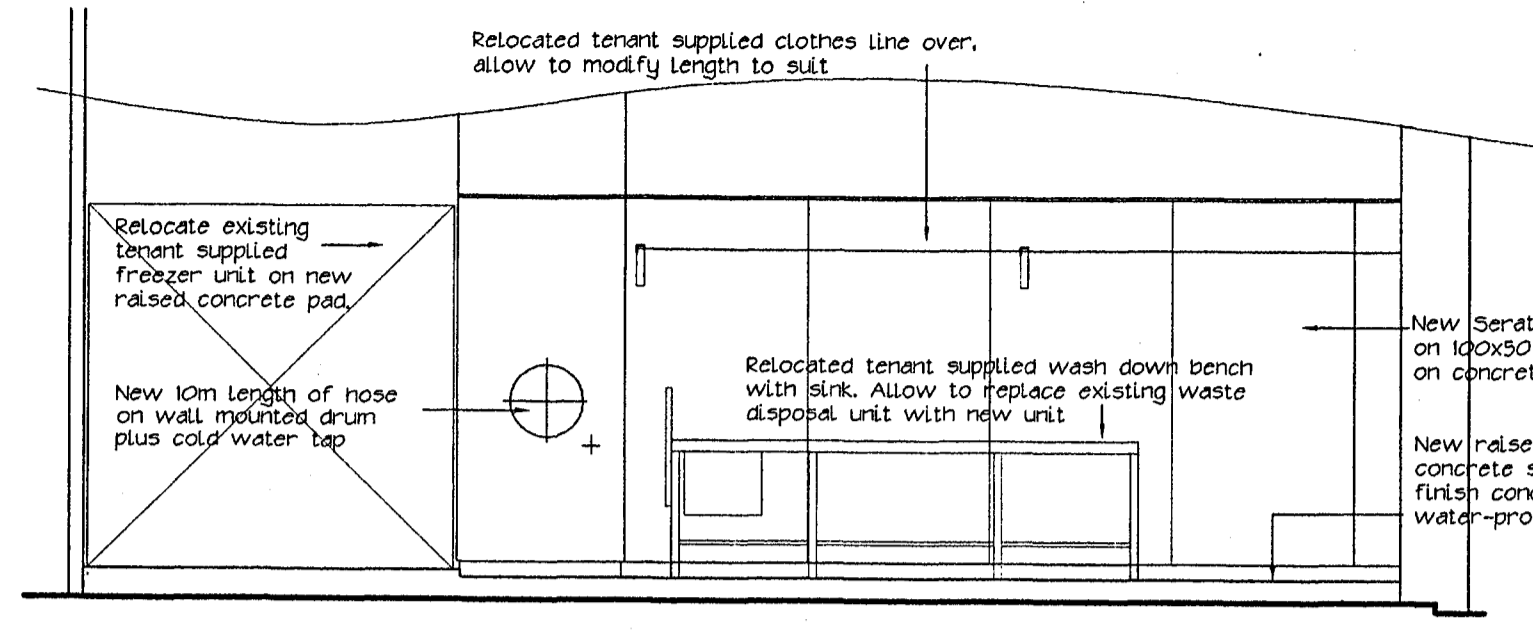
The contractor shall verify all dimensions on site. Any discrepancy to this drawing must be referred to the Architect for clarification prior to manufacture of construction.

061321

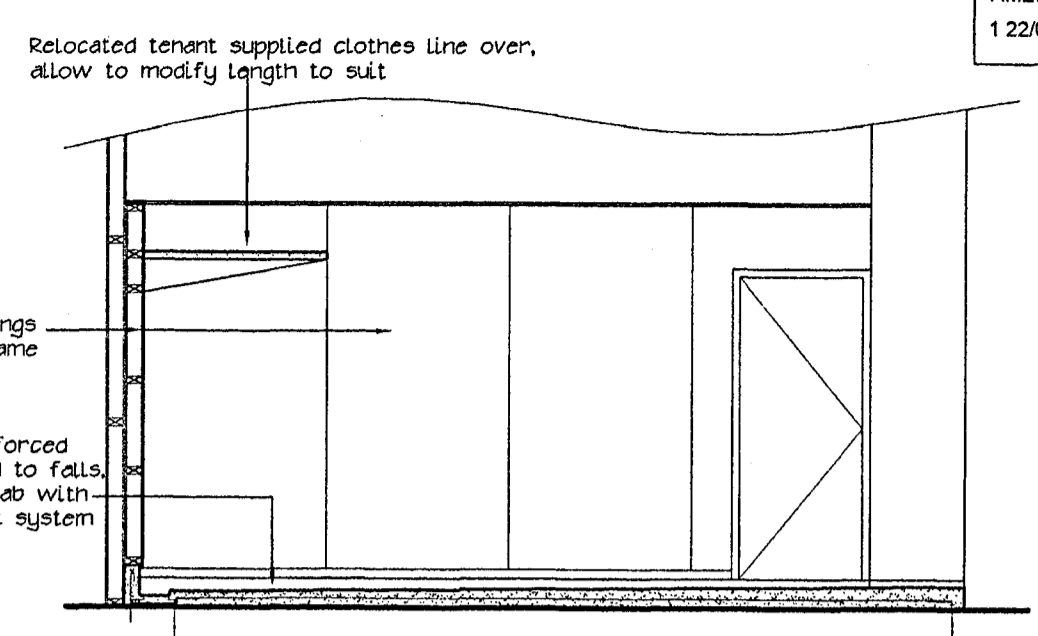
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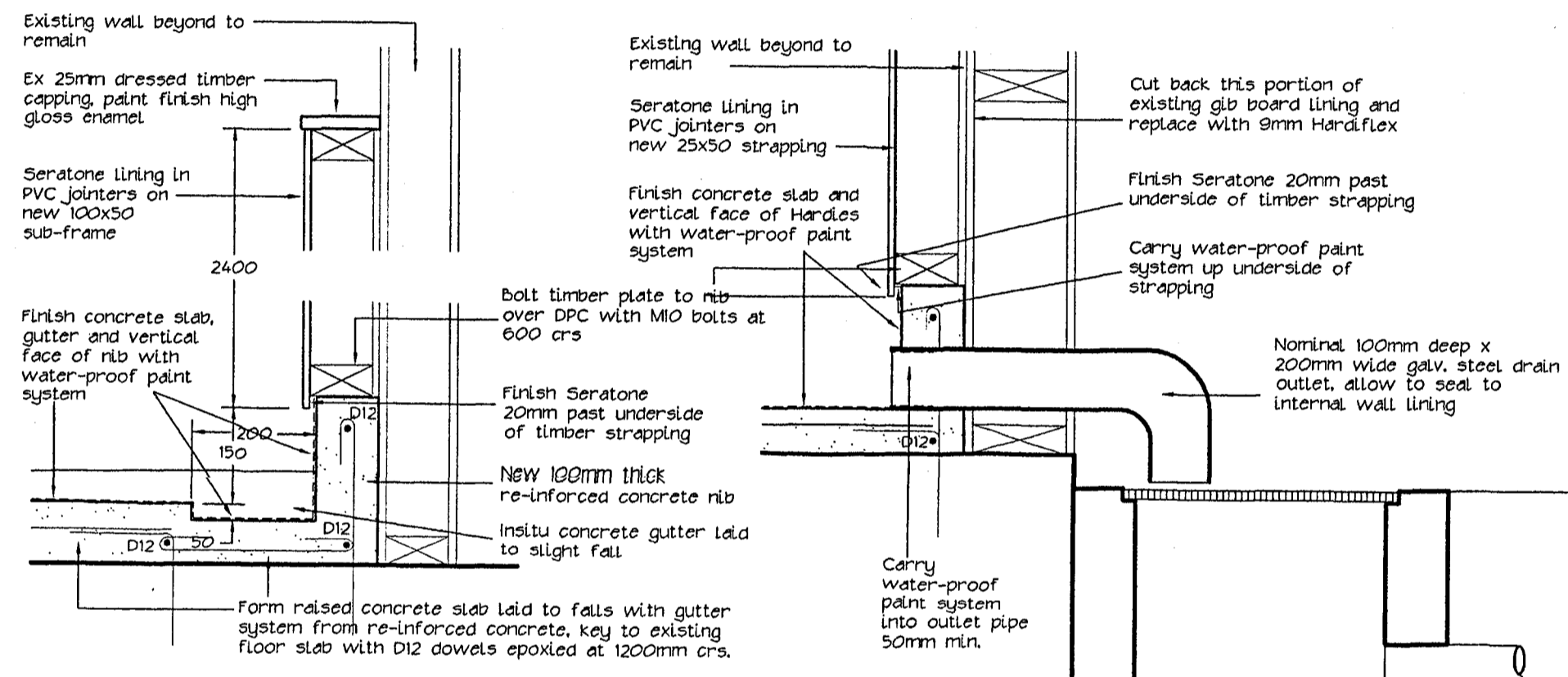
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scale 1:50



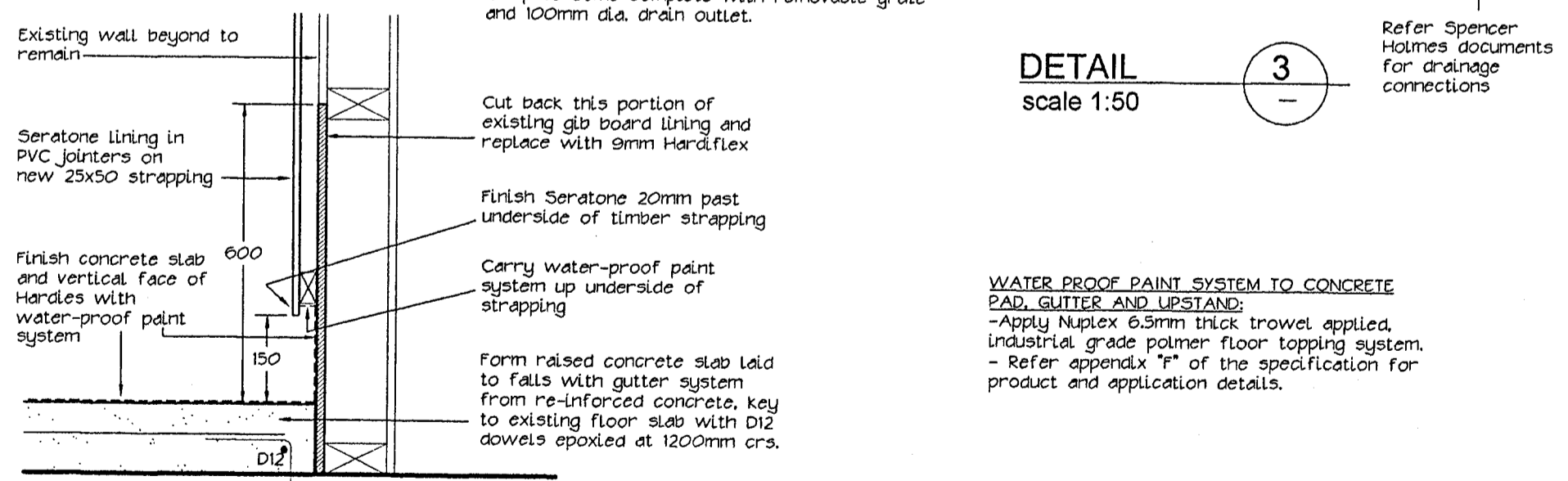
ELEVATION B  
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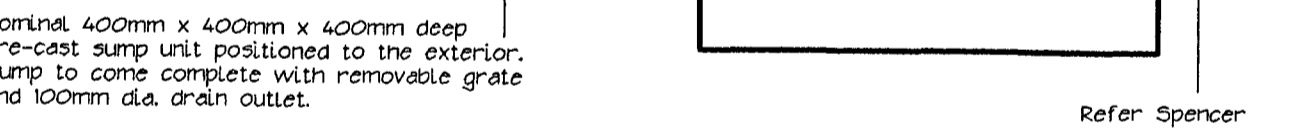
ELEVATION C  
scale 1:50



DETAIL 1  
scale 1:50

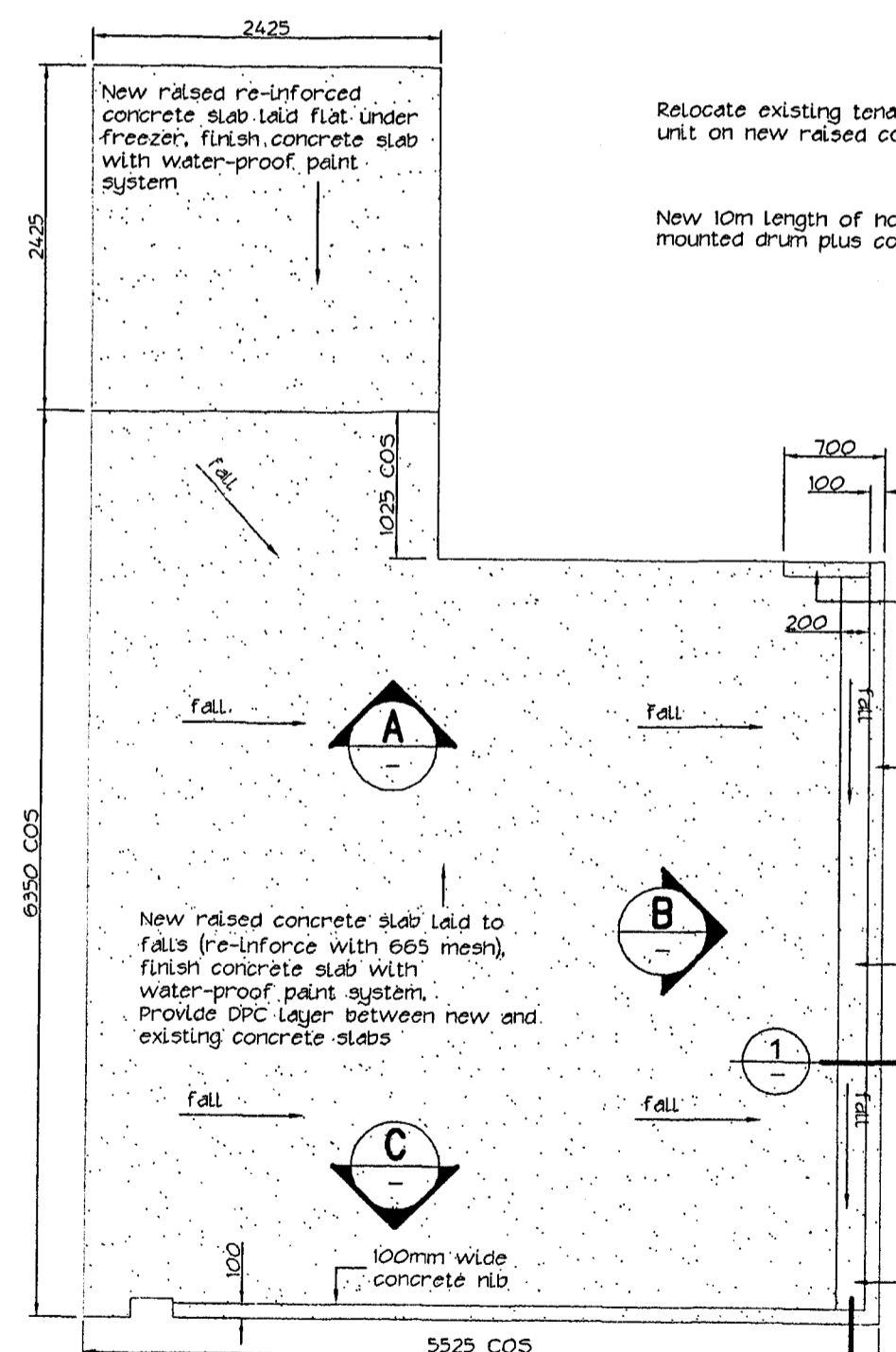


DETAIL 2  
scale 1:50

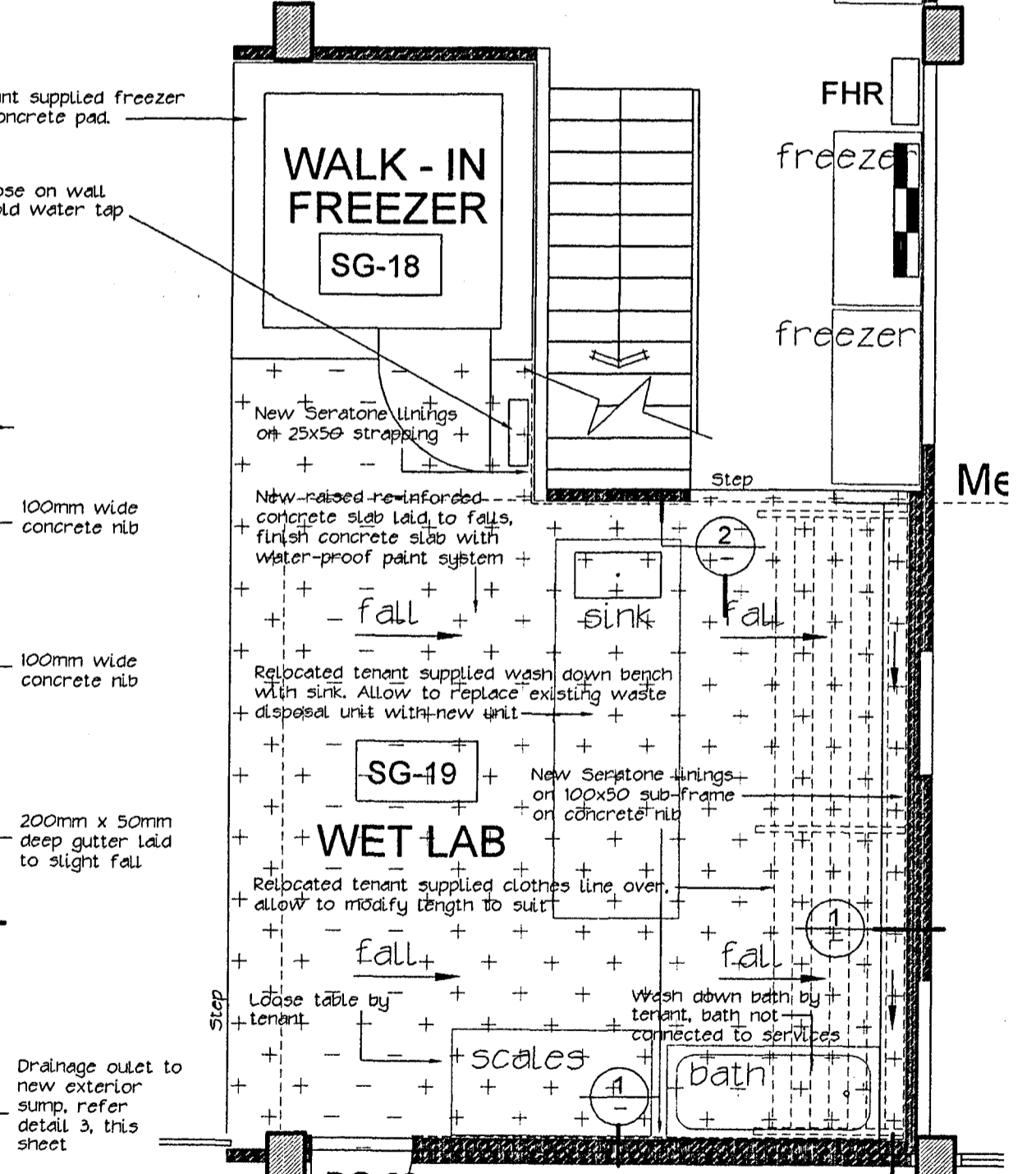


DETAIL 3  
scale 1:50

**WATER PROOF PAINT SYSTEM TO CONCRETE PAD, GUTTER AND UPSTAND:**  
- Apply Nuplex 6.5mm thick trowel applied, industrial grade polymer floor topping system.  
- Refer appendix 'f' of the specification for product and application details.



PLAN - NEW CONCRETE PAD  
scale 1:50

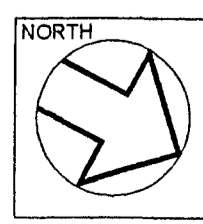


PLAN - NEW WASH DOWN / WET LAB AREA  
scale 1:50



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SHEET TITLE  
**WET LAB DETAILS**

SCALE 1:100 @ A2  
XREF 1561YLOG

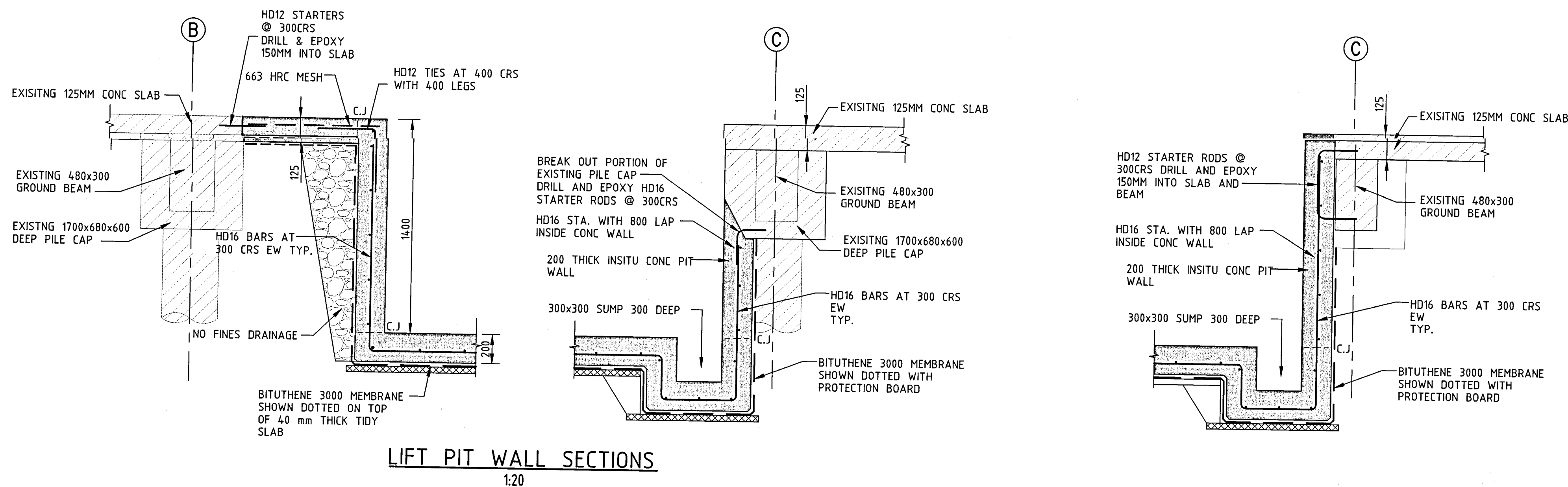
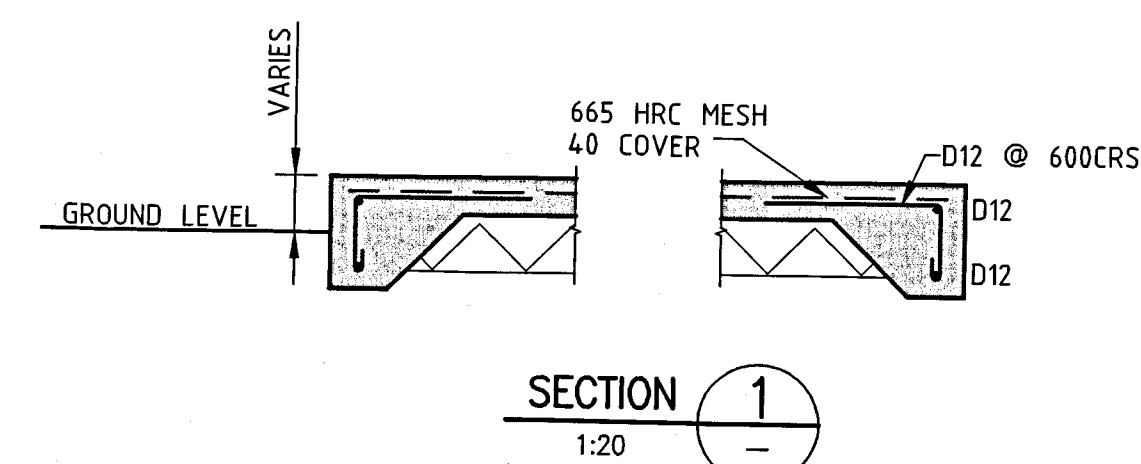
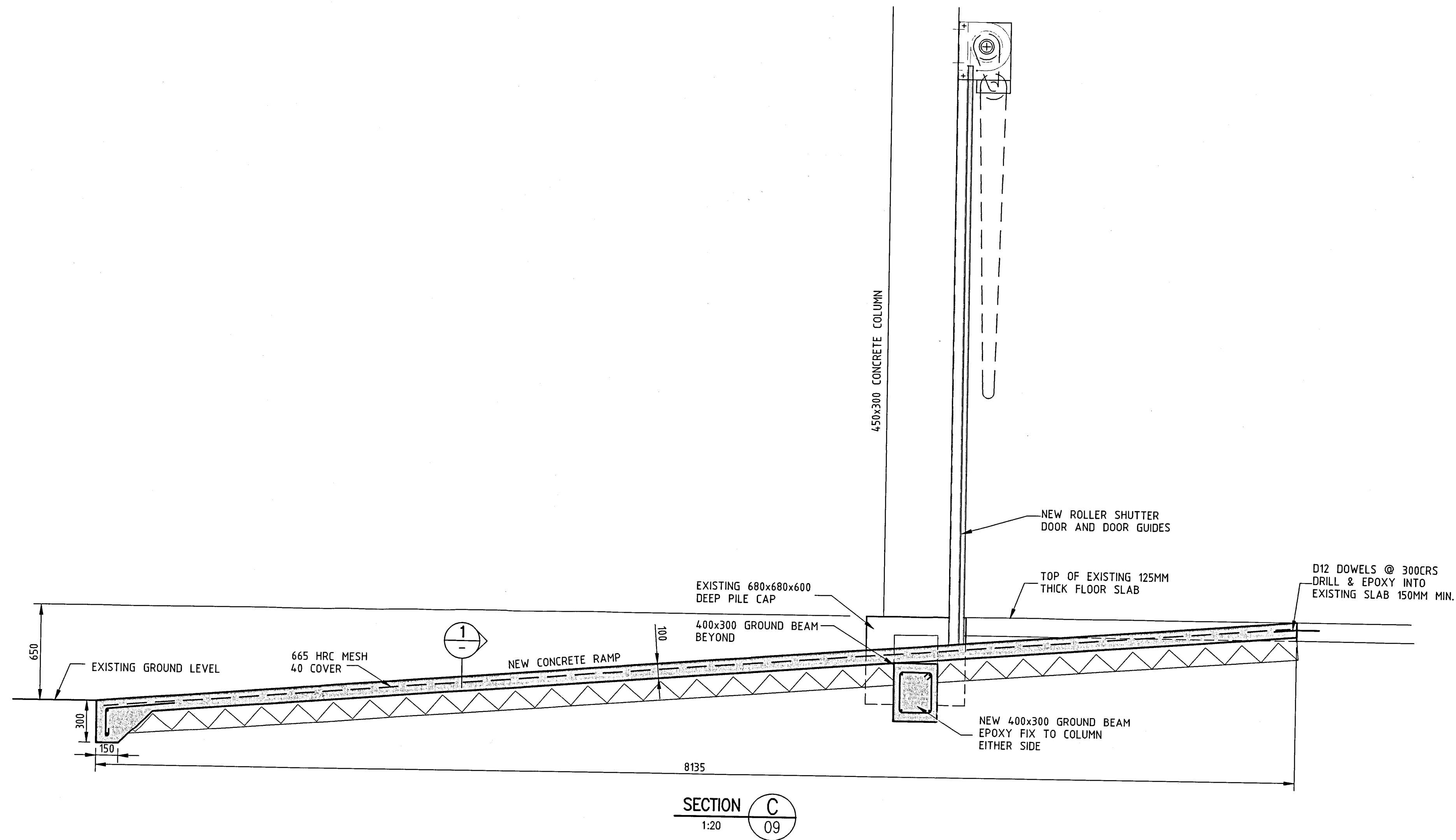
DATE 22/09/2006  
COMPUTER REF. No. 1561EL13

The contractor shall verify all dimensions on site. Any discrepancy to this drawing must be referred to the Architect for clarification prior to manufacture of construction.

C.Code DWG No. L-13 Rev. 1  
Page 215 of 318

NO	REVISION	BY	DATE
A	FOR BUILDING CONSENT	MIL	26/9/2006

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**WORKSPACE VISION**

PROJECT  
**BUILDING REFURBISHMENT  
& TENANCY FITOUT  
40 BOUVIERIE ST, PETONE**

DRAWING TITLE  
**PROPOSED  
CONCRETE DETAILS**

DESIGNED PJM  
DRAWN ML  
CHECKED  
CAD FILE E06-0503-10  
FIELD BOOK  
DATE 14/9/2006

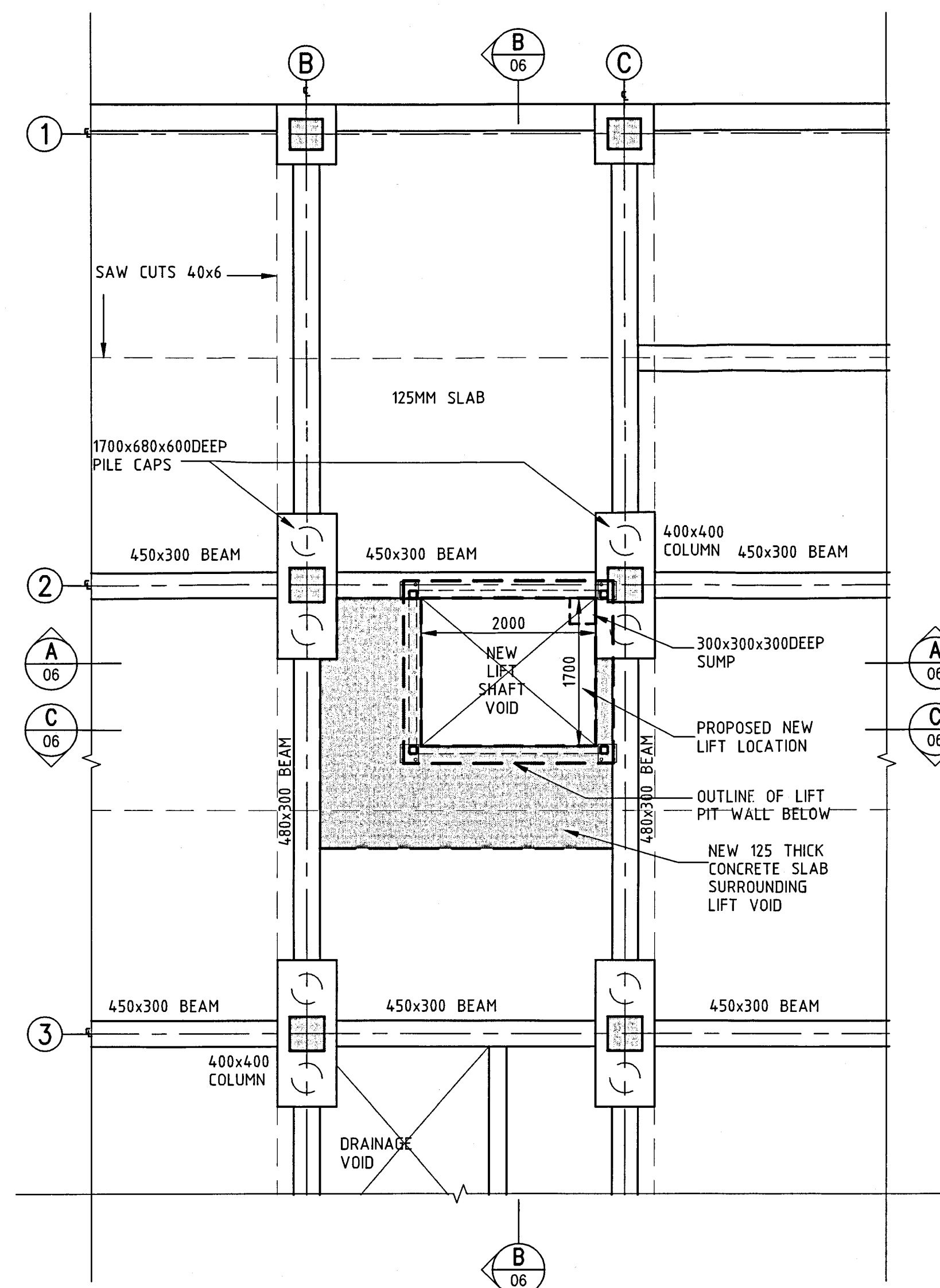
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SIZE A1  
REV A

RESOURCE MANAGEMENT • LAND PLANNING • SURVEYING • STRUCTURAL • CIVIL • FIRE

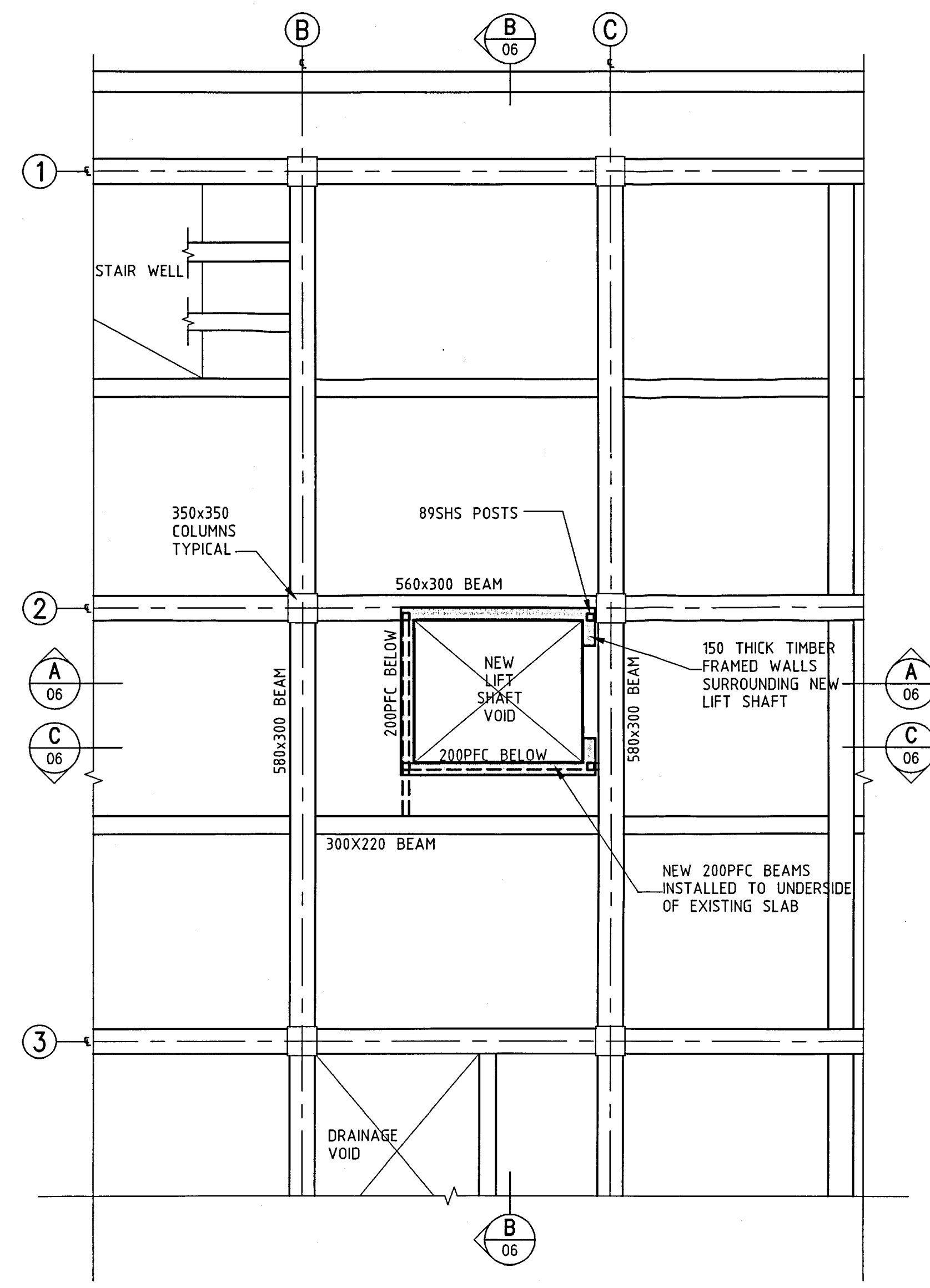
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NO	REVISION	BY	DATE
A	FOR BUILDING CONSENT	MIL	26/9/2006

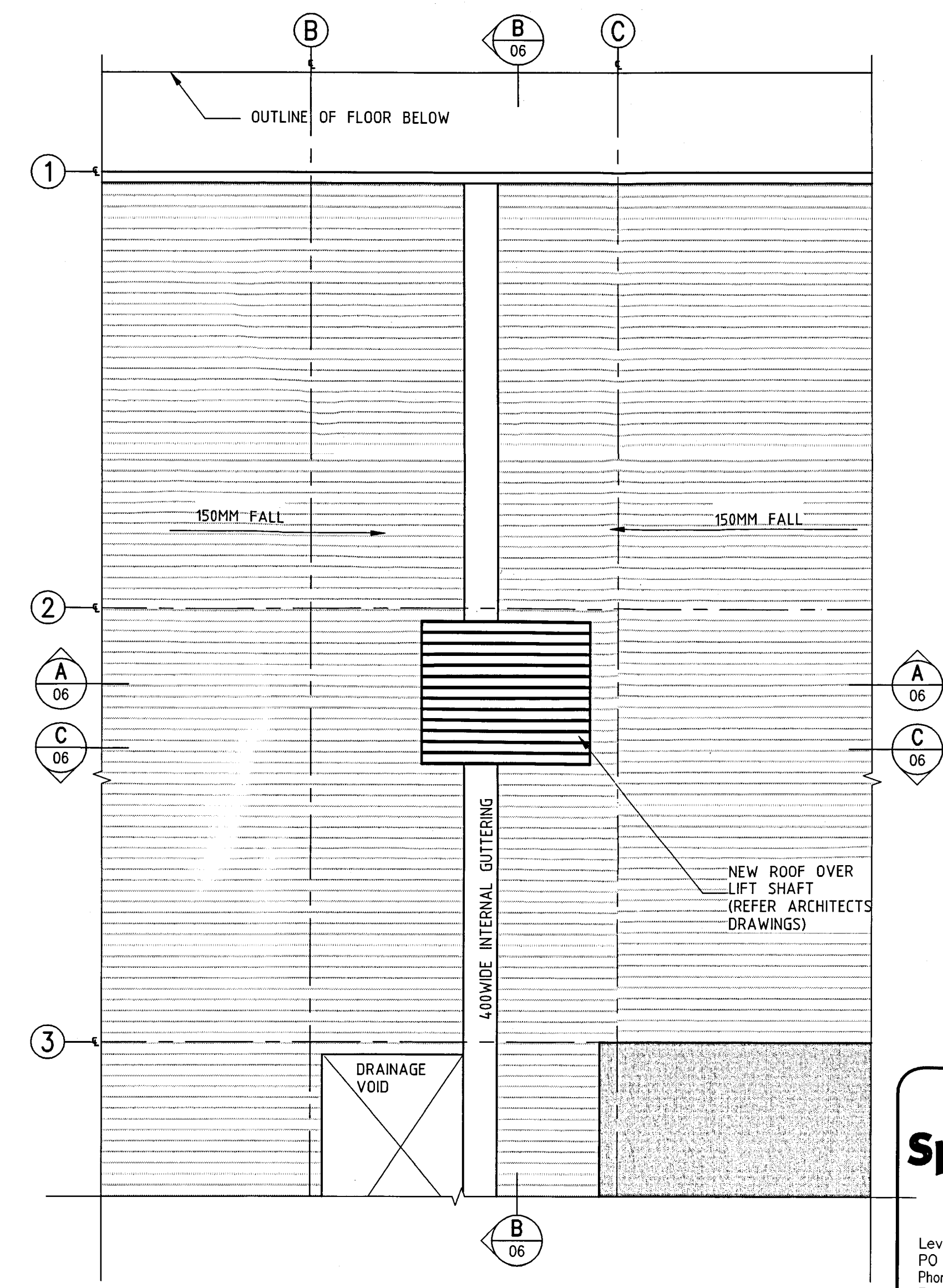
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**PROPOSED LIFT PIT FOUNDATION PLAN**  
1:50



**PROPOSED LIFT FIRST FLOOR PLAN**  
(LEVEL 2 SIMILAR)  
1:50



**PROPOSED LIFT OVER RUN ROOF PLAN**  
1:50

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& TENANCY FITOUT  
40 BOUVERIE ST, PETONE**

DRAWING TITLE  
**PROPOSED  
FLOOR & ROOF PLANS**

DESIGNED PAM  
DRAWN MIL  
CHECKED

CAD FILE ED6-0503-05  
FIELD BOOK  
DATE 14/9/2006

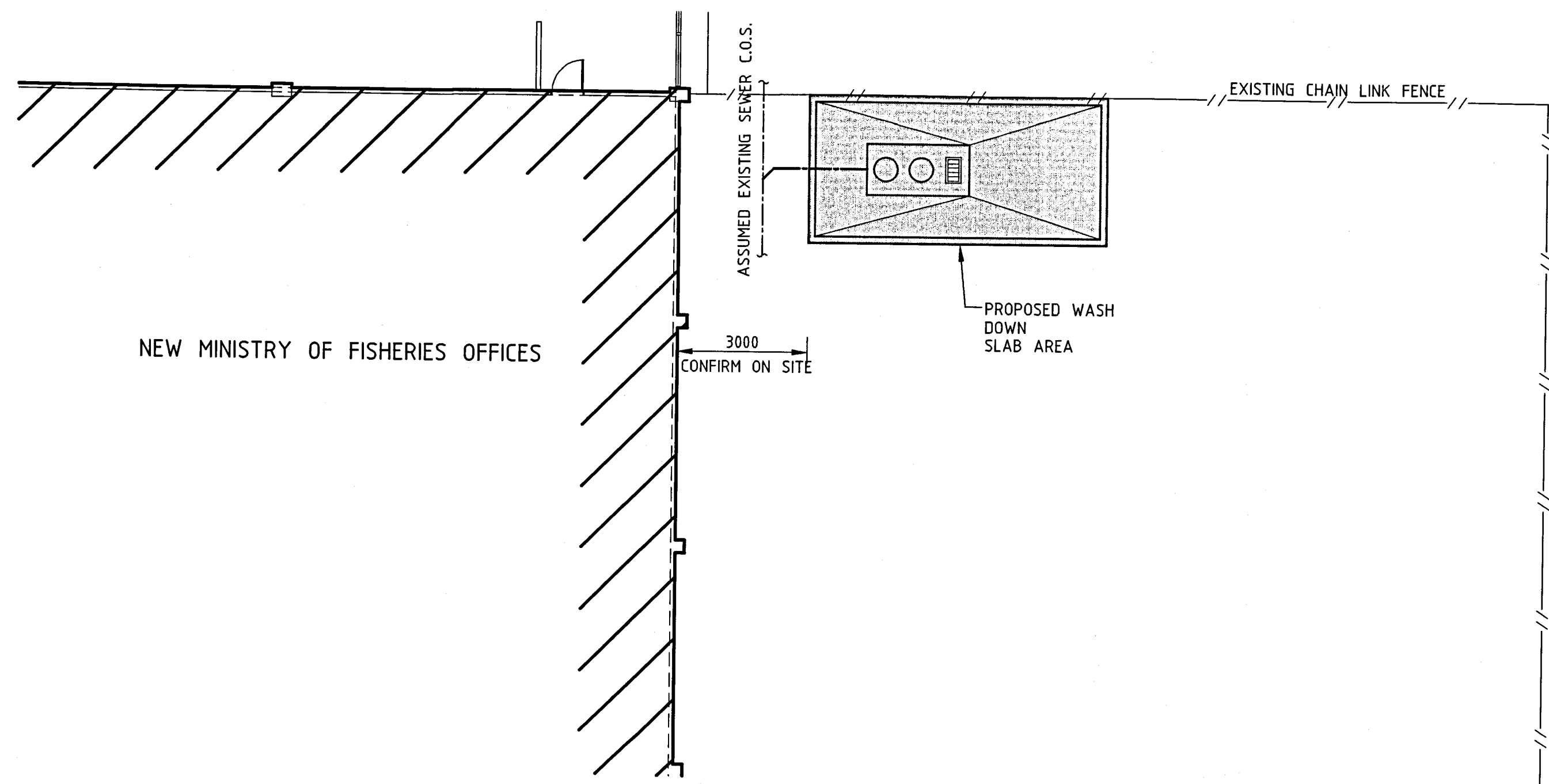
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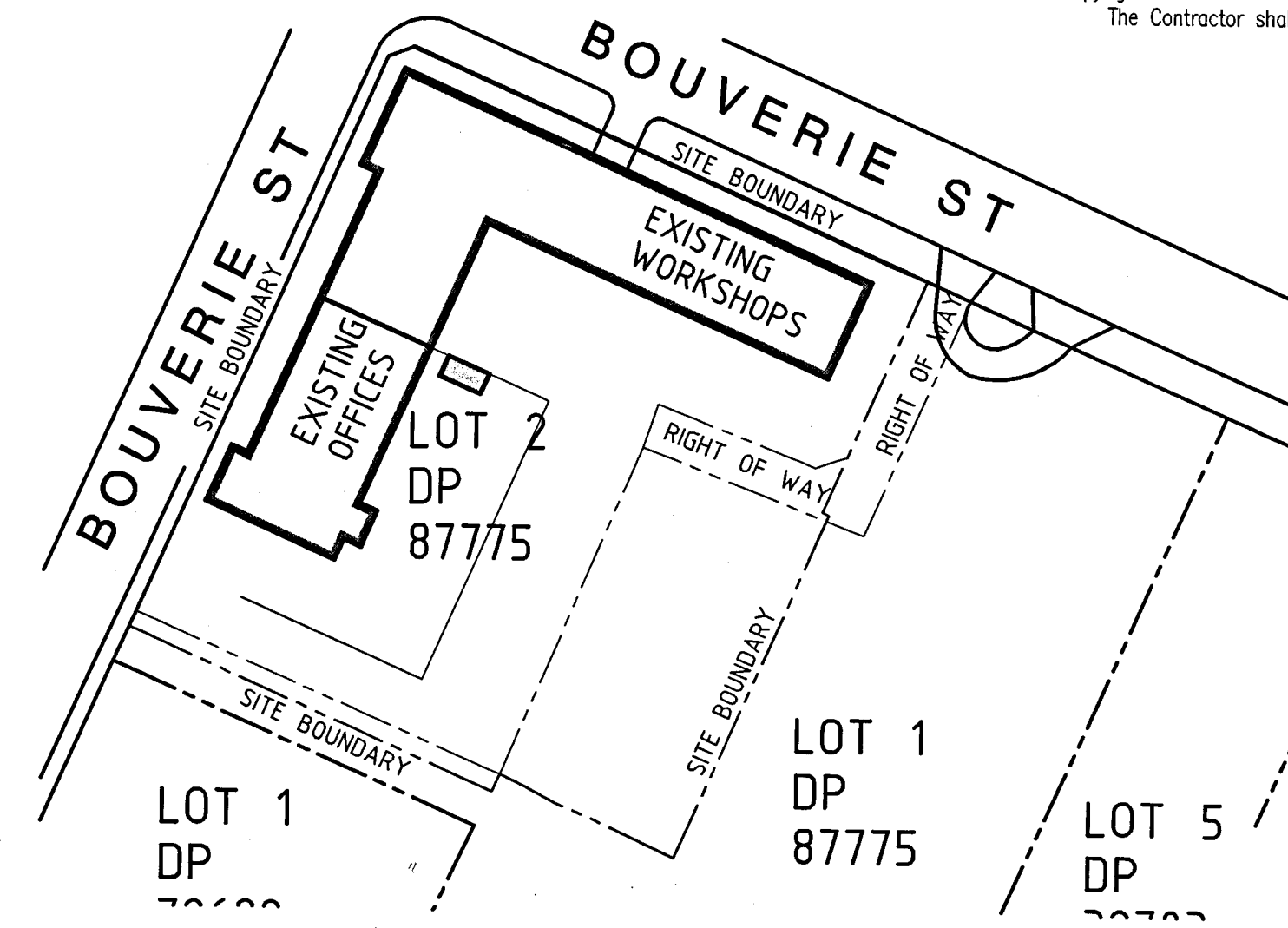
RESOURCE MANAGEMENT - LAND PLANNING - SURVEYING - STRUCTURAL - CIVIL - FIRE 061321

NO	REVISION	BY	DATE
A	FOR BUILDING CONSENT	DJW	26/9/2006

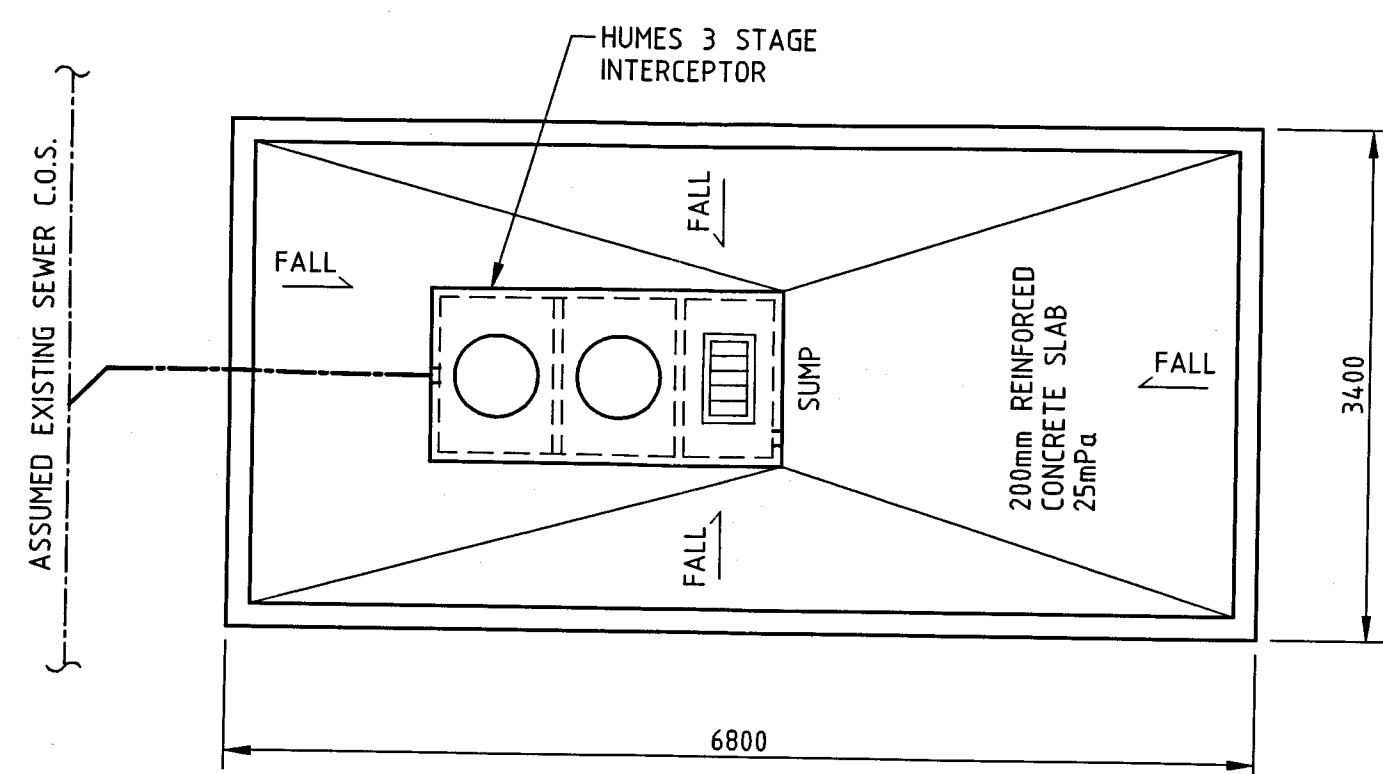
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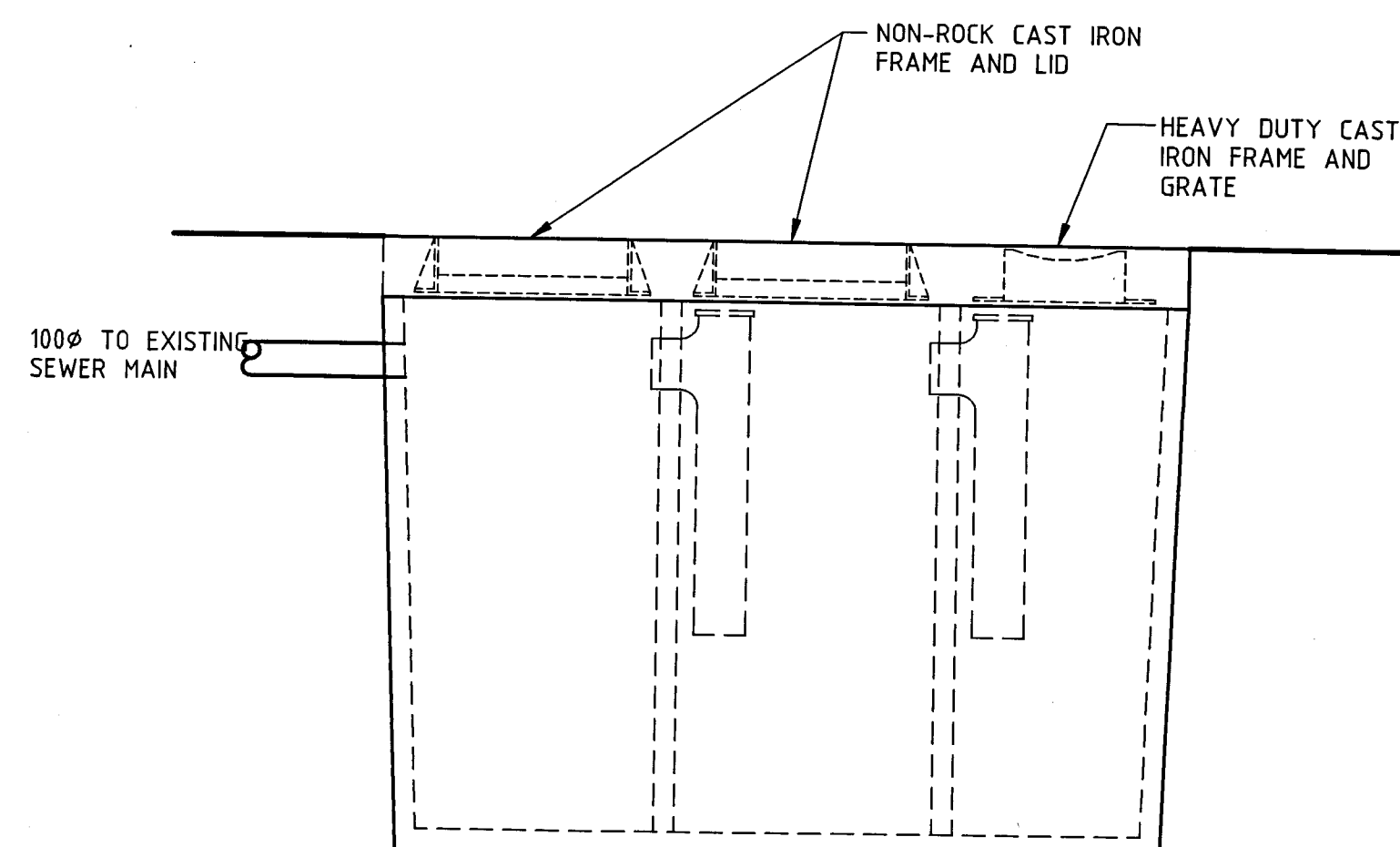
**PROPOSED PART SITE PLAN**  
1:100



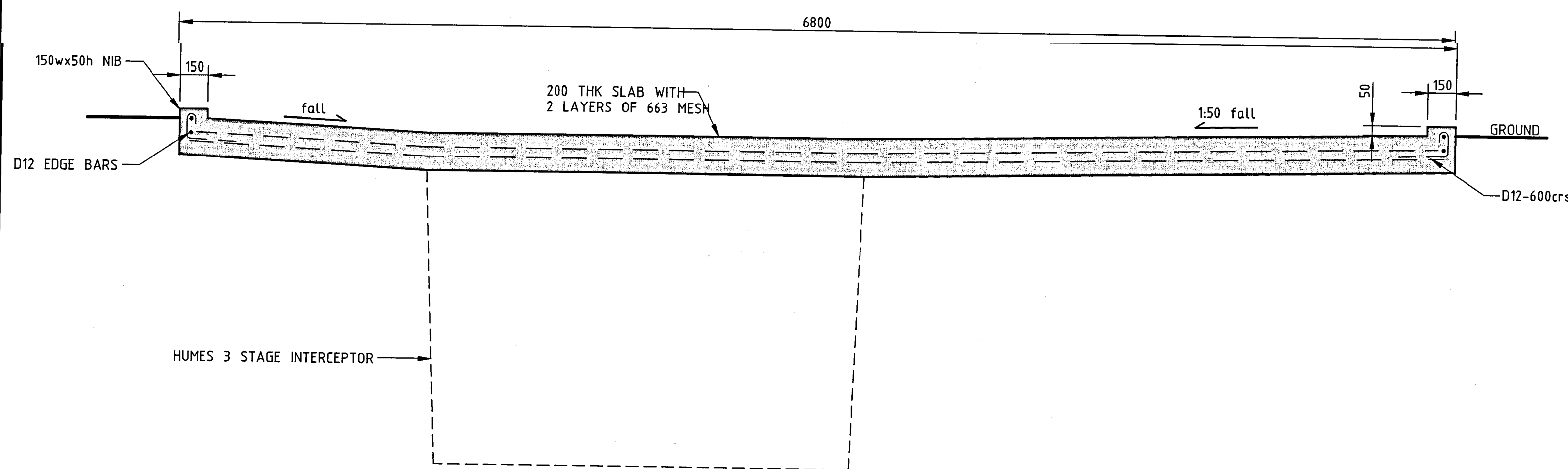
**LOCATION PLAN**  
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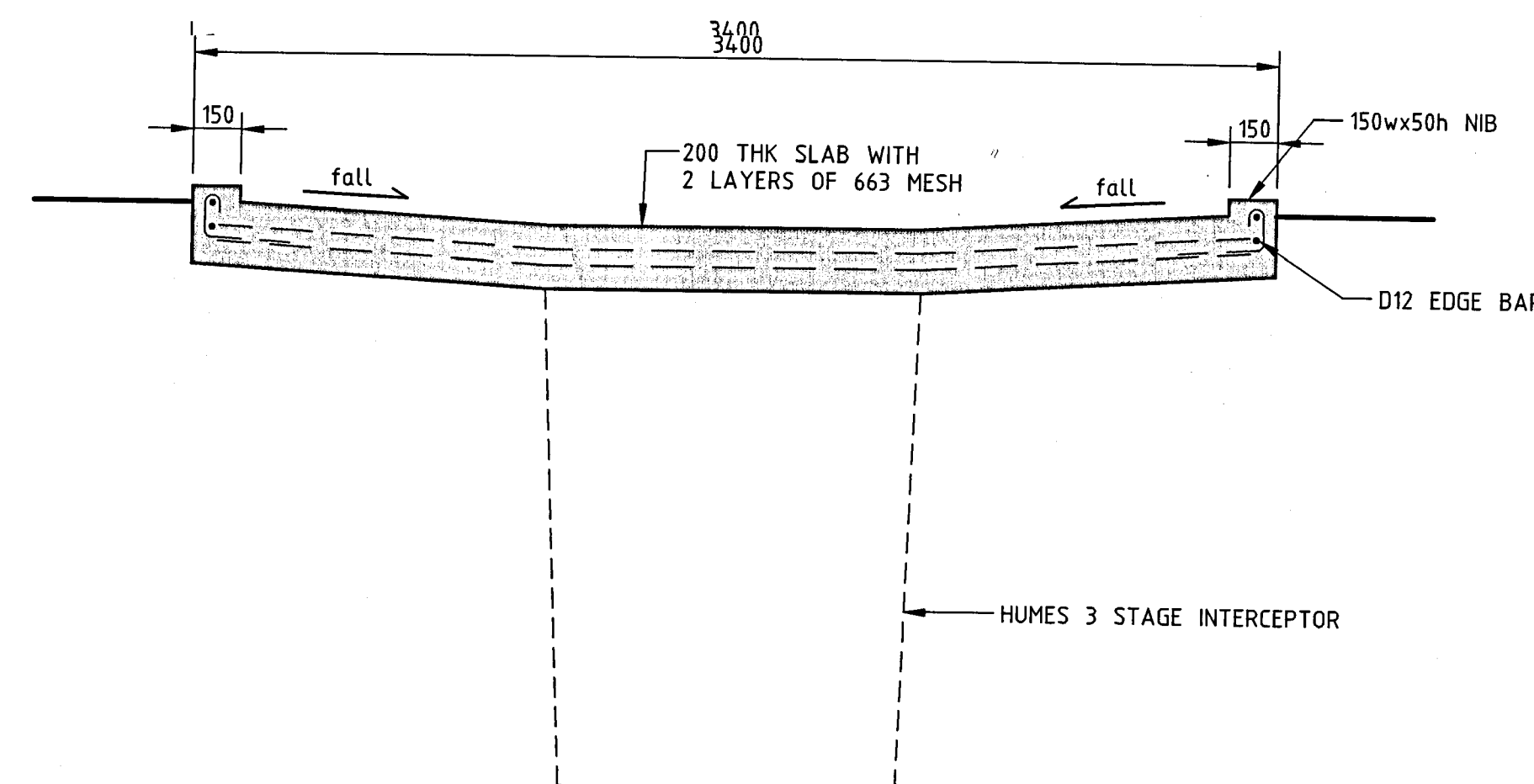
**PROPOSED WASH DOWN SLAB PLAN**  
1:50



**INTERCEPTOR DETAIL**  
1:20



**LONG SECTION THROUGH WASH DOWN SLAB**  
1:20



**SECTION THROUGH WASH DOWN SLAB**  
1:20

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**BUILDING REFURBISHMENT & TENANCY FITOUT  
40 BOUVERIE ST, PETONE**

DRAWING TITLE  
**PROPOSED WASH DOWN SLAB  
SITE PLAN AND DETAILS**

DESIGNED  
DRAWN  
CHECKED

CAD FILE  
FIELD BOOK  
DATE

E06-0503-20  
SEPT 2006

SCALE  
DRAWING NUMBER  
**AS SHOWN**  
**E06-0503-20**

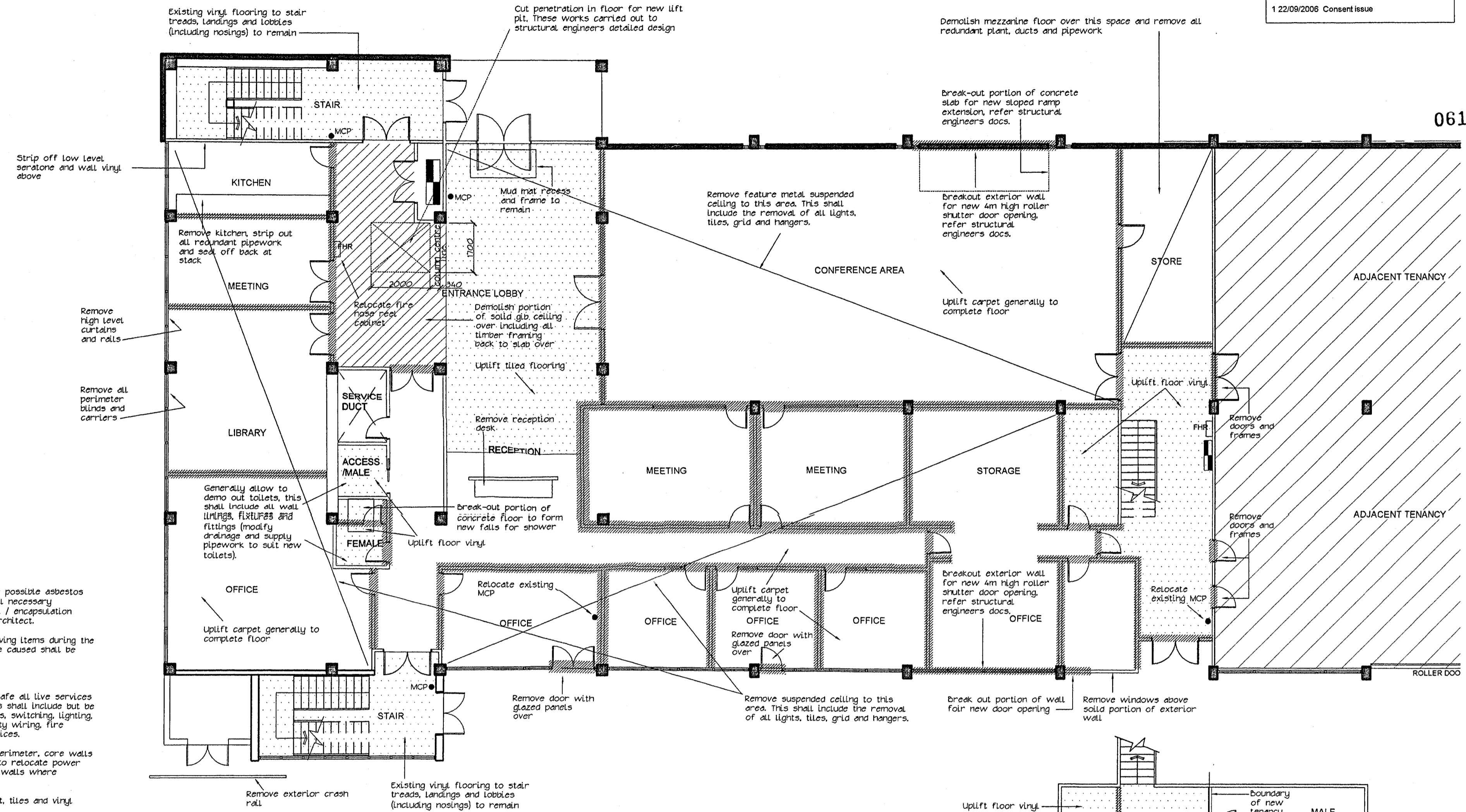
SIZE  
REV  
**A1**  
**A**

RESOURCE MANAGEMENT - LAND PLANNING - SURVEYING - STRUCTURAL - CIVIL - FIRE

061321

AMENDMENTS  
1 22/09/2006 Consent issue

061321

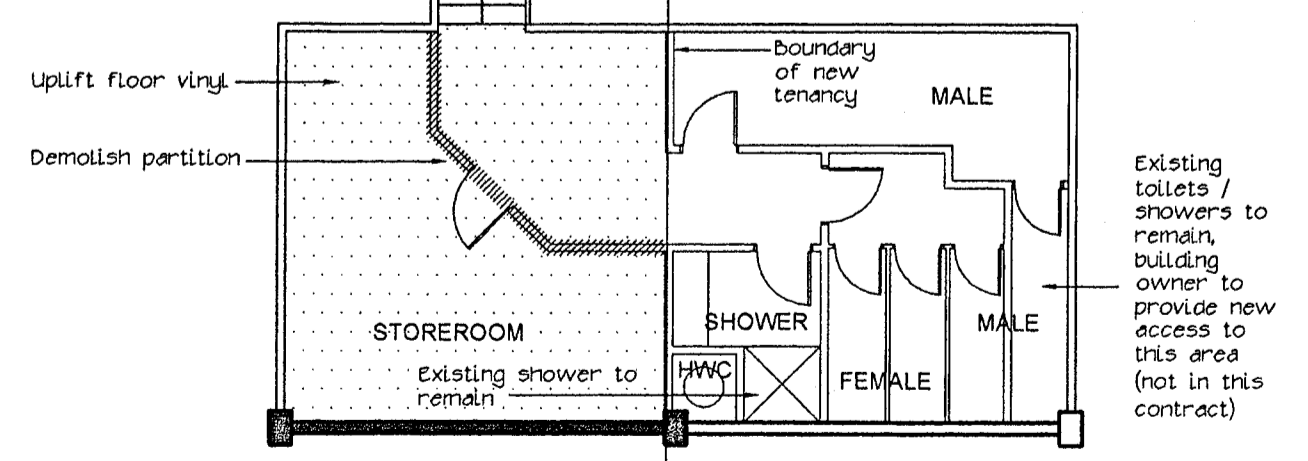


**DEMOLITION NOTES:**

- 1.) Check construction zone for possible asbestos and PCB's and allow to take all necessary precautions during the removal / encapsulation process as agreed with the Architect.
- 2.) Allow to protect the following items during the demolition process, any damage caused shall be made good by the contractor:
  - Perimeter glazing
  - Stairs
- 3.) Allow to terminate / make safe all live services in areas to be demolished. This shall include but be not limited to electrical outlets, switching, lighting, comms and data wiring, security wiring, fire protection and mechanical services.
- 4.) Existing power outlets to perimeter, core walls and columns to remain, allow to relocate power outlets on demolished tenancy walls where possible.
- 5.) Uplift and remove all carpet, tiles and vinyl floor coverings back to slab.
- 6.) Remove suspended ceiling, grid and suspension system back to slab over.
- 7.) Remove all built in joinery units
- 8.) Remove all redundant lights and circuits.
- 9.) Existing emergency lighting to remain.
- 10.) Remove all redundant mechanical plant, this shall include all window mounted air conditioning units.
- 11.) Remove all redundant gas heaters, strip out gas pipework and cap-off at source.

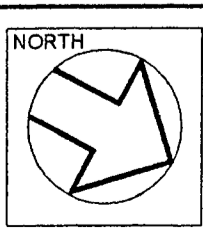
**LEGEND:**

- Existing partition to remain
- Existing partition to be demolished



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PROJECT  
**BUILDING REFURBISHMENT AND TENANCY FITOUT FOR BALANCED INVESTMENTS**

ADDRESS  
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PETONE

SHEET TITLE  
**DEMOLITION PLAN GROUND FLOOR**

SCALE 1 : 100 @ A2  
XREF 1561XLOG  
The contractor shall verify all dimensions on site. Any discrepancy to this drawing must be referred to the Architect for clarification prior to manufacture of construction.

DATE 22 / 09 / 2006  
COMPUTER REF. No. 1561EL02  
C.Code, I DWG No. E, L - 02, 1 Rev. 1

061321

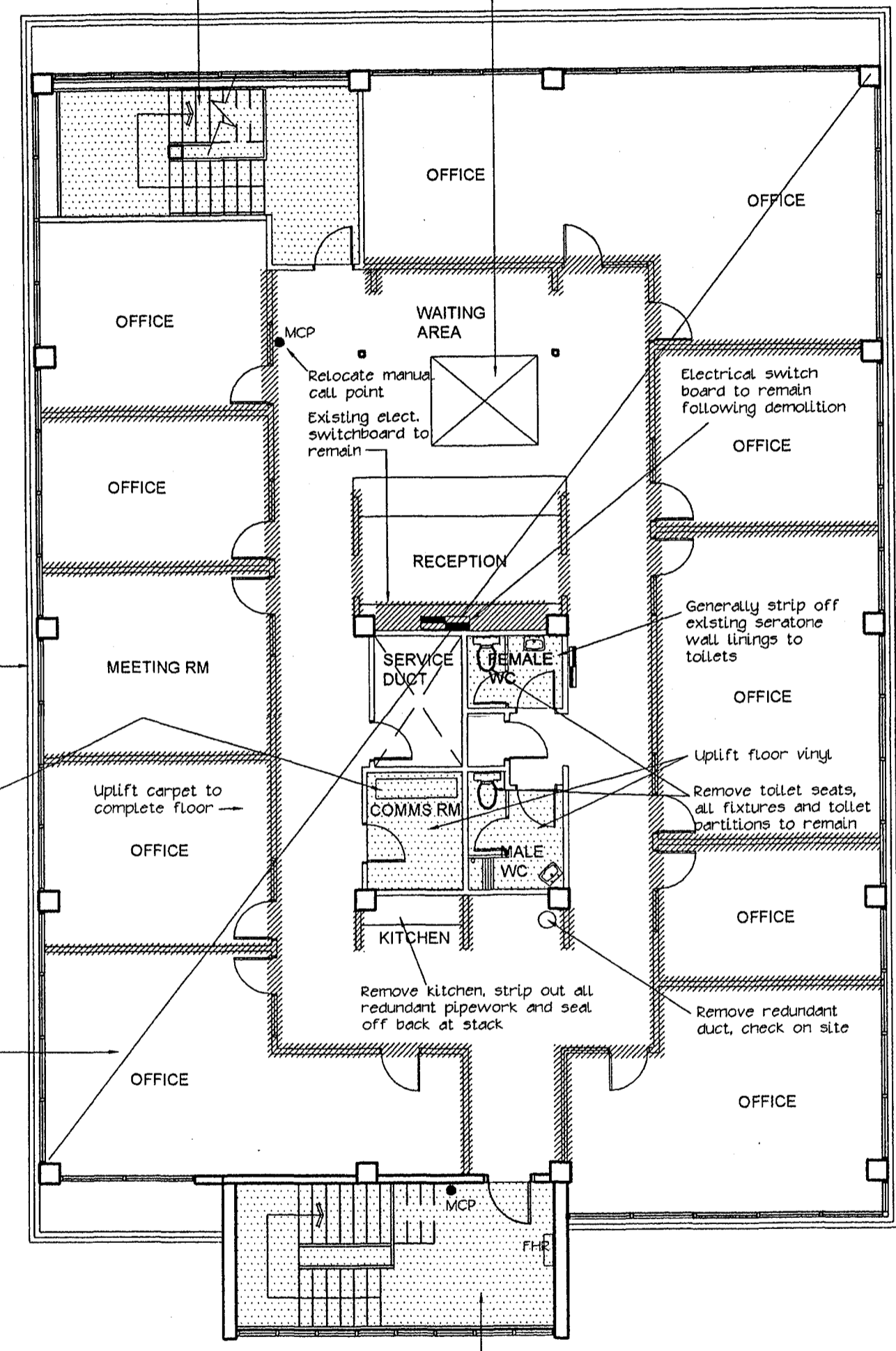
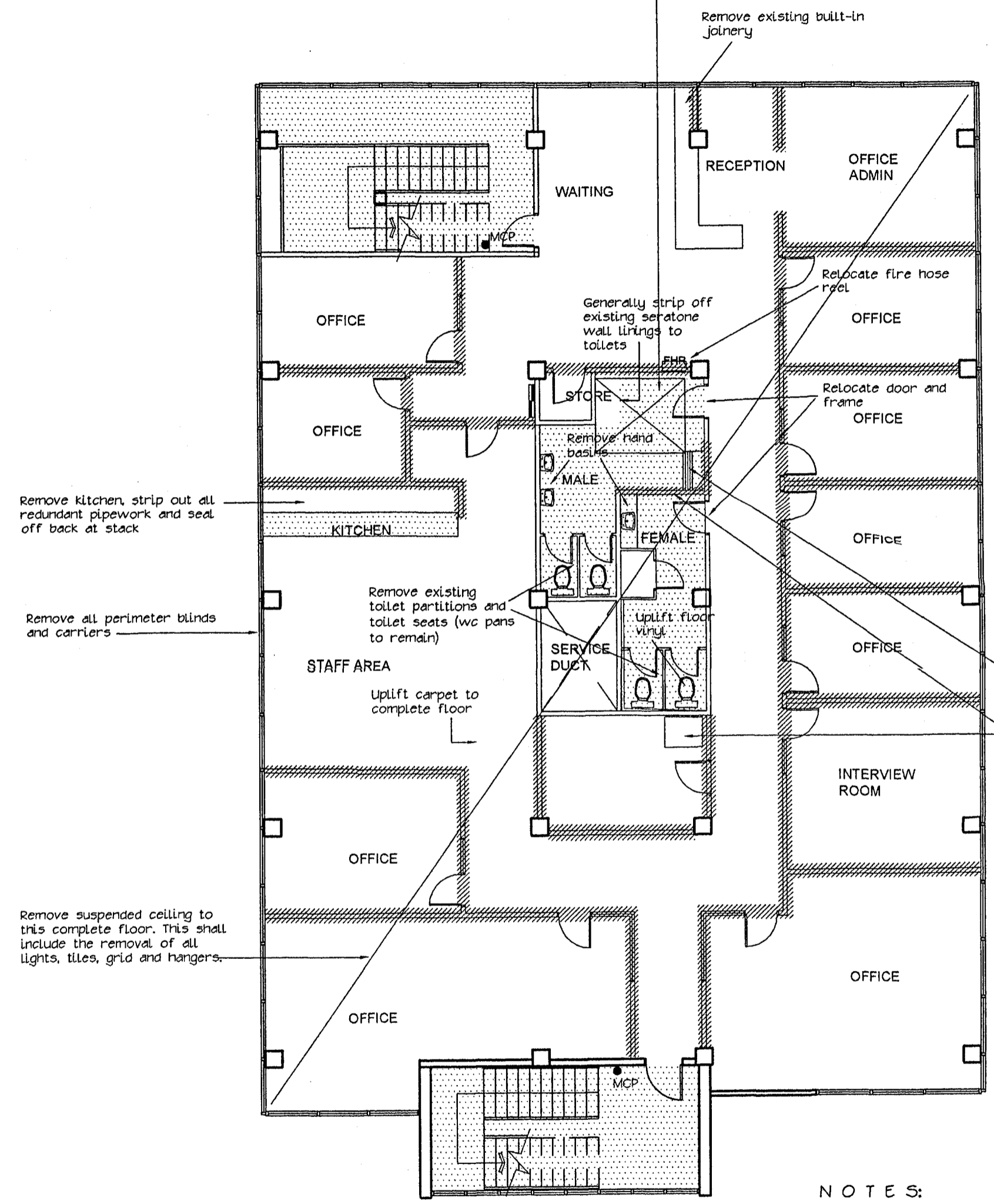
Form penetration in floor for new lift shaft, modify walls and demolish as necessary. These works carried out to Structural Engineers detailed design.

**DEMOLITION NOTES:**

- 1.) Check construction zone for possible asbestos and PCB's and allow to take all necessary precautions during the removal / encapsulation process as agreed with the Architect.
- 2.) Allow to protect the following items during the demolition process, any damage caused shall be made good by the contractor:
  - Perimeter glazing
  - Stairs
- 3.) Allow to terminate / make safe all live services in areas to be demolished. This shall include but be not limited to electrical outlets, switching, lighting, comms and data wiring, security wiring, fire protection and mechanical services.
- 4.) Existing power outlets to perimeter, core walls and columns to remain, allow to relocate power outlets on demolished tenancy walls where possible.
- 5.) Uplift and remove all carpet, tiles and vinyl floor coverings back to slab.
- 6.) Remove suspended ceiling, grid and suspension system back to slab over.
- 7.) Remove all built in joinery units
- 8.) Remove all redundant lights and circuits.
- 9.) Existing emergency lighting to remain.
- 10.) Remove all redundant mechanical plant, this shall include all window mounted air conditioning units.
- 11.) Remove all redundant gas heaters, strip out gas pipework and cap-off at source.

Existing vinyl flooring to stair treads, landings and lobbies (including nosings) to remain

Form penetration in floor for new lift shaft, modify walls and demolish as necessary. These works carried out to Structural Engineers detailed design. Allow to also form penetration in roof slab and relocate any necessary roof based plant to form lift over-run.



**NOTES:**

1. Allow to remove all redundant lights, mechanical plant.
2. Replace existing sprinkler heads with new modern heads.
3. Remove all window mounted air conditioning units, re-instate glazing

**LEGEND:**

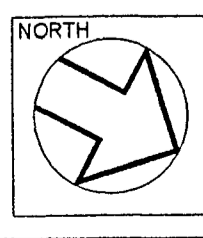
- Existing partition to remain
- Existing partition to be demolished

Existing vinyl flooring to stair treads, landings and lobbies (including nosings) to remain



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PROJECT  
**BUILDING REFURBISHMENT AND TENANCY FITOUT FOR BALANCED INVESTMENTS**

ADDRESS  
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PETONE

SHEET TITLE  
**DEMOLITION PLANS LEVELS 1 AND 2**

SCALE 1 : 100 @ A2  
XREF 1561XL01  
The contractor shall verify all dimensions on site. Any discrepancy to this drawing must be referred to the Architect for clarification prior to manufacture of construction.

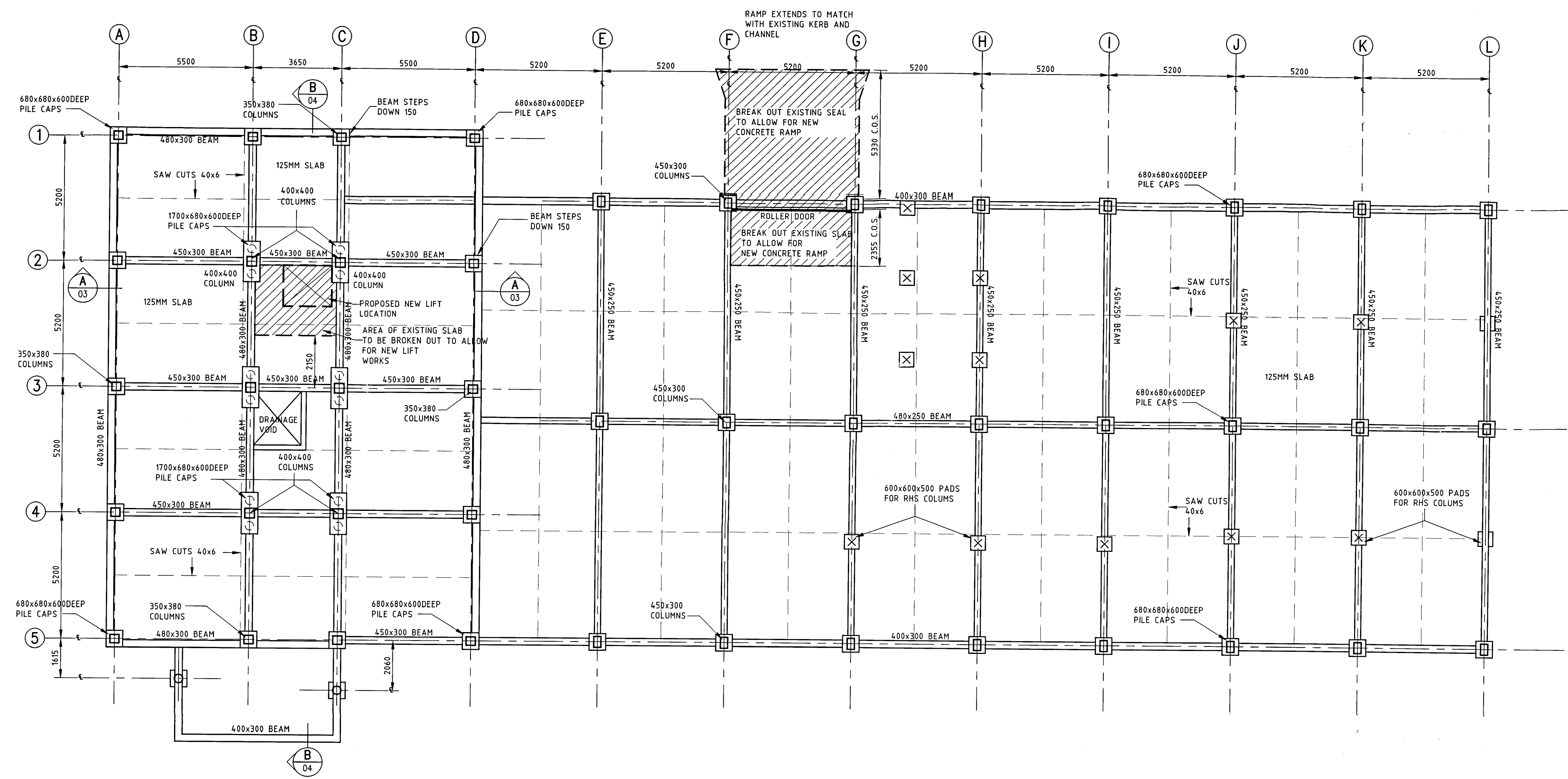
DATE 22 / 09 / 2006  
COMPUTER REF. No. 1561EL03  
C.Code DWG No. E L - 03 Rev. 1

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A	FOR BUILDING CONSENT	MIL	26/9/2006

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RESOURCE MANAGEMENT - LAND PLANNING - SURVEYING - STRUCTURAL - CIVIL - FIRE

61321



**OFFICE FOUNDATION PLAN  
SHOWING DEMOLITION**  
1:100

**WORKSHOP FOUNDATION PLAN  
SHOWING DEMOLITION**  
1:100

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**BALANCED INVESTMENTS**

PRINCIPAL CONSULTANT  
**WORKSPACE VISION**

PROJECT  
**BUILDING REFURBISHMENT  
& TENANCY FITOUT  
40 BOUVIERIE ST, PETONE**

DRAWING TITLE  
**EXISTING  
FOUNDATION PLAN  
SHOWING DEMOLITION**

DESIGNED PJM  
DRAWN MIL  
CHECKED

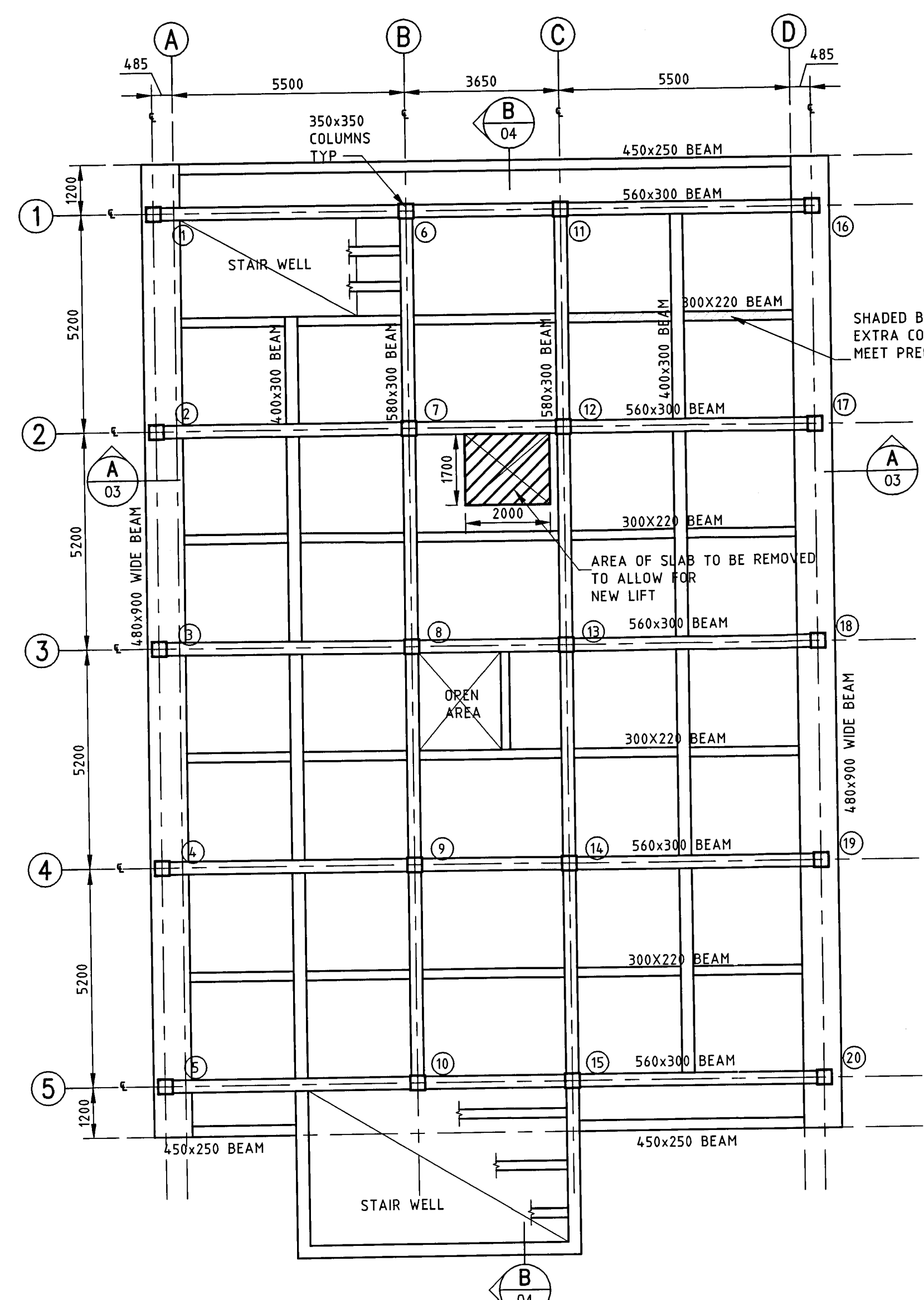
CAD FILE E06-0503-01  
FIELD BOOK  
DATE 14/9/2006

SCALE AS SHOWN SIZE A1

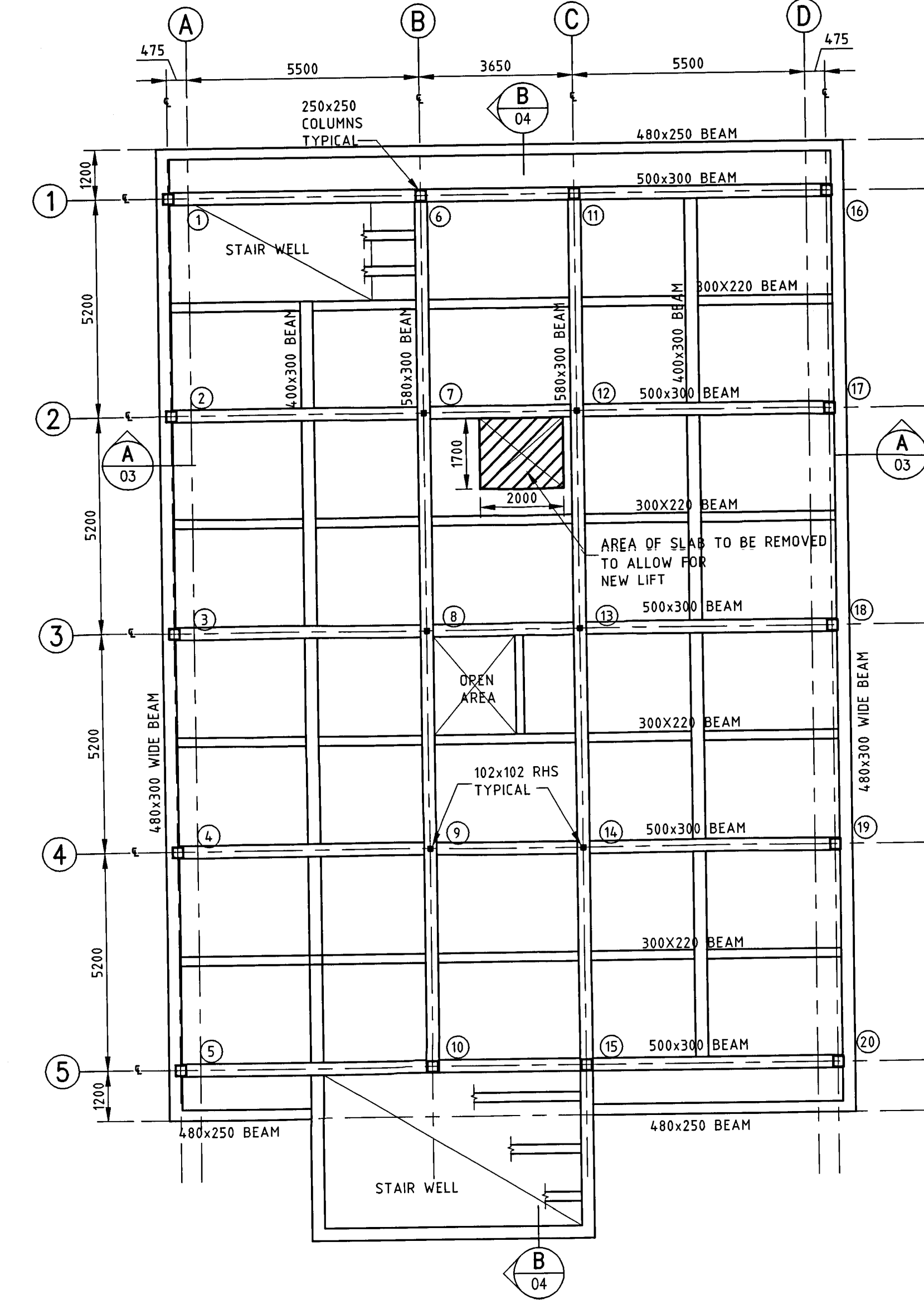
DRAWING NUMBER REV  
E06-0503-01 A

NO	REVISION	BY	DATE
A	FOR BUILDING CONSENT	MIL	26/9/2006

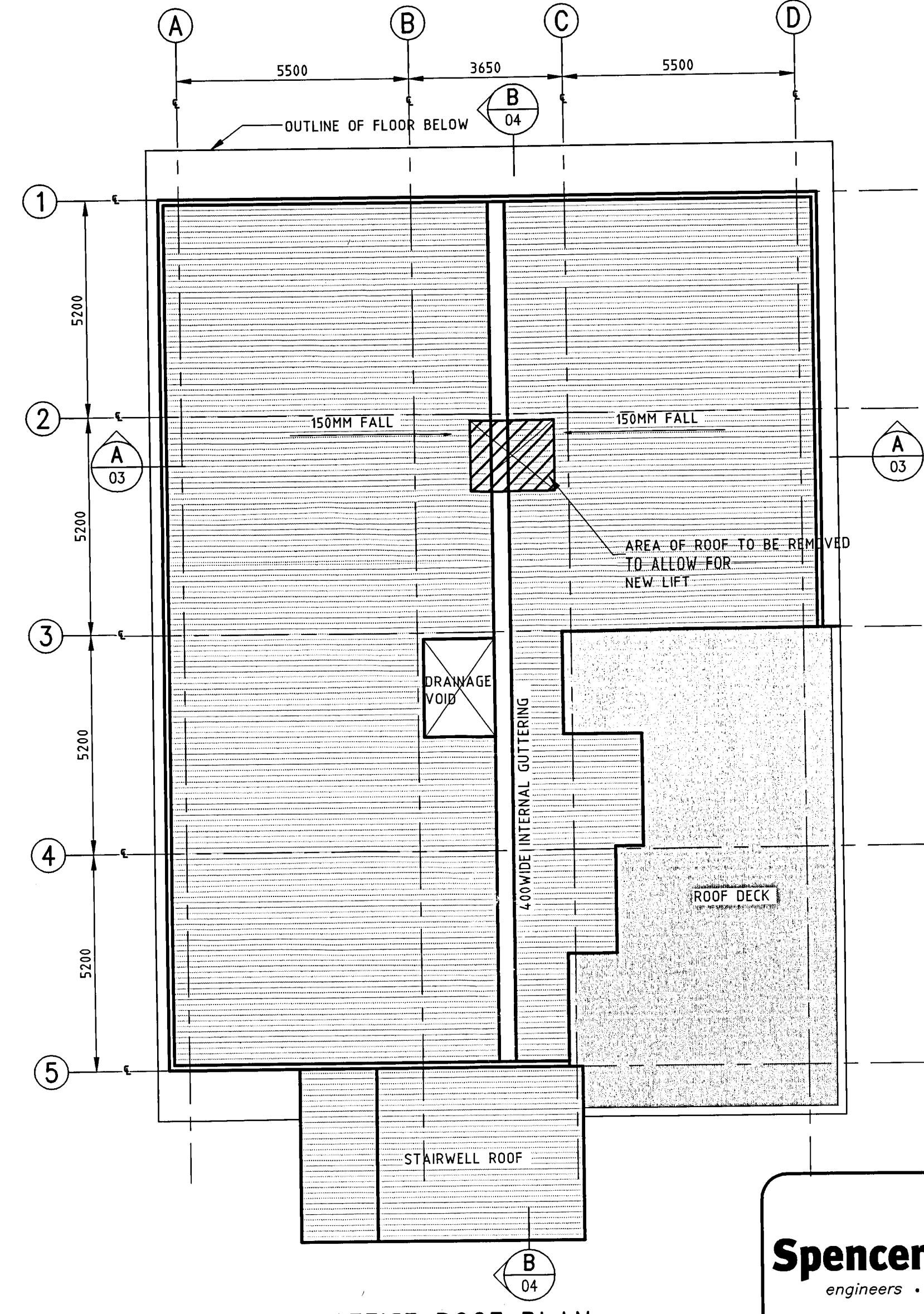
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The Contractor shall verify all dimensions on site.



**OFFICE FIRST FLOOR  
BEAM FRAMING PLAN  
SHOWING DEMOLITION**  
1:100



**OFFICE SECOND FLOOR  
BEAM FRAMING PLAN  
SHOWING DEMOLITION**  
1:100



**OFFICE ROOF PLAN  
SHOWING DEMOLITION**  
1:100

**SpencerHolmes**  
engineers • surveyors • planners

Level 6  
PO Box 588  
Phone (04) 472-2261  
Email admin@spencerholmes.co.nz

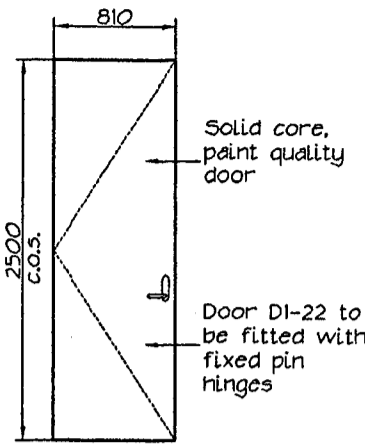
8 Willis Street  
Wellington, NZ  
Fax (04) 471-2372

CLIENT	BALANCED INVESTMENTS
PRINCIPAL CONSULTANT	WORKSPACE VISION
PROJECT	BUILDING REFURBISHMENT & TENANCY FITOUT 40 BOUVIERIE ST, PETONE
DRAWING TITLE	STRUCTURAL FLOOR PLANS FIRST & SECOND FLOOR SHOWING DEMOLITION
DESIGNED P.J.M.	CAD FILE E06-0503-02
DRAWN MIL	FIELD BOOK
CHECKED	DATE 14/9/2006
SCALE	AS SHOWN
DRAWING NUMBER	E06-0503-02
SIZE	A1
REV	A

RESOURCE MANAGEMENT - LAND PLANNING - SURVEYING - STRUCTURAL - CIVIL - FIRE 061321

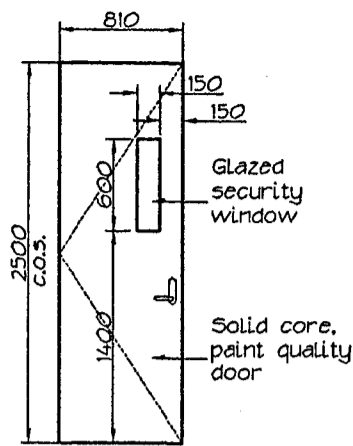
# DOOR SCHEDULE

AMENDMENTS  
0 / /



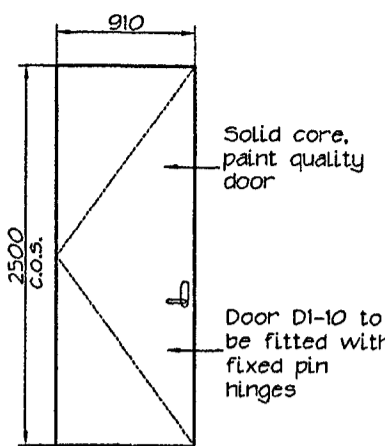
**Door Type "1"**  
(20 off, confirm on site)  
42mm solid core, paint quality finish door.  
Frame to be aluminium Designer 1000 slimline sections.

DG-06 D1-02 D2-02  
DG-07 D1-04 D2-03  
DG-10 D1-05 D2-12  
DG-15 D1-06 D2-14  
D1-07 D2-15  
D1-11 D2-16  
D1-12 D2-17  
D1-20  
D1-22



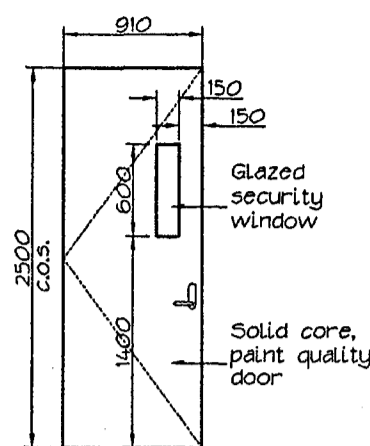
**Door Type "2"**  
(2 off, confirm on site)  
42mm solid core, paint quality finish door.  
Frame to be aluminium Designer 1000 slimline sections.

DG-08  
DG-14



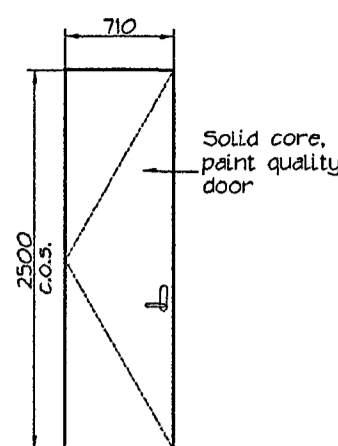
**Door Type "3"**  
(3 off, confirm on site)  
42mm solid core, paint quality finish door.  
Frame to be aluminium Designer 1000 slimline sections.

DG-09 D1-10  
DG-23



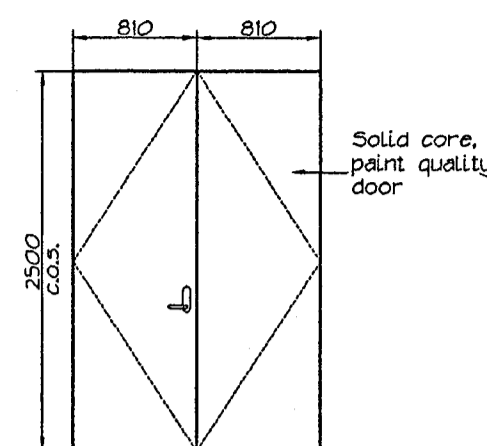
**Door Type "4"**  
(2 off, confirm on site)  
42mm solid core, paint quality finish door.  
Frame to be aluminium Designer 1000 slimline sections.

DG-05 D1-08



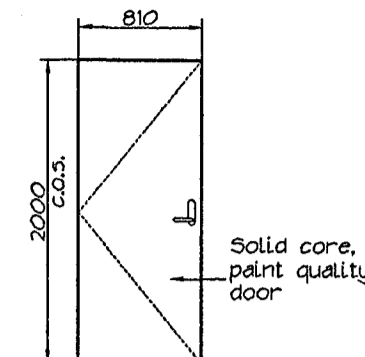
**Door Type "5"**  
(1 off, confirm on site)  
42mm solid core, paint quality finish door.  
Frame to be aluminium Designer 1000 slimline sections.

D1-21



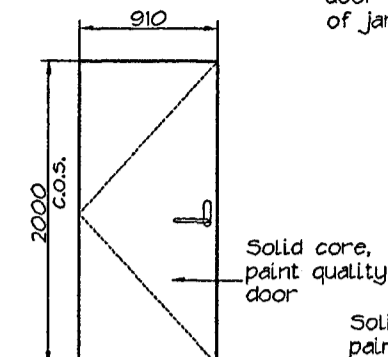
**Door Type "6"**  
(1 off, confirm on site)  
42mm solid core, paint quality finish double doors with rebated meeting stiles.  
Frame to be aluminium Designer 1000 slimline sections.

DG-21



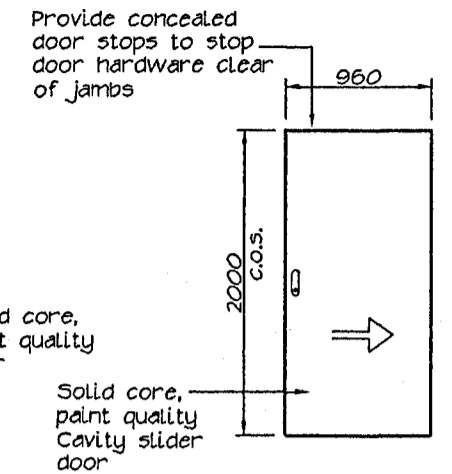
**Door Type "7"**  
(4 off, confirm on site)  
42mm solid core, paint quality finish door.  
Frame to be aluminium Designer 1000 slimline sections.

DG-24  
DG-25  
DG-26  
DG-27



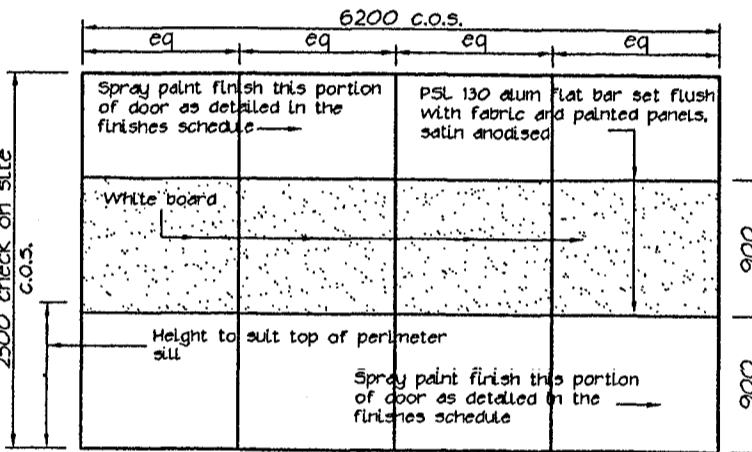
**Door Type "8"**  
(1 off, confirm on site)  
42mm exterior grade solid core, paint quality finish door.  
Frame to be H5 rebated timber, paint quality finish.

DG-22



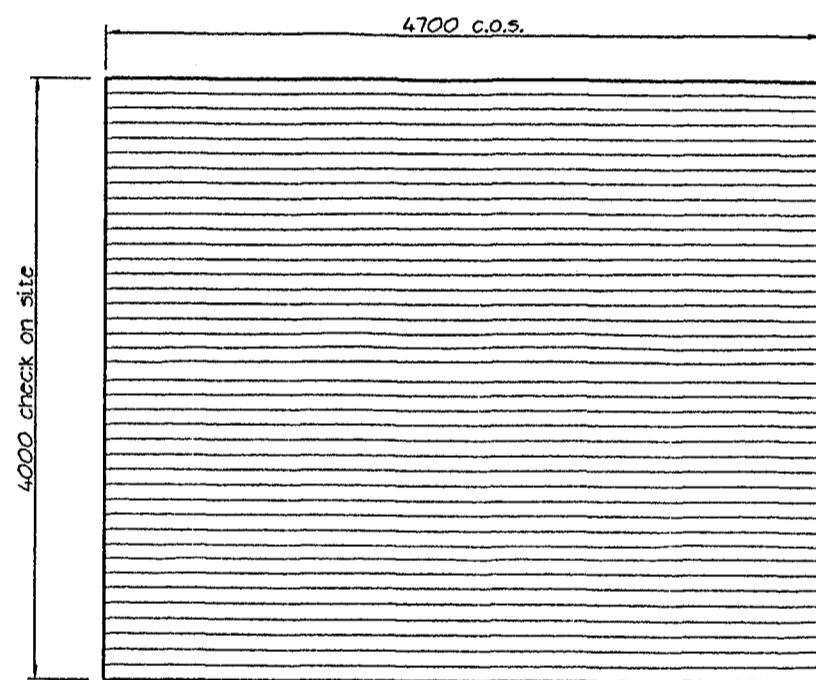
**Door Type "9" 061321**  
(2 off, confirm on site)  
42mm solid core Cavity Slider door "FULL HEIGHT DETAIL", paint quality finish door.  
Frame to be aluminium system provided by Cavity Slider doors, powder coat finished.  
Head frame to be flush with the underside of the suspended ceiling.

DG-12  
DG-13



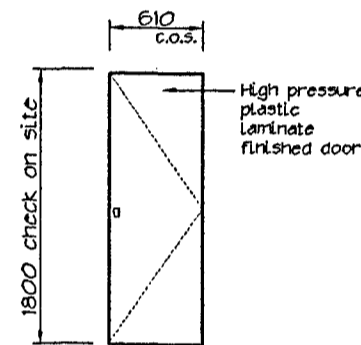
**Door Type "10"**  
(1 off, confirm on site)  
New Hufcor folding/operable wall, model 5612-46. This door to complete with:  
1) Top and bottom operating seals  
2) Side stacking track  
3) Closer with expanding jamb closure  
4) 46 STC rating minimum  
5) Panels to be finished with shop applied high gloss spray paint finish  
6) Aluminium trim to be powder coated to match adjacent aluminium partitioning  
7) Hufcor to provide all tracks, overhead beam, bracing, fittings and fixings, Hufcor shall site measure/site check prior to pricing and manufacture

D1-03



**Door Type "11"**  
(2 off, confirm on site)  
Metalbilt Steel Roller Shutter door complete with wind lock, wind lock guides and electric motorised operation. Include manual override chain. Allow to co-ordinate motorised operation with security contractor.

DG-18  
DG-19



**Door Type "12"**  
(4 off, confirm on site)  
- High pressure plastic laminate finished doors (by toilet partition manufacturer)  
D1-13  
D1-14  
D1-16  
D1-17

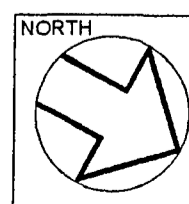
## Notes

- Refer appendix "b" in the specification for the hardware schedule, allow to supply and fit all hardware listed in this schedule.
- Hardware supplier to master key all locks to standard Ministry of Fisheries system as provided by Armstrong Locksmiths, contact: Steve Karmawan ph. 0800-506111
- Doors numbered on the drawings are slightly different to the numbering system used on the hardware schedule in appendix "b". Examples are listed below,  
drawings read "DG-01" - hardware schedule reads "G 001"  
drawings read "D1-01" - hardware schedule reads "L01 001"  
drawings read "D2-01" - hardware schedule reads "L02 001"



REGISTERED ARCHITECTS ANZIA  
Ground Floor, Exchange Place  
5-7 Willeston Street, P.O.Box 24431  
Wellington - New Zealand  
Ph (04) 473 2810 Fax (04) 473 2811

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PROJECT  
**BUILDING REFURBISHMENT AND TENANCY FITOUT FOR BALANCED INVESTMENTS**

ADDRESS  
40 BOUVERIE STREET  
PETONE

SHEET TITLE  
**DOOR SCHEDULE**

SCALE 1 : 100 @ A2

DATE 06 / 09 / 2006

XREF

COMPUTER REF. No. 1561ES01

The contractor shall verify all dimensions on site. Any discrepancy to this drawing must be referred to the Architect for clarification prior to manufacture of construction.

C.Code DWG No. S - 01 Rev. 0  
E 1 0

061321

**ELECTRICAL LEGEND:**

- ⊖E2 Existing power outlets to remain.
- ⊖N2 New double power outlet, provide new circuits back to switch board as necessary.

Note:  
Allow to reuse / relocate existing power outlets and circuits where possible.

**ELECTRICAL NOTES:**

- All electrical works to comply with NZBC G9/AS1 and the New Zealand Electrical codes of practice (ECP)
- Install new outlets as detailed. Outlets to be installed above joinery refer to joinery details.
- Check switchboard capacity, re-route all lights / outlets onto separate metered circuit.
- supply power outlets and an isolation switch in the kitchenette for the fridge and water boiling unit. Power to the comm's room is to be advised.
- All new alum trunking and droppers to be fully earthed.

Refer Spencer Holmes documents for alterations / modifications to incoming power supply / main switch board and general distribution boards.

**DATA LEGEND:**

DATA OUTLETS SHOWN FOR INFORMATION ONLY. THIS WORK CARRIED OUT BY TENANTS SEPARATE CONTRACTOR (NOT IN THIS CONTRACT)

- ⊖ No. RJ45 data outlets at level to match power outlets, wiring to be Cat 5E unless specified otherwise.

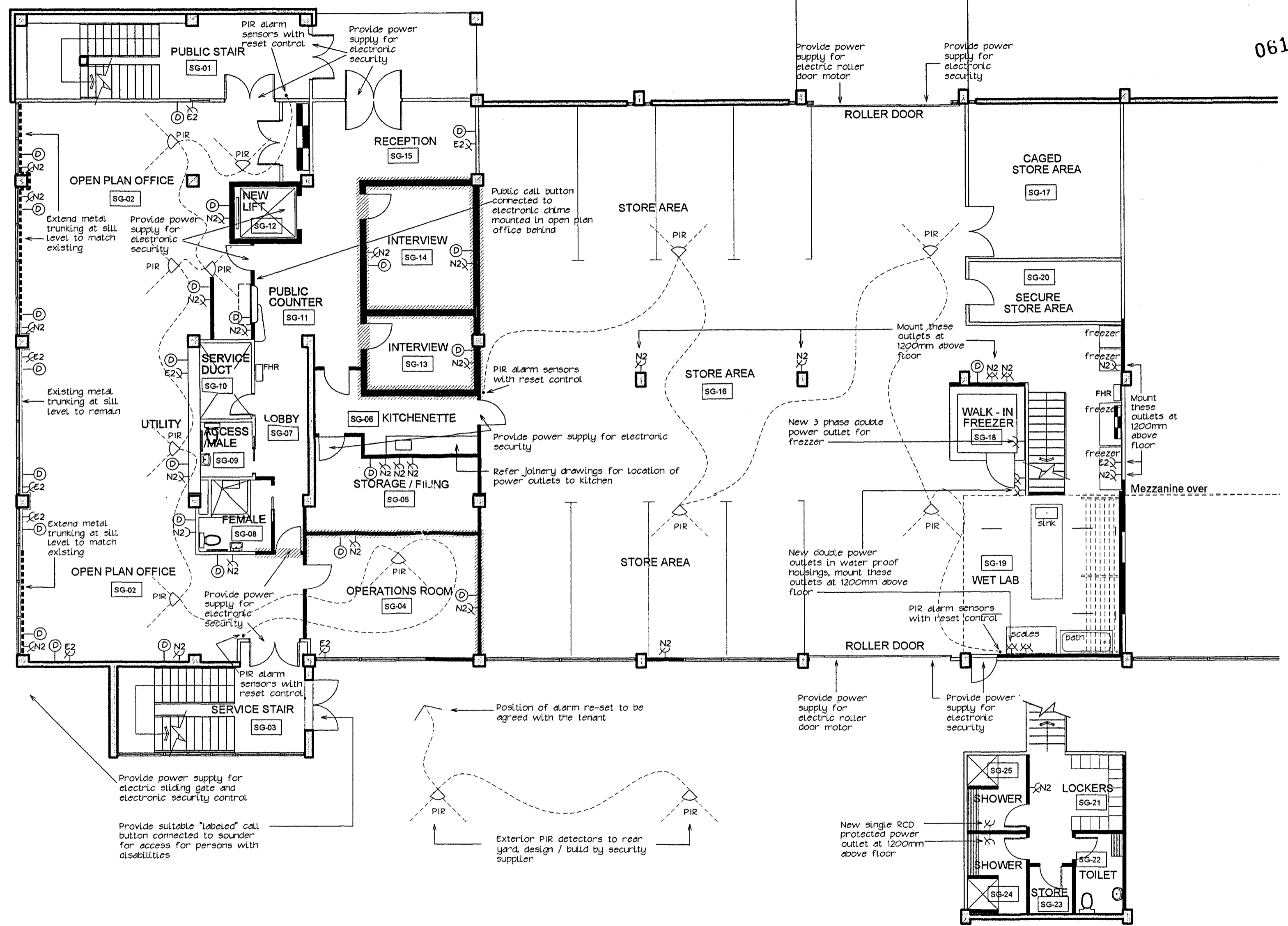
Allow to reuse existing data outlets and wiring where possible

**SECURITY:**

This contract shall allow for the provision of clean power supply to card access security doors as indicated.

Supply and installation of electronic card access security to doors to be carried out by tenants separate contractor (not in this contract).

- PIR Position of PIR detectors as installed by tenants separate contractor (not in this contract)

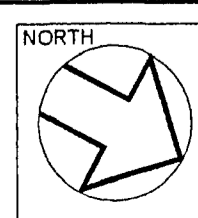


MEZZANINE PLAN



REGISTERED ARCHITECTS ANZIA  
Ground Floor, Exchange Place  
5-7 Willeston Street, P.O. Box 24431  
Wellington - New Zealand  
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PROJECT  
BUILDING REFURBISHMENT AND TENANCY FITOUT FOR BALANCED INVESTMENTS

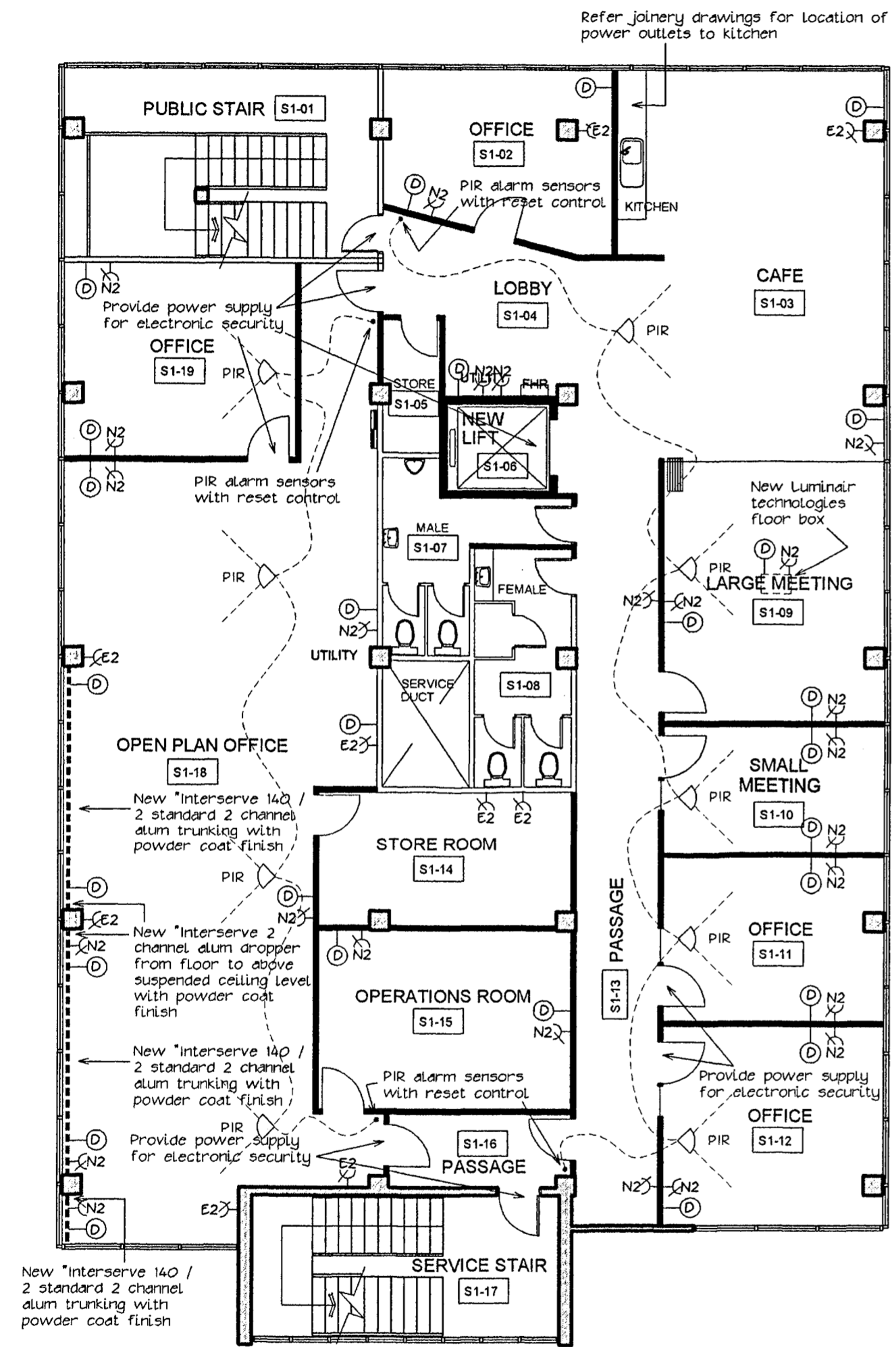
ADDRESS  
40 BOUVIERIE STREET PETONE

SHEET TITLE  
ELECTRICAL / DATA PLAN GROUND FLOOR

SCALE 1 : 100 @ A2  
XREF 1561YLOG  
The contractor shall verify all dimensions on site. Any discrepancy to this drawing must be referred to the Architect for clarification prior to manufacture of construction.

DATE 22 / 09 / 2006  
COMPUTER REF. No. 1561EL06  
C.Code DWG No. Page 224 of 243  
E L - 06 1

061321



**ELECTRICAL LEGEND:**

- E2 Existing power outlets to remain.
- N2 New double power outlet, provide new circuits back to switch board as necessary.

Note:  
Allow to reuse / relocate existing power outlets and circuits where possible.

**ELECTRICAL NOTES:**

- All electrical works to comply with NZBC G9/AS1 and the New Zealand Electrical codes of practice (ECP)
- Install new outlets as detailed. Outlets to be installed above joinery refer to joinery details.
- Check switchboard capacity, re-route all lights / outlets onto separate metered circuit.
- supply power outlets and an isolation switch in the kitchenette for the fridge and water boiling unit. Power to the comms room is to be advised.
- All new alum trunking and droppers to be fully earthed.

Refer Spencer Holmes documents for alterations / modifications to incoming power supply / main switch board and general distribution boards.

**DATA LEGEND:**

DATA OUTLETS SHOWN FOR INFORMATION ONLY, THIS WORK CARRIED OUT BY TENANTS SEPARATE CONTRACTOR (NOT IN THIS CONTRACT)

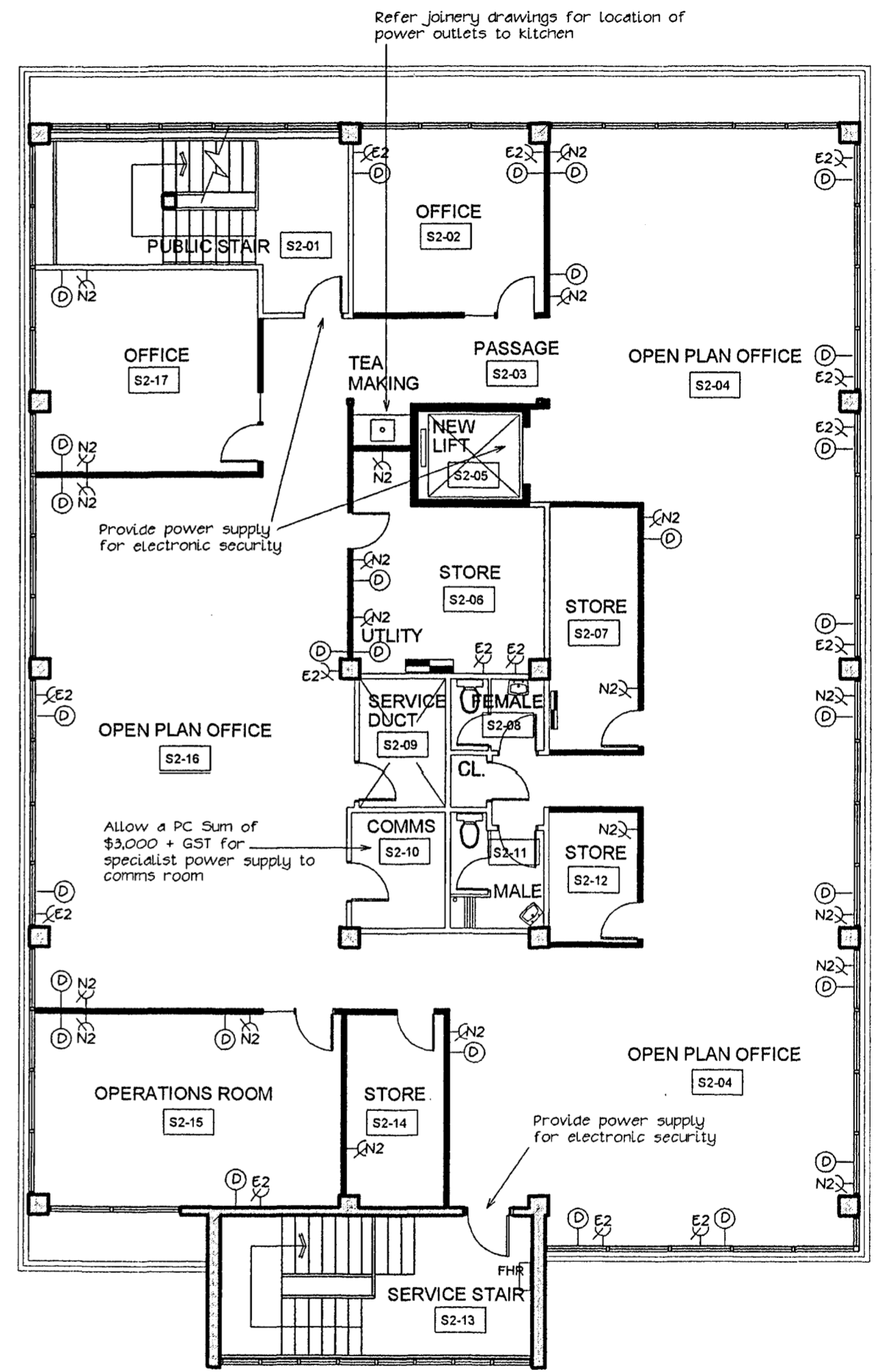
- D No. RJ45 data outlets at level to match power outlets, wiring to be Cat 5E unless specified otherwise.
- Allow to reuse existing data outlets and wiring where possible

**SECURITY:**

This contract shall allow for the provision of clean power supply to card access security doors as indicated.

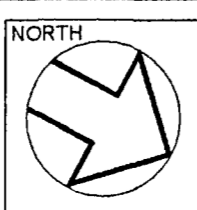
Supply and installation of electronic card access security to doors to be carried out by tenants separate contractor (not in this contract).

- PIR Position of PIR detectors as installed by tenants separate contractor (not in this contract)



REGISTERED ARCHITECTS ANZIA  
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PROJECT  
BUILDING REFURBISHMENT AND TENANCY FITOUT FOR BALANCED INVESTMENTS

ADDRESS  
40 BOUVERIE STREET PETONE

SHEET TITLE  
ELECTRICAL / DATA PLANS LEVELS 1 AND 2

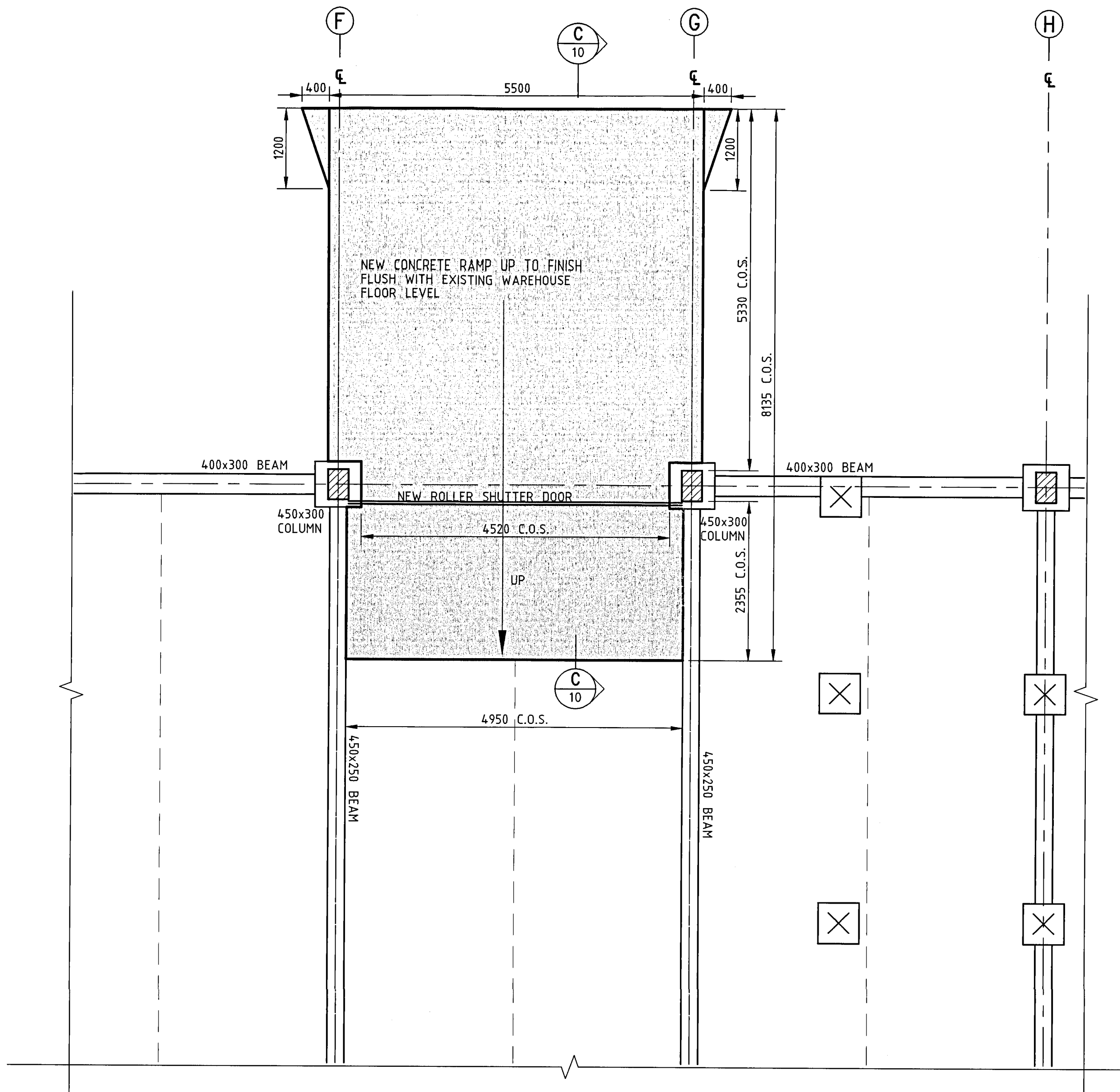
SCALE 1 : 100 @ A2  
XREF 1561YL01 / 1561YL02

DATE 22 / 09 / 2006  
COMPUTER REF. No. 1561EL07  
C.Code DWG No. E L - 07 Rev. 1

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NO	REVISION	BY	DATE
A	FOR BUILDING CONSENT	MIL	26/9/2006

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**PROPOSED WORKSHOP FOUNDATION PLAN**  
1:50

**SpencerHolmes**  
engineers • surveyors • planners

Level 6  
PO Box 588  
Phone (04) 472-2261  
Email admin@spencerholmes.co.nz

8 Willis Street  
Wellington, NZ  
Fax (04) 471-2372

CLIENT  
**BALANCED INVESTMENTS**

PRINCIPAL CONSULTANT  
**WORKSPACE VISION**

PROJECT  
**BUILDING REFURBISHMENT  
& TENANCY FITOUT  
40 BOUVERIE ST, PETONE**

DRAWING TITLE  
**PROPOSED WORKSHOP  
FOUNDATION PLAN**

DESIGNED PJM  
DRAWN ML  
CHECKED

CAD FILE ED6-0503-09  
FIELD BOOK  
DATE 14/9/2006

SCALE  
AS SHOWN

DRAWING NUMBER  
E06-0503-09

SIZE  
A1

REV  
A

RESOURCE MANAGEMENT • LAND PLANNING • SURVEYING • STRUCTURAL • CIVIL • FIRE

61321

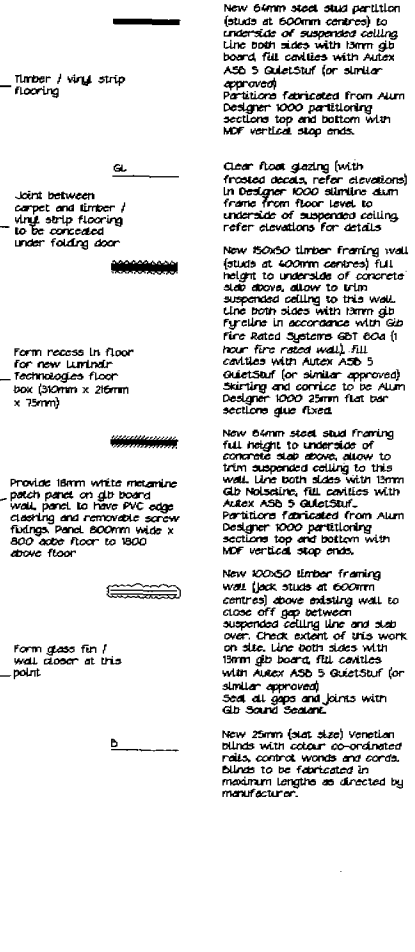
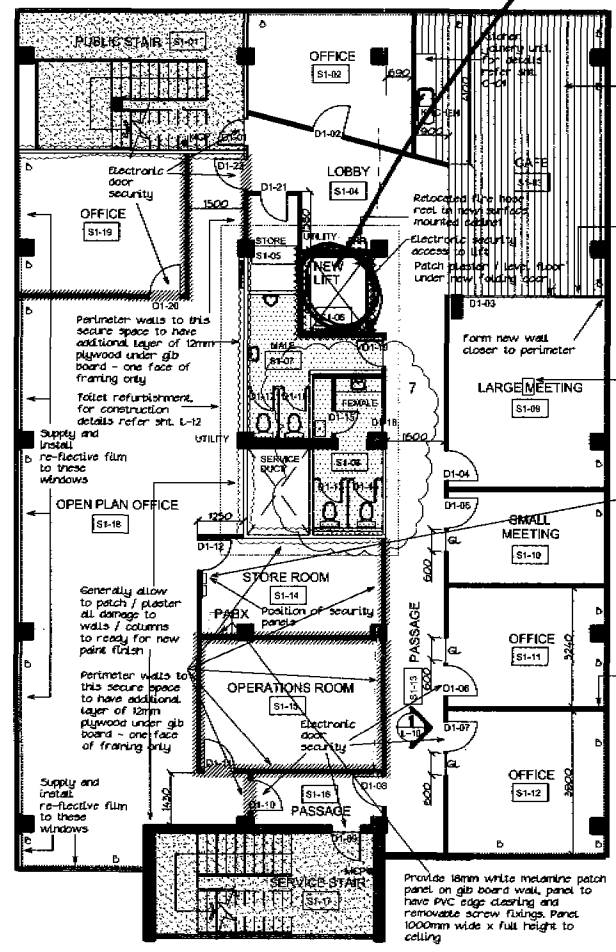
High ~~light~~ CPU based on using building ~~if~~ not commissioned for use by 31/3/2007

LEGEND - WALLS

- Existing building structure (core walls / columns etc) to remain
- Existing wall to remain
- New 64mm steel stud partition (studs at 600mm centres) to underside of suspended ceiling. Line both sides with 13mm g/b board, fill cavities with Autex ASB 5 Guletstaur (or similar approved). Partitions fabricated from Alum Designer 1000 partitioning sections top and bottom with MDF vertical stop ends.
- Clear float glazing (with frosted decals, refer elevations) in Designer 1000 slimline dum frame from floor level to underside of suspended ceiling, refer elevations for details.
- New 150x50 timber framing wall (studs at 600mm centres) full height to underside of concrete slab above, allow to trim suspended ceiling to this wall. Line both sides with 13mm g/b ply/line in accordance with g/b fire rated systems GBT 604 (1 hour fire rated wall). Fill cavities with Autex ASB 5 Guletstaur (or similar approved) sealing and cornice to be Alum Designer 1000 25mm flat bar sections glue fixed.
- New 64mm steel stud framing full height to underside of concrete slab above, allow to trim suspended ceiling to this wall. Line both sides with 13mm g/b Nolseline, fill cavities with Autex ASB 5 Guletstaur. Partitions fabricated from Alum Designer 1000 partitioning sections top and bottom with MDF vertical stop ends.
- New 100x50 timber framing wall (jack studs at 600mm centres) above existing wall to close off gap between suspended ceiling line and slab over. Check extent of this work on site. Line both sides with 13mm g/b board, fill cavities with Autex ASB 5 Guletstaur (or similar approved) seal all gaps and joints with GB Sound Sealant.
- New 25mm (slat size) venetian blinds with colour co-ordinated rails, control cords and cords. Blinds to be fabricated in maximum lengths as directed by manufacturer.

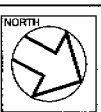
LEGEND - FLOORING

- New timber / vinyl strip flooring 'Kamadean Van Gogh V65-7 Burnt Ginger'
- New carpet flooring in direct stick application. Carpet to be 48oz 80% wool 20% nylon or similar as approved by the client.
- New selected 2mm homogeneous commercial grade floor vinyl covered up walls 100mm. Vinyl to be approved by the tenant.
- Existing floor vinyl to remain, allow to repair / make good any lifting joints and commercial clean.



REGISTERED ARCHITECTS ANZIA  
Ground Floor, Exchange Place  
5-7 Wilketon Street, P.O.Box 24431  
Wellington - New Zealand  
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PROJECT  
BUILDING REFURBISHMENT AND  
TENANCY FITOUT  
FOR  
BALANCED INVESTMENTS

ADDRESS  
40 BOUVIERIE STREET  
PETONE

SHEET TITLE  
CONSTRUCTION PLANS  
LEVELS 1 AND 2

SCALE 1 : 100 @ A2  
XREF 1561YL01 / 1561YL02  
The contractor shall verify all dimensions on site. Any discrepancy to this drawing shall be referred to the Architect for clarification prior to manufacture of construction.

AMENDMENTS  
1 22/05/2006 Consent issue  
2 09/10/2006 Amended Consent  
3 21/11/2006 Construction Issues  
4 22/11/2006 Lift shaft adjustments / re-design  
5 21/12/2006 PABX / security panels added  
6 22/01/2007 Level 1 kitchen altered  
7 31/01/2007 Level 1 female toilet altered

DATE 31 / 01 / 2007  
COMPUTER REF. NO. 1561EL05  
C.Code: DWG No. 227 of 3105  
Rev. 7



lift. CPU based, on using boarding without lift at 3/13/2007.

LINE OF BOUNDARY

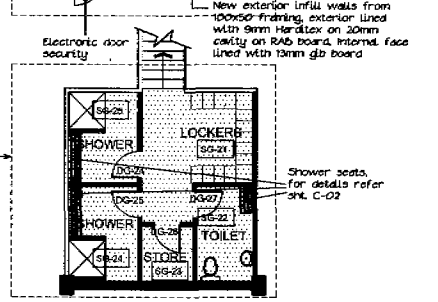
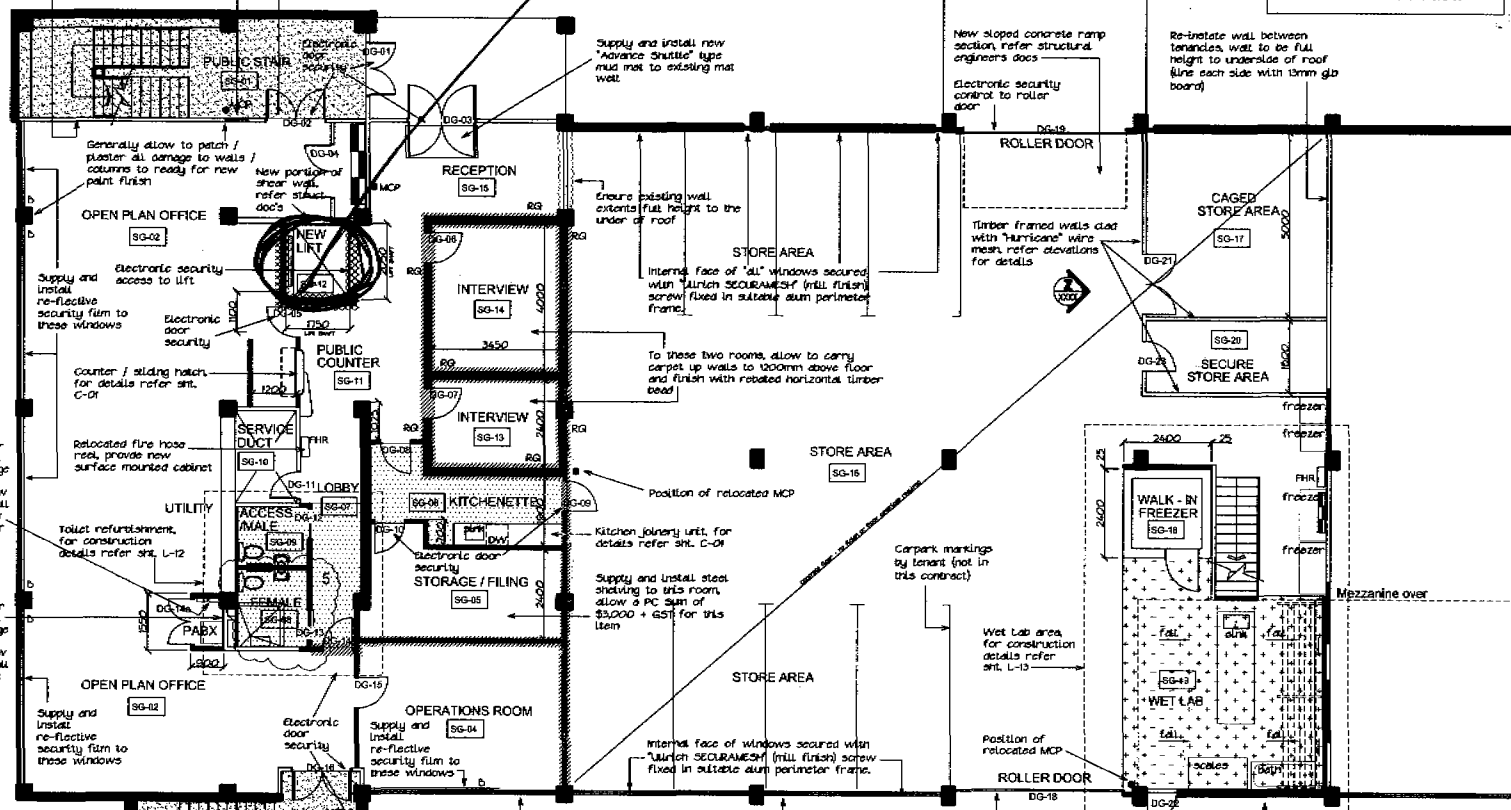
AMENDMENTS	
1 22/08/2006	Consent Issue
2 21/11/2006	Construction Issue
3 22/11/2006	Lift shaft adjustments / re-design
4 21/12/2006	PABX room added
5 22/01/2007	Accessible shower altered

**LEGEND - WALLS**

- Existing building structure (concrete walls / columns etc) to remain
- Existing wall to remain
- New 6mm steel stud partition (studs at 600mm centres) to underside of suspended ceiling. Line both sides with 13mm gib board, fill cavities with Autlex ASB 5 GuletStuf (or similar approved). Partitions fabricated from Alum Designer 1000 partitioning sections top and bottom with MDF vertical stop ends.
- New 6mm steel stud or 100x50 partition (studs at 600mm centres) full height to underside of concrete slab above, allow to trim suspended ceiling to this wall. Line both sides with 13mm gib board, fill cavities with Autlex ASB 5 GuletStuf (or similar approved). Partitions fabricated from Alum Designer 1000 partitioning sections top and bottom with MDF vertical stop ends.
- Clear float glazing (with frosted glass - refer elevations) in Designer 1000 slimline alum frame from floor level to underside of suspended ceiling, refer elevations for details.
- New 150x50 timber framing wall (studs at 400mm centres) full height to underside of concrete slab above, allow to trim suspended ceiling to this wall. Line both sides with 13mm gib board, fire line in accordance with GB Fire Rated Systems gbi 60s (1 hour fire rated wall), fill cavities with Autlex ASB 5 GuletStuf (or similar approved). Skirting and cornice to be Alum Designer 1000 25mm flat bar sections glue fixed.
- New 90mm steel stud "gib Rondo" wall (studs at 400mm centres) full height to underside of concrete slab above, allow to trim suspended ceiling to this wall. Line both sides with 13mm gib board, fire line in accordance with GB Fire Rated Systems gbi 60s (1 hour fire rated wall), fill cavities with Autlex ASB 5 GuletStuf (or similar approved). Skirting and cornice to be Alum Designer 1000 25mm flat bar sections glue fixed.
- New 100x50 timber framing wall (jock studs at 600mm centres) above existing wall to close off gap between suspended ceiling line and slab over. Check extent of this work on site, line both sides with 13mm gib board, fill cavities with Autlex ASB 5 GuletStuf (or similar approved). Seal all gaps and joints with gip sound Sealant.
- New 25mm (best size) Venetian blinds with colour co-ordinated rails, control wires and cords. Blinds to be fabricated in maximum length as directed by manufacturer.

**LEGEND - FLOORING**

- New Nuplex "Industrial Terrazzo" 6.5mm thick heavy duty trowelled resin flooring, refer appendix "F" of the specification.
- New selected 2mm homogeneous commercial grade floor vinyl covered up walls 100mm. Vinyl to be approved by the tenant.
- New carpet flooring in direct sites application. Carpet to be 48oz 80% wool 20% nylon or similar as approved by the tenant.
- Existing floor vinyl to remain, allow to repair / make good any lifting joints and commercial clean.



**MEZZANINE PLAN**



REGISTERED ARCHITECTS ANZIA  
Ground Floor, Exchange Place  
5-7 Wellington Street, P.O.Box 24431  
Wellington - New Zealand  
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PROJECT  
**BUILDING REFURBISHMENT AND TENANCY FITOUT FOR BALANCED INVESTMENTS**

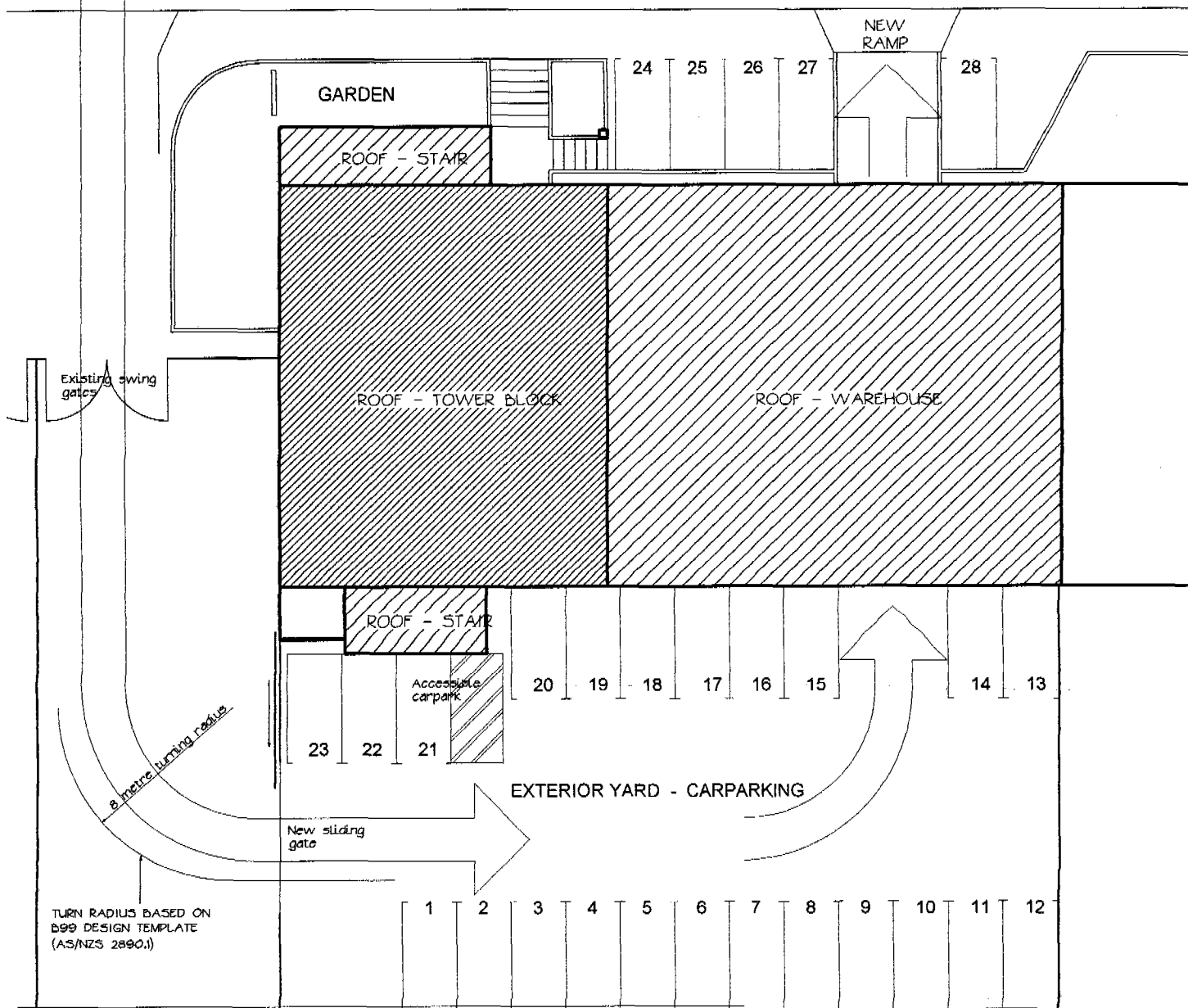
ADDRESS  
40 BOUVIERIE STREET  
PETONE

SHEET TITLE  
**CONSTRUCTION PLANS GROUND FLOOR**

SCALE  
1 : 100 @ A2  
XREF  
1561YLOG  
The contractor shall verify all dimensions on site. Any discrepancy to this drawing must be referred to the Architect for clarification prior to manufacture of construction.

DATE  
22 / 01 / 2007  
COMPUTER REF. No.  
1561EL04  
C.Code / DWG No.  
Page 228 of 3104  
Rev.  
5

BOUVERIE STREET



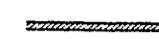


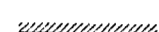




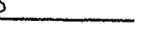
**CARPARKING AND SITE ACCESS PLAN**

scale 1:200

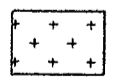
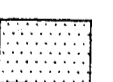
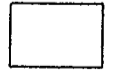

**CARPARKING**

GROUND FLOOR	PROPOSED STAFF NO.	GROSS AREA	PARKING REQUIREMENT	CAR PARKS
OFFICE AREA	11	250 m <sup>2</sup>	2 PARKS / 100 m <sup>2</sup>	5.2
STORE AREA	4	363 m <sup>2</sup>	1 1/2 PARKS / STAFF MEMBER	6
<b>LEVEL ONE</b>				
OFFICE AREA	9	330 m <sup>2</sup>	2 PARKS / 100 m <sup>2</sup>	6.6
<b>LEVEL TWO</b>				
OFFICE AREA	14	310 m <sup>2</sup>	2 PARKS / 100 m <sup>2</sup>	6.2
<b>TOTAL</b>				<b>24 PARKS</b>

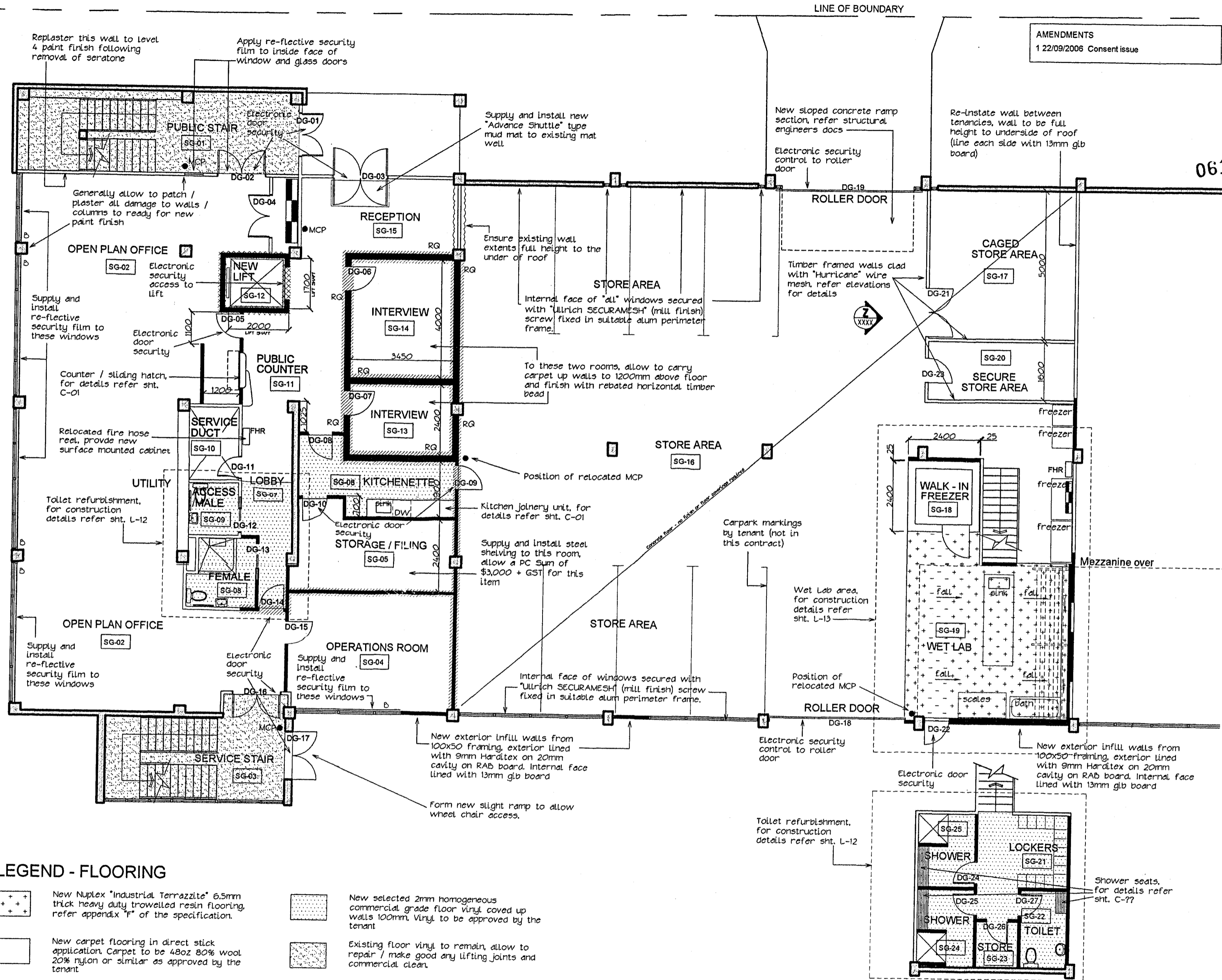
**LEGEND - WALLS**

-  Existing building structure (core walls / columns etc) to remain
-  Existing wall to remain
-  New 64mm steel stud partition (studs at 600mm centres) to underside of suspended ceiling. Line both sides with 13mm gib board, fill cavities with Autex ASB 5 QuietStuf (or similar approved). Partitions fabricated from Alum Designer 1000 partitioning sections top and bottom with MDF vertical stop ends.
-  New 64mm steel stud or 100x50 partition (studs at 600mm centres) full height to underside of concrete slab above, allow to trim suspended ceiling to this wall. Line both sides with 13mm gib Noiseline, fill cavities with Autex ASB 5 QuietStuf (or similar approved). Partitions fabricated from Alum Designer 1000 partitioning sections top and bottom with MDF vertical stop ends.
-  Clear float glazing (with frosted decals - refer elevations) in Designer 1000 slimline alum frame from floor level to underside of suspended ceiling, refer elevations for details
-  New 150x50 timber framing wall (studs at 400mm centres) full height to underside of concrete slab above, allow to trim suspended ceiling to this wall. Line both sides with 13mm gib Fyrelite in accordance with Gib Fire Rated Systems GBT 60A (1 hour fire rated wall), fill cavities with Autex ASB 5 QuietStuf (or similar approved). Skirting and cornice to be Alum Designer 1000 25mm flat bar sections glue fixed.
-  New 90mm steel stud "Gib Rondo Quiet Stud" framing full height to underside of concrete slab above, allow to trim suspended ceiling to this wall. Line both sides with 13mm Gib Noiseline and 10mm Gib Noiseline in accordance with Gib GBQ5A 90 (59 STC sound rated wall), fill cavities with R18 Pink Batts. Skirting and cornice to be Alum Designer 1000 25mm flat bar sections glue fixed.
-  New 100x50 timber framing wall (Jack studs at 600mm centres) above existing wall to close off gap between suspended ceiling line and slab over. Check extent of this work on site. Line both sides with 13mm gib board, fill cavities with Autex ASB 5 QuietStuf (or similar approved). Seal all gaps and joints with Gib Sound Sealant.
-  New 25mm (slat size) Venetian blinds with colour co-ordinated rails, control wands and cords. Blinds to be fabricated in maximum lengths as directed by manufacturer.

**LEGEND - FLOORING**

-  New Nuplex "Industrial Terrazite" 6.5mm thick heavy duty trowelled resin flooring, refer appendix "F" of the specification.
-  New selected 2mm homogeneous commercial grade floor vinyl covered up walls 100mm. Vinyl to be approved by the tenant.
-  New carpet flooring in direct stick application. Carpet to be 48oz 80% wool 20% nylon or similar as approved by the tenant.
-  Existing floor vinyl to remain, allow to repair / make good any lifting joints and commercial clean.

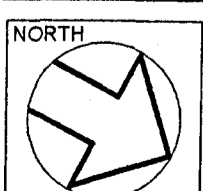
AMENDMENTS  
1 22/09/2006 Consent issue



**MEZZANINE PLAN**

REGISTERED ARCHITECTS ANZIA  
Ground Floor, Exchange Place  
5-7 Willeston Street, P.O. Box 24431  
Wellington - New Zealand  
Ph (04) 473 2810 Fax (04) 473 2811

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PROJECT  
**BUILDING REFURBISHMENT AND TENANCY FITOUT FOR BALANCED INVESTMENTS**

ADDRESS  
40 BOUVERIE STREET  
PETONE

SHEET TITLE  
**CONSTRUCTION PLANS GROUND FLOOR**

SCALE 1 : 100 @ A2  
XREF 1561YLOG

DATE 22 / 09 / 2006  
COMPUTER REF. No. 1561EL04


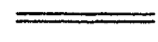






The contractor shall verify all dimensions on site. Any discrepancy to this drawing must be referred to the Architect for clarification prior to manufacture of construction.

C. Code. DWG No. L - 04 Rev. 1


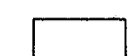
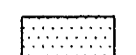
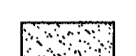


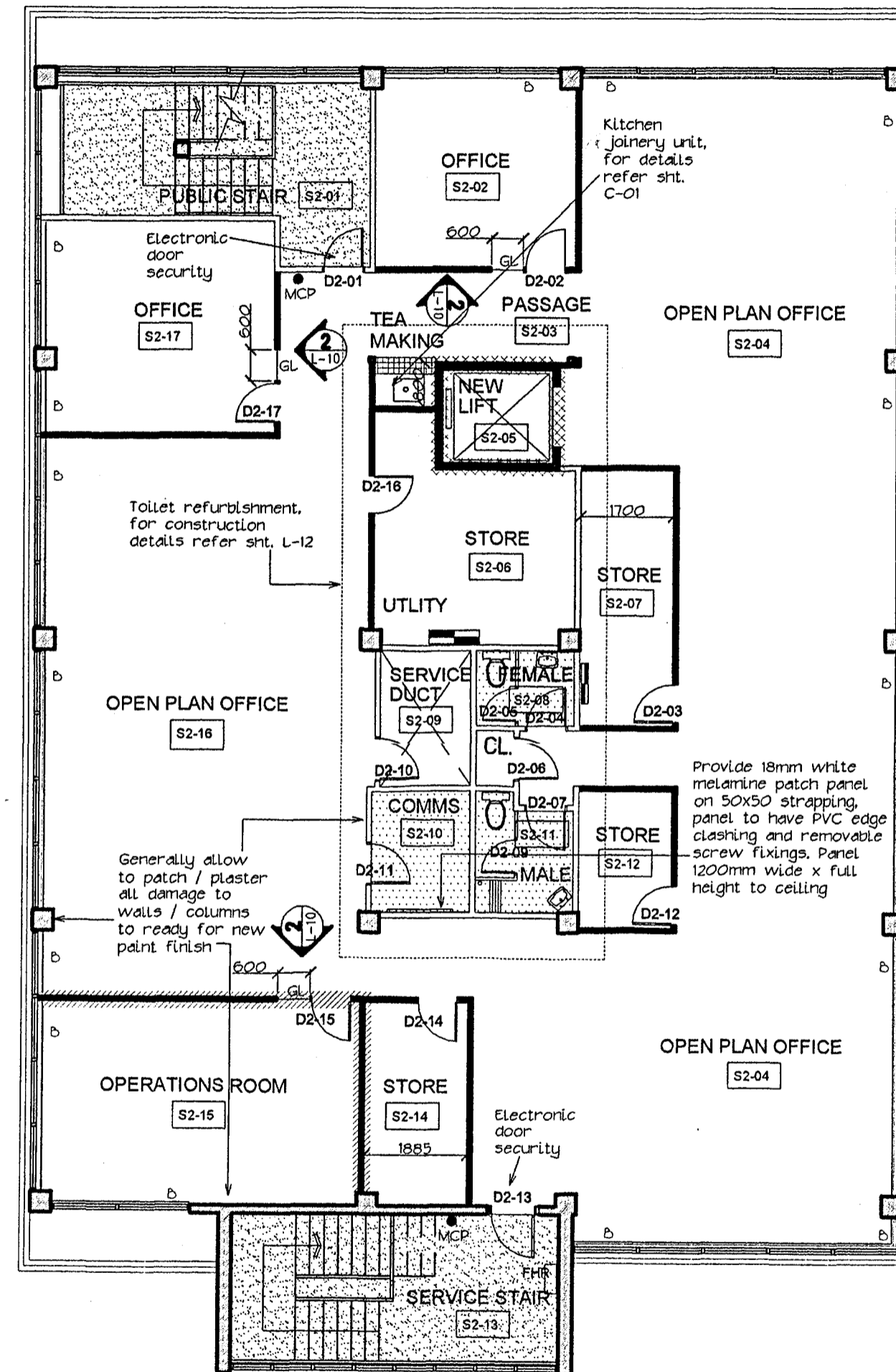
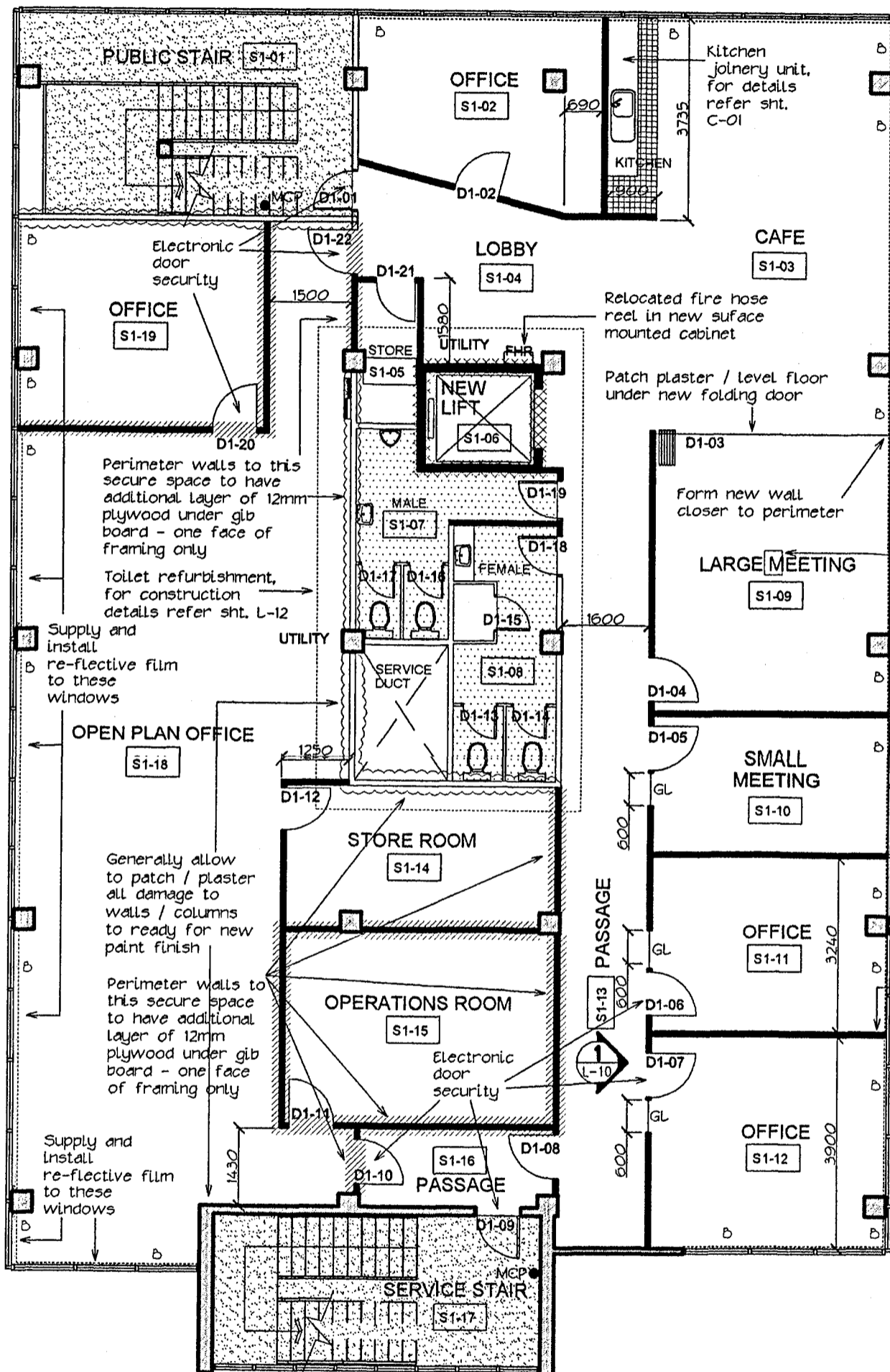
061321

LEGEND - WALLS

-  Existing building structure (core walls / columns etc) to remain
-  Existing wall to remain
-  New 64mm steel stud partition (studs at 600mm centres) to underside of suspended ceiling. Line both sides with 13mm gfb board, fill cavities with Autex ASB 5 QuietStuf (or similar approved). Partitions fabricated from Alum Designer 1000 partitioning sections top and bottom with MDF vertical stop ends.
-  Clear float glazing (with frosted decals, refer elevations) in Designer 1000 slimline alum frame from floor level to underside of suspended ceiling, refer elevations for details
-  New 150x50 timber framing wall (studs at 400mm centres) full height to underside of concrete slab above, allow to trim suspended ceiling to this wall. Line both sides with 13mm gfb Fyreline in accordance with Gfb Fire Rated Systems GBT 60a (1 hour fire rated wall), fill cavities with Autex ASB 5 QuietStuf (or similar approved) Skirting and cornice to be Alum Designer 1000 25mm flat bar sections glue fixed.
-  New 64mm steel stud framing full height to underside of concrete slab above, allow to trim suspended ceiling to this wall. Line both sides with 13mm Gfb Noiseline, fill cavities with Autex ASB 5 QuietStuf. Partitions fabricated from Alum Designer 1000 partitioning sections top and bottom with MDF vertical stop ends.
-  New 100x50 timber framing wall (jack studs at 600mm centres) above existing wall to close off gap between suspended ceiling line and slab over. Check extent of this work on site. Line both sides with 13mm gfb board, fill cavities with Autex ASB 5 QuietStuf (or similar approved). Seal all gaps and joints with Gfb Sound Sealant.
-  New 25mm (slat size) Venetian blinds with colour co-ordinated rails, control wands and cords. Blinds to be fabricated in maximum lengths as directed by manufacturer.

LEGEND - FLOORING

-  New Jacobsen 100mm x 100mm "VOINOGHIA Vogue Interni Ghiaccio floor tiles with 1.5mm gout joints (pearl grey grout colour)
-  New carpet flooring in direct stick application. Carpet to be 48oz 80% wool 20% nylon or similar as approved by the tenant
-  New selected 2mm homogeneous commercial grade floor vinyl, covered up walls 100mm. Vinyl to be approved by the tenant
-  Existing floor vinyl, to remain, allow to repair / make good any lifting joints and commercial clean.

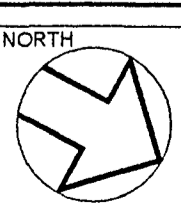


061321



REGISTERED ARCHITECTS ANZIA  
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PROJECT  
**BUILDING REFURBISHMENT AND TENANCY FITOUT FOR BALANCED INVESTMENTS**

ADDRESS  
40 BOUVIERIE STREET  
PETONE

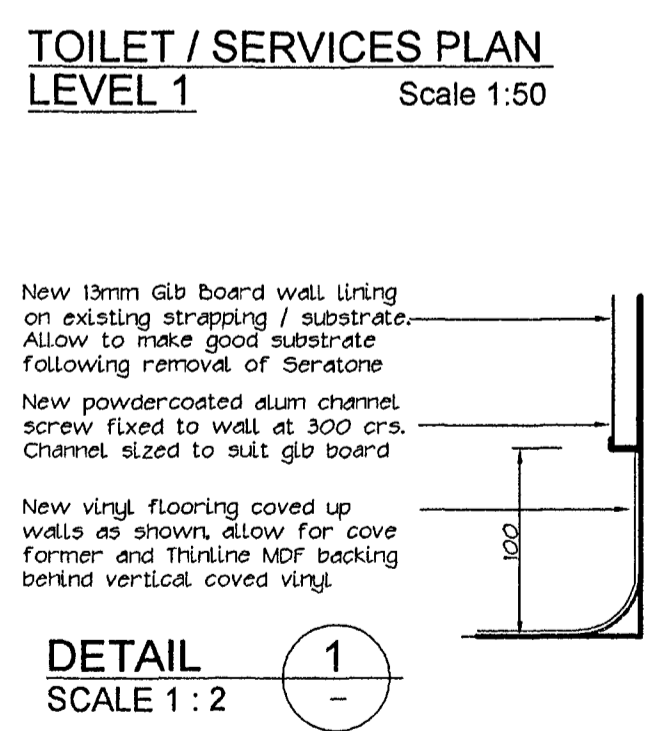
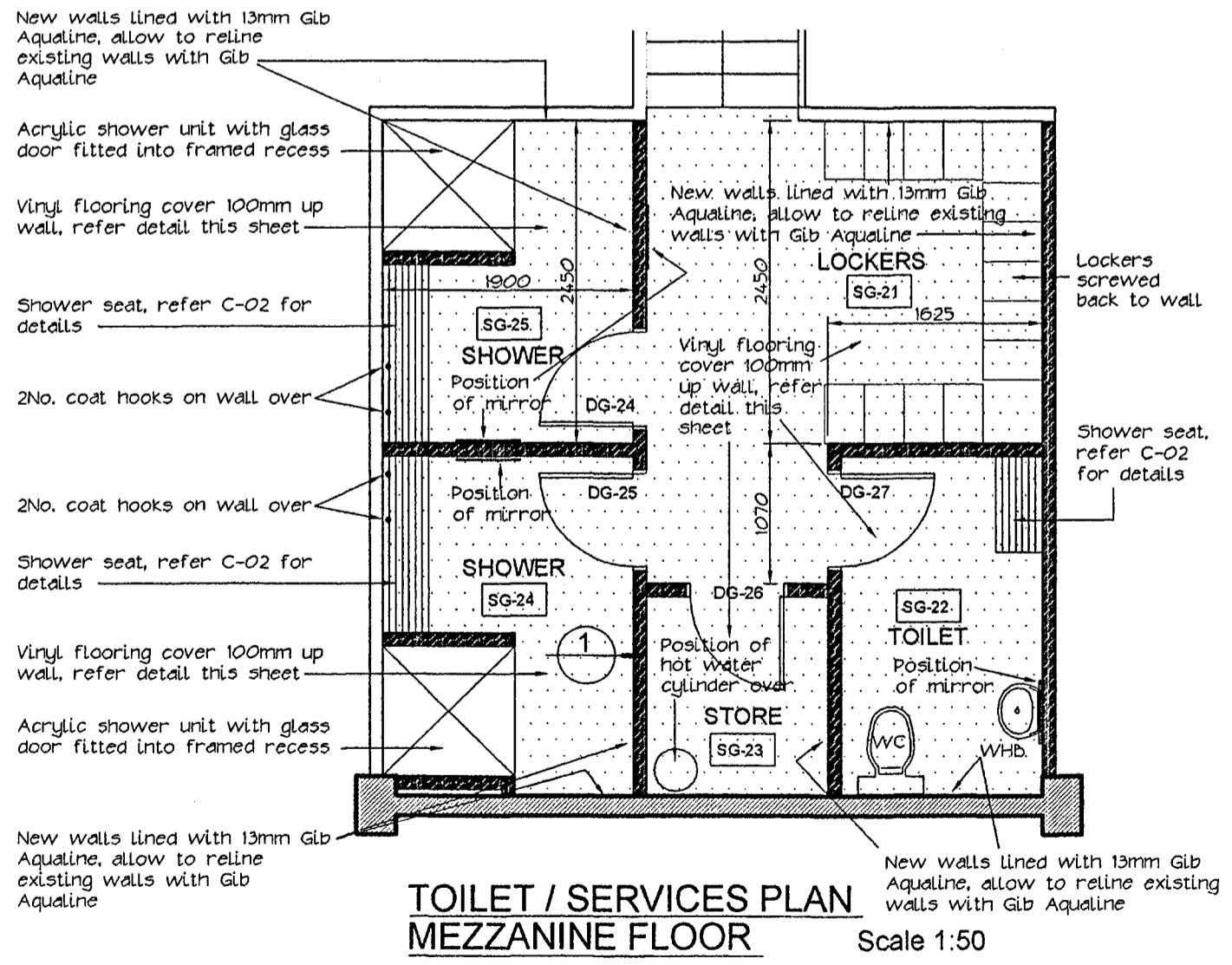
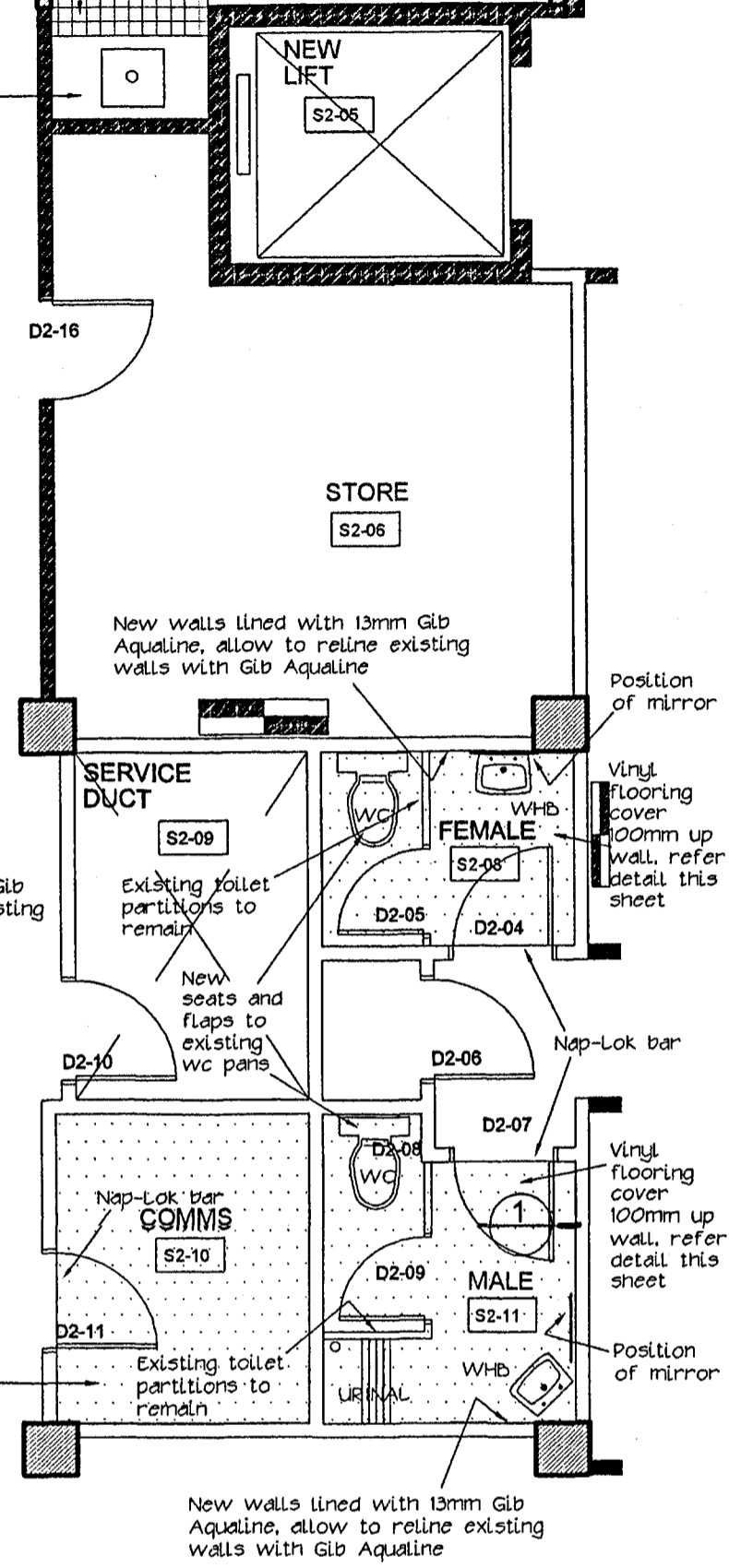
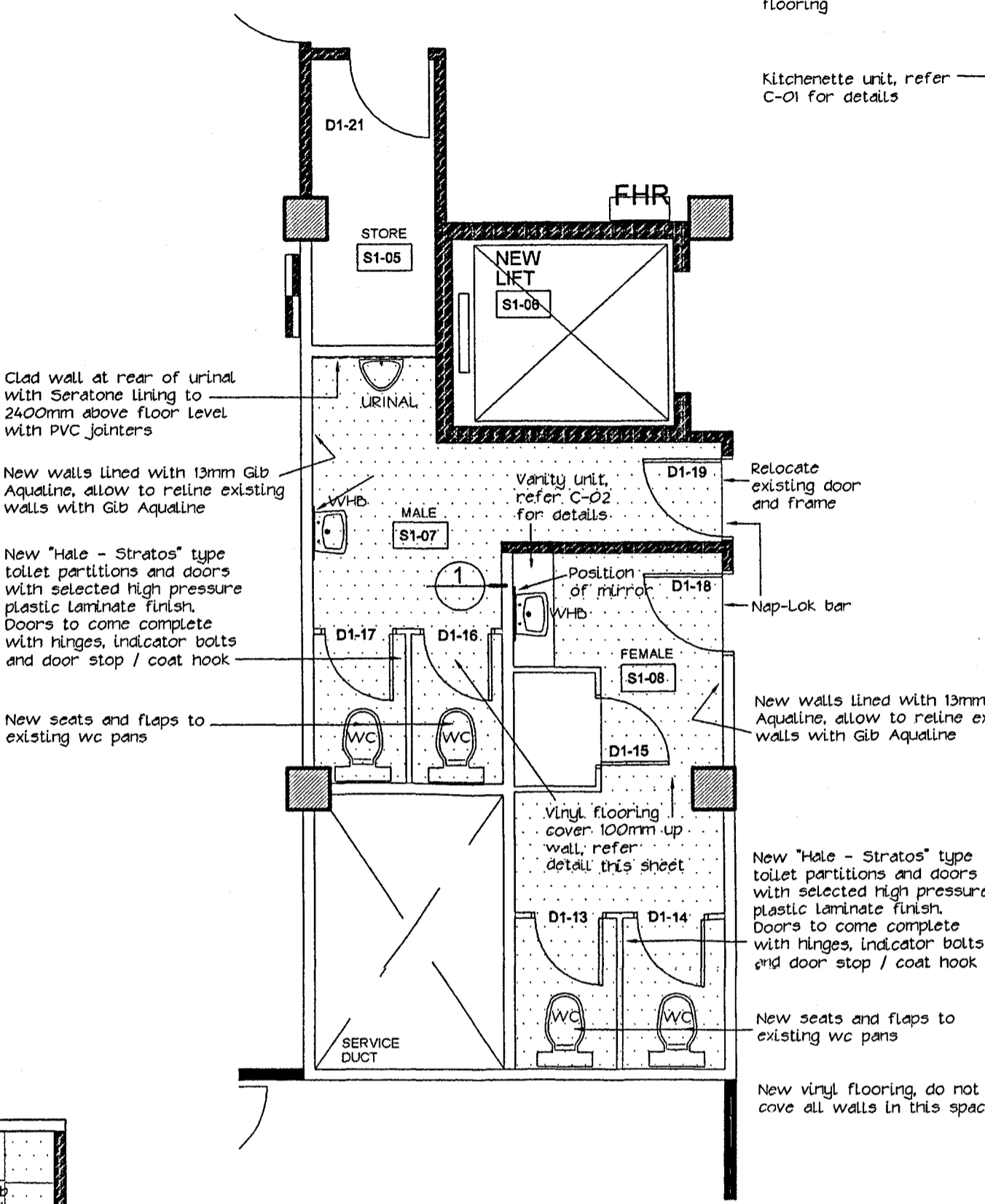
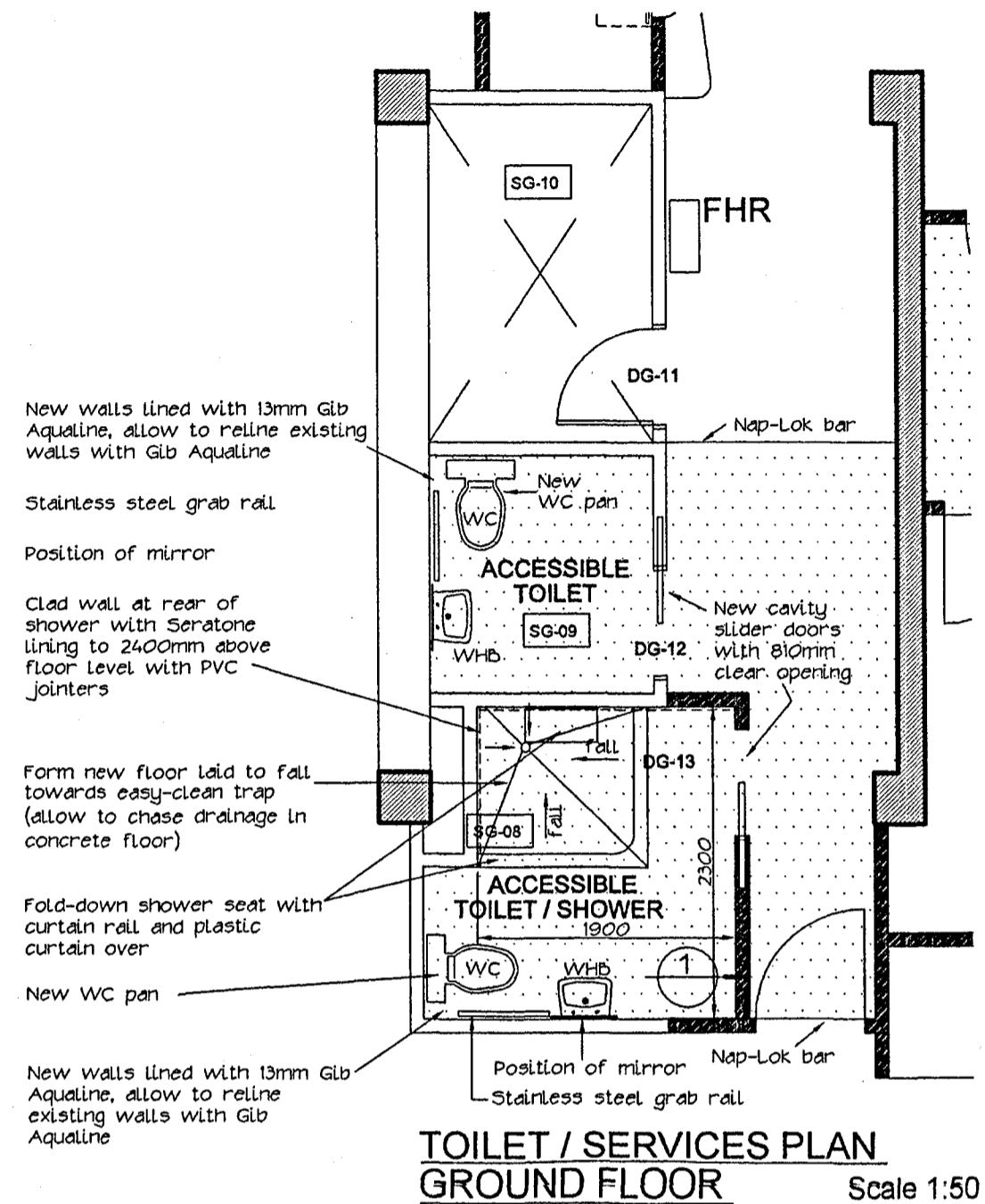
SHEET TITLE  
**CONSTRUCTION PLANS LEVELS 1 AND 2**

SCALE 1 : 100 @ A2  
XREF 1561YL01 / 1561YL02  
The contractor shall verify all dimensions on site. Any discrepancy to this drawing must be referred to the Architect for clarification prior to manufacture of construction.


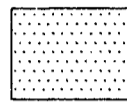
DATE 22 / 09 / 2006  
COMPUTER REF. No. 1561EL05  
C.Code, DWG No. E L - 05 Rev. 1

**NEW FIXTURES AND FITTINGS SCHEDULE**



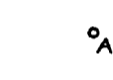
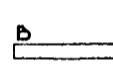
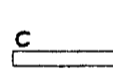

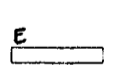

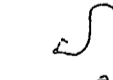

- SPACE SG-06 KITCHEN**  
 - 1No. Burns and Ferrall B3 400mm x 350mm x 180mm stainless steel sink bowl.  
 - 1No. Greens chrome finished "Marketti Blade Sink Mixer".  
 - 1No. Rheem "311 04515" underbench hot water cylinder.  
 - 1No. Rheem Lazer "791075" 7.5 litre water mounted water boiling unit.  
 - 1No. Billi Alpine ACF 120 SA underbench water purifier / chiller, complete with slim-line tap.
- SPACE SG-08 ACCESSIBLE TOILET / SHOWER**  
 - 1No. Caroma "Care Pan Concealed Trap" toilet pan complete with Sovereign 2000 cistern and Colani Disabled seat and flap.  
 - 1No. Caroma Care Wall basin "Concorde 500 - single hole" complete with chrome finished "Modina Bottle Trap", mounting brackets and chrome finished "Greens Marketti Blade Basin Mixer".  
 - 2No. "Brad 005" stainless steel grab rail.  
 - 1No. Folding stainless steel shower seat "Bradley BRAD 9555 30".  
 - 1No. Greens chrome finished "Marketti Blade Shower Mixer" complete with Greens chrome finished "Glide Slide Shower".  
 - 1200mm x 1200mm curved shower curtain rail with centre support (refer plan for detail).  
 - 1No. 2000mm high x 2500mm long plastic shower curtain.  
 - 1No. 600mm x 600mm clear float mirror in alum mirror mounts top and bottom.  
 - 2No. Devon coat hooks "DV 273"
- SPACE SG-09 ACCESSIBLE TOILET**  
 - 1No. Caroma "Care Pan Concealed Trap" toilet pan complete with Sovereign 2000 cistern and Colani Disabled seat and flap.  
 - 1No. Caroma Care Wall basin "Concorde 500 - single hole" complete with chrome finished "Modina Bottle Trap", mounting brackets and chrome finished "Greens Marketti Blade Basin Mixer".  
 - 1No. "Brad 005" stainless steel grab rail.  
 - 1No. 600mm x 600mm clear float mirror in alum mirror mounts top and bottom.  
 - 2No. Devon coat hooks "DV 273"
- SPACE SG-21 LOCKERS**  
 - 13No. Lockers "450mm x 300mm x 1800mm single tier".  
 - 1No. 600mm x 600mm clear float mirror in alum mirror mounts top and bottom.
- SPACE SG-22 TOILET**  
 - 1No. Caroma "Sovereign 2000" toilet pan complete with Sovereign 2000 cistern and Pressalit 2000 seat and flap.  
 - 1No. Caroma Wall basin "Caravelle - single hole" complete with chrome finished "Modina Bottle Trap", mounting brackets and chrome finished "Greens Marketti Blade Basin Mixer".  
 - 1No. 600mm x 600mm clear float mirror in alum mirror mounts top and bottom.  
 - 2No. Devon coat hooks "DV 273"
- SPACE SG-23 STORE**  
 - 1No. hot water cylinder model Rheem 250 Litre 311-25015 allow for overhead platform. Strap and brace cylinder back to wall.
- SPACE SG-24 SHOWER**  
 - 1No. Englefield "Sapphire Alcove 1000mm x 1000mm shower with Comer Contour Wall".  
 - 1No. Greens chrome finished "Marketti Blade Shower Mixer" complete with Greens chrome finished "Glide Slide Shower".  
 - 1No. 600mm x 600mm clear float mirror in alum mirror mounts top and bottom.  
 - 2No. Devon coat hooks "DV 273"
- SPACE SG-25 SHOWER**  
 - 1No. Englefield "Sapphire Alcove 1000mm x 1000mm shower with Comer Contour Wall".  
 - 1No. Greens chrome finished "Marketti Blade Shower Mixer" complete with Greens chrome finished "Glide Slide Shower".  
 - 1No. 600mm x 600mm clear float mirror in alum mirror mounts top and bottom.  
 - 2No. Devon coat hooks "DV 273"
- SPACE S1-03 KITCHEN**  
 - 1No. Burns and Ferrall B3 400mm x 350mm x 180mm stainless steel sink bowl.  
 - 1No. Greens chrome finished "Marketti Blade Sink Mixer".  
 - 1No. Rheem "311 04515" underbench hot water cylinder.  
 - 1No. Rheem Lazer "791075" 7.5 litre water mounted water boiling unit.  
 - 1No. Billi Alpine ACF 120 SA underbench water purifier / chiller, complete with slim-line tap.
- SPACE S1-07 MALE TOILET**  
 - 2No. Caroma "Pressalit 2000" seat and flap to existing toilet pans.  
 - 1No. Caroma Wall basin "Caravelle - single hole" complete with chrome finished "Modina Bottle Trap", mounting brackets and chrome finished "Greens Marketti Blade Basin Mixer".  
 - 1No. Caroma "Leda" wall mounted urinal with electronic cistern.  
 - 1No. 600mm x 600mm clear float mirror in alum mirror mounts top and bottom.  
 - 2No. Devon coat hooks "DV 273"
- SPACE S1-08 FEMALE TOILET**  
 - 2No. Caroma "Pressalit 2000" seat and flap to existing toilet pans.  
 - 1No. Caroma semi-recessed wall basin "Concorde 500 - single hole" complete with chrome finished "Greens Marketti Blade Basin Mixer".  
 - 1No. 600mm x 600mm clear float mirror in alum mirror mounts top and bottom.  
 - 2No. Devon coat hooks "DV 273"
- SPACE S2-08 FEMALE TOILET**  
 - 1No. Caroma "Pressalit 2000" seat and flap to existing toilet pan.  
 - 1No. 600mm x 600mm clear float mirror in alum mirror mounts top and bottom.  
 - 2No. Devon coat hooks "DV 273"
- SPACE S2-11 MALE TOILET**  
 - 1No. Caroma "Pressalit 2000" seat and flap to existing toilet pan.  
 - 1No. 600mm x 600mm clear float mirror in alum mirror mounts top and bottom.  
 - 2No. Devon coat hooks "DV 273"
- SPACE S2-16 KITCHEN**  
 - 1No. Burns and Ferrall B3 400mm x 350mm x 180mm stainless steel sink bowl.  
 - 1No. Greens chrome finished "Marketti Blade Sink Mixer".  
 - 1No. Rheem Lazer "791050" 5 litre water mounted water boiling unit.  
 - 1No. Billi Alpine ACF 120 SA underbench water purifier / chiller, complete with slim-line tap.

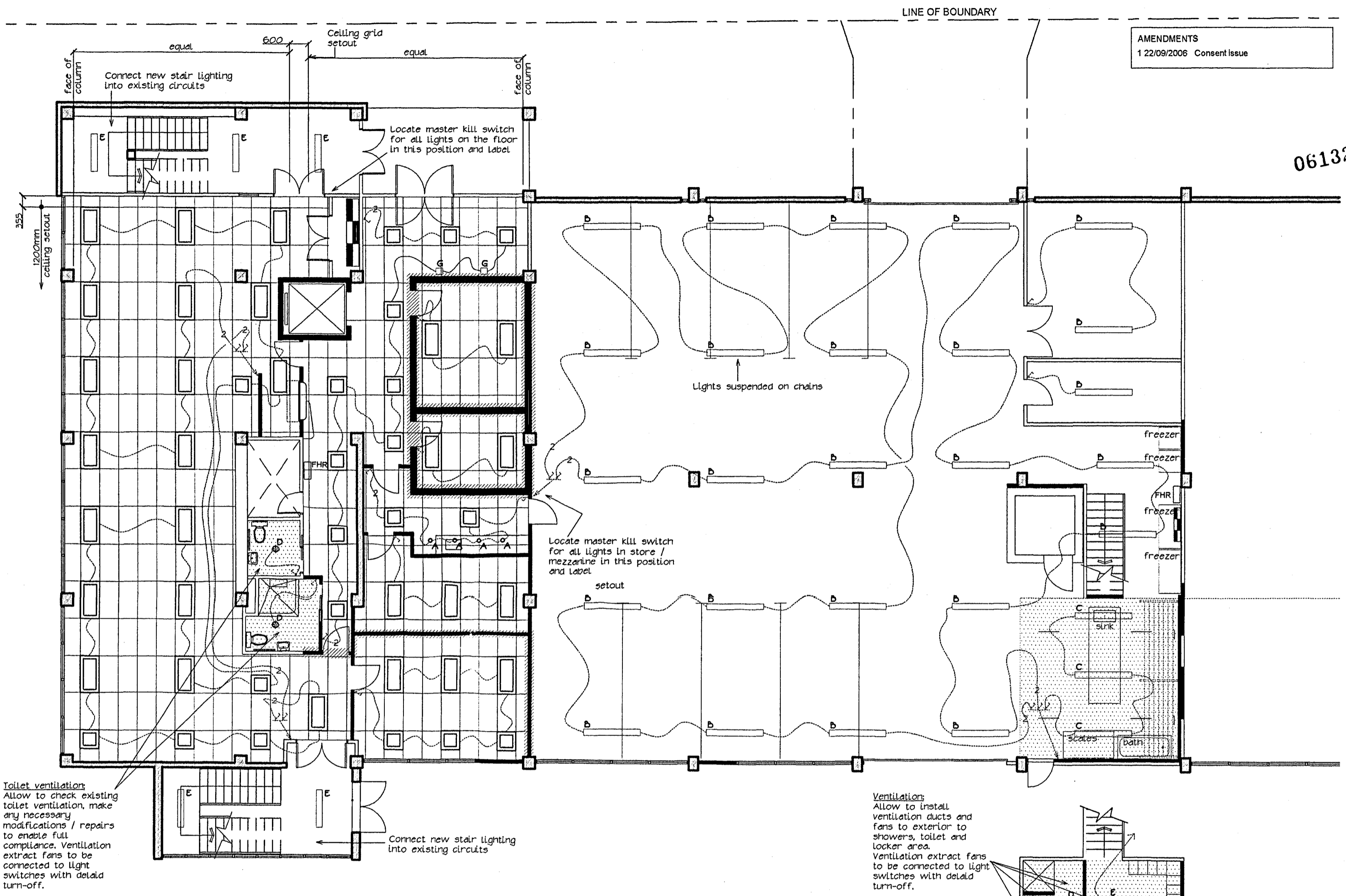


**LEGEND - CEILINGS**

-  New 24mm "Armstrong Peakform" suspended ceiling grid cross braced to slab over. Supply and install new 1200x600 rebated edge mineral fibre tile with fine texture finish, acoustic performance to be 0.7 NRC and 35 CAC (Forman's Fine Fissured Open Plan tile or similar)
-  Existing solid gib board ceiling to remain, allow to repair / patch following demolition. Final gib surface to be stopped and sanded to level 4 paint quality finish.

**LEGEND - LIGHTING:**

-  Rexel 1200mm x 600 recessed light module designed to fit into a two way standard DX exposed rail suspended ceiling complete with Osram electronic ballast, an un-framed prismatic diffuser and 2x36W Osram Lumilux Plus colour 21-840 tubes.  
1 x REXRM22X36Q  
2 x OSRL36840
-  Rexel 600mm x 600 recessed light module designed to fit into a two way standard DX exposed rail suspended ceiling complete with Osram electronic ballast, an un-framed prismatic diffuser and 2x18W Osram Lumilux Plus colour 21-840 tubes.  
1 x REXRM22X18Q  
2 x OSRL18840
-  Aesthetics "Pegg" fixed halogen downlight complete with electronic transformer and 50W lamp
-  Rexel 1500mm Slimpak fluorescent batten complete with prismatic diffuser, dust cover and 2x58W Osram Lumilux Plus colour 21-840 tubes. Allow to suspend from roof structure on chains.  
1 x REXSLM520  
1 x REXSLM25PK  
1 x REXSLM25DC  
2 x OSRL58840
-  Rexel Flüppi 1500mm 3F Linda Inox IP65 rated fluorescent luminaire complete with UV stabilised polycarbonate lens, electronic gear and 2x58W Osram Lumilux Plus colour 21-840 tubes.  
1 x FILFN258Q  
2 x OSRL58840
-  Rexel Flüppi Petra ceiling mounted button light with opal acrylic diffuser, electronic ballast and 2 x 26W Osram Dulux DDE lamps.  
1 x FIL34290  
2 x OSRDE26830
-  Rexel Lumilux Duo low profile surface fluorescent with Osram electronic ballast and 2x36W Osram colour 21-830 lamps.  
1 x OSRDUOELFP2X36
-  Aesthetics Delta Light Faktor M wall light, black finish complete with 18W colour 4000K. Exact mounting mount to be agreed with the Architect on site.
-  New 1 way light switch and circuit
-  New 2 way light switch and circuit



AMENDMENTS  
1 22/09/2006 Consent Issue

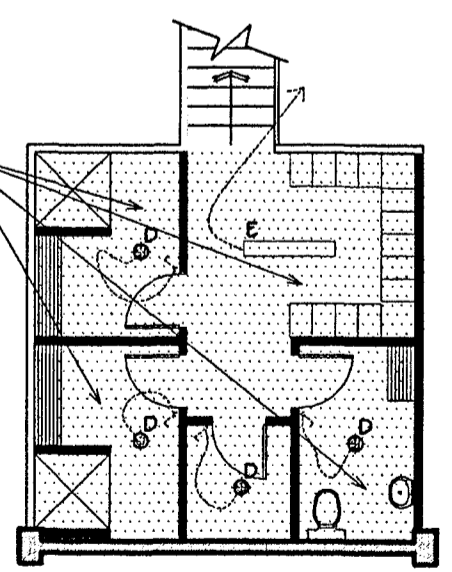
061321

**FIRE SPRINKLER SYSTEM**  
The fire protection contractor shall prepare a design / build layout for sprinklers both above and below the ceiling in accordance with NZS 4521. Allow to replace existing sprinkler heads with new modern heads.

**EMERGENCY LIGHTING**  
Emergency evacuation lighting is not shown on this drawing, the electrical contractor shall prepare a design / build solution based on NZBC F6/AS1 and AS/NZS 2293. Allow reuse existing fittings and wire into existing emergency light power supply, check exact details on site

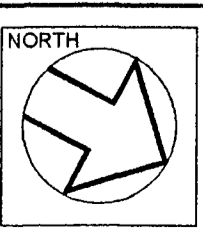
**MANUAL FIRE ALARM SYSTEM**  
Allow to reuse existing sounders and manual fire alarm call points, check the installation is in compliance with AS 2220 and make necessary modifications, ensure coverage to full floor in terms of sound pressure levels.

**Ventilation:**  
Allow to install ventilation ducts and fans to exterior to showers, toilet and locker area. Ventilation extract fans to be connected to light switches with delay turn-off.



REGISTERED ARCHITECTS ANZIA  
Ground Floor, Exchange Place  
5-7 Willeson Street, P.O.Box 24431  
Wellington - New Zealand  
Ph (04) 473 2810 Fax (04) 473 2811

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**PROJECT**  
BUILDING REFURBISHMENT AND TENANCY FITOUT FOR BALANCED INVESTMENTS

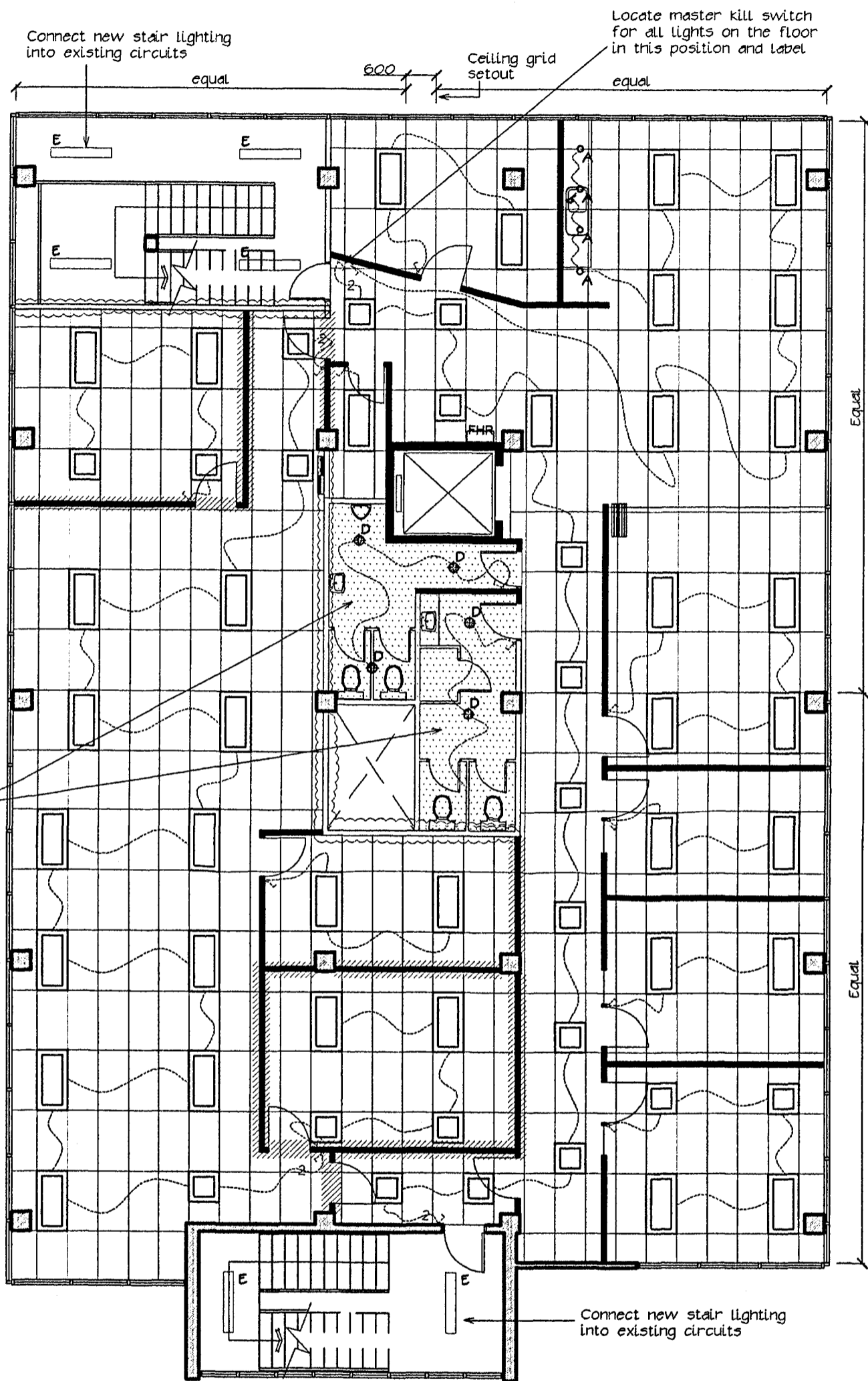
**ADDRESS**  
40 BOUVERIE STREET  
PETONE

**SHEET TITLE**  
RE-REFLECTED CEILING PLAN  
GROUND FLOOR

**SCALE** 1 : 100 @ A2  
**XREF** 1561YLOG  
The contractor shall verify all dimensions on site. Any discrepancy to this drawing must be referred to the Architect for clarification prior to manufacture of construction.

**DATE** 22 / 09 / 2006  
**COMPUTER REF. No.** 1561EL08  
**C.Code, DWG No.** E L - 08  
**Rev.** 1

061321

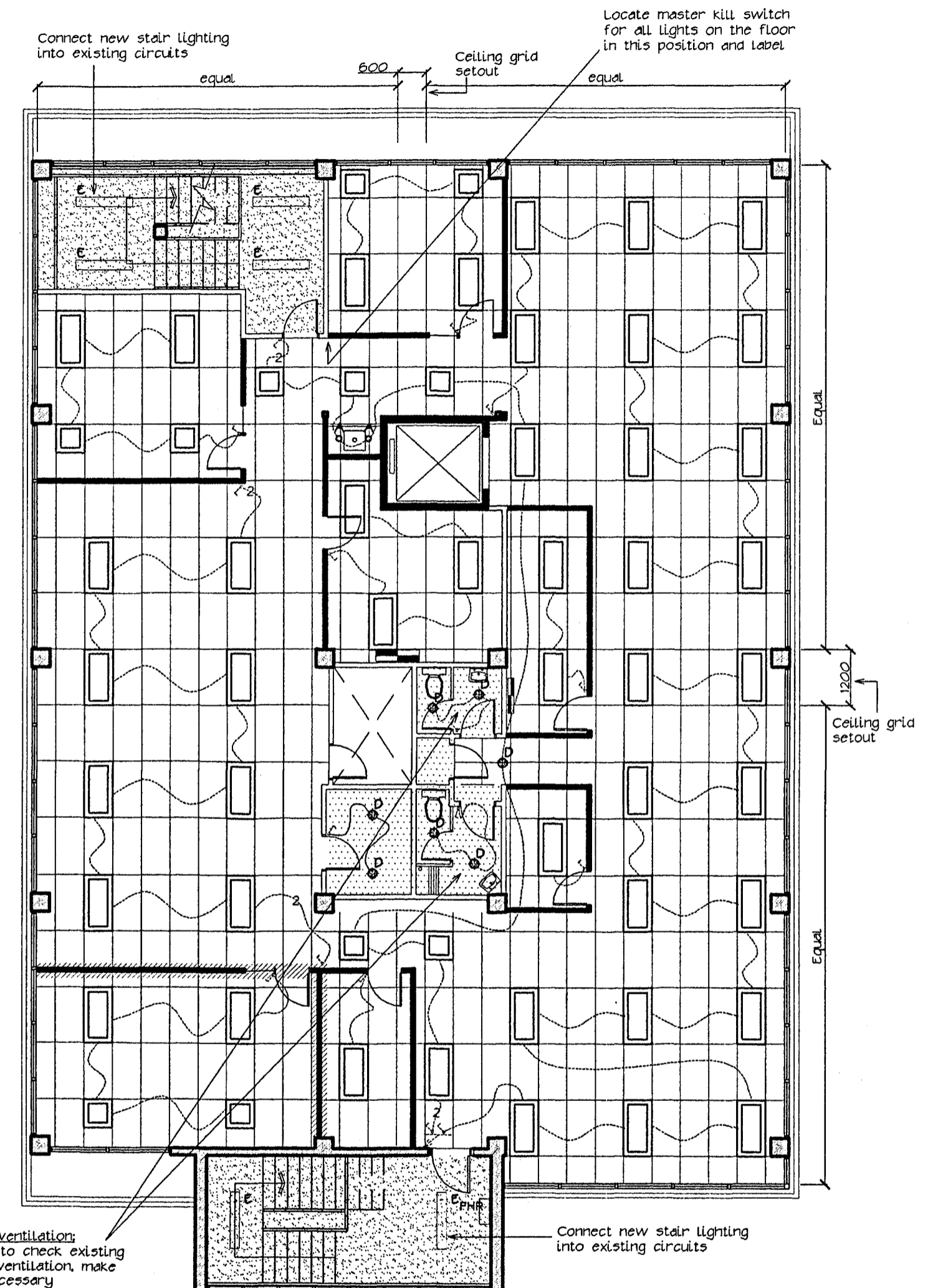


LEGEND - CEILINGS

- New 24mm "Armstrong Peakform" suspended ceiling grid cross braced to slab over. Supply and install new 1200x600 rebated edge mineral fibre tile with fine texture finish, acoustic performance to be 0.7 NRC and 35 CAC (Forman's Fine Fissured Open Plan tile or similar)
- Existing solid gip board ceiling to remain, allow to repair / patch following demolition. Final gip surface to be stopped and sanded to level 4 paint quality finish.
- Remove existing pinex ceiling tiles to stair landings, replace with new 13mm gip board ceilings on Rondo concealed grid. Stop and sand gip board to level 4 paint quality finish.

LEGEND - LIGHTING:

- Rexel 1200mm x 600mm recessed light module designed to fit into a two way standard DX exposed rail suspended ceiling complete with Osram electronic ballast, an un-framed prismatic diffuser and 2x36W Osram Lumilux Plus colour 21-840 tubes.  
1 x REXRM422X36Q  
2 x OSRL36840
- Rexel 600mm x 600mm recessed light module designed to fit into a two way standard DX exposed rail suspended ceiling complete with Osram electronic ballast, an un-framed prismatic diffuser and 2x18W Osram Lumilux Plus colour 21-840 tubes.  
1 x REXRM22X18Q  
2 x OSRL18840
- Aesthetics "Pegg" fixed halogen downlight complete with electronic transformer and 50W lamp
- Rexel Filippi Petra ceiling mounted button light with opal acrylic diffuser, electronic ballast and 2 x 26W Osram Dulux DDE lamps.  
1 x FIL3429D  
2 x OSRDDE26830
- Rexel Lumilux Duo low profile surface fluorescent with Osram electronic ballast and 2x36W Osram colour 21-830 lamps.  
1 x OSRDUOELFP2X36
- New 1 way light switch and circuit
- New 2 way light switch and circuit



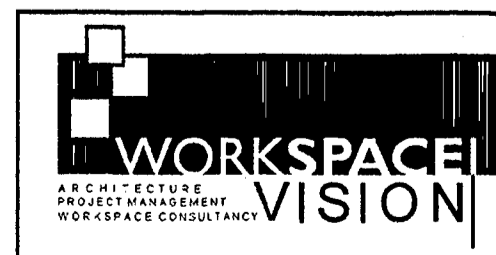
Toilet ventilation:  
Allow to check existing toilet ventilation, make any necessary modifications / repairs to enable full compliance. Ventilation extract fans to be connected to light switches with delay turn-off.

Toilet ventilation:  
Allow to check existing toilet ventilation, make any necessary modifications / repairs to enable full compliance. Ventilation extract fans to be connected to light switches with delay turn-off.

**FIRE SPRINKLER SYSTEM**  
The fire protection contractor shall prepare a design / build layout for sprinklers both above and below the ceiling in accordance with NZS 4521. Allow to replace existing sprinkler heads with new modern heads.

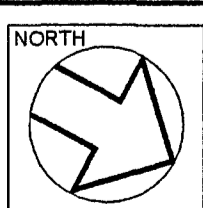
**EMERGENCY LIGHTING**  
Emergency evacuation lighting is not shown on this drawing. The electrical contractor shall prepare a design / build solution based on NZBC F6(A/S) and AS/NZS 2293. Allow reuse existing fittings and wire into existing emergency light power supply, check exact details on site

**MANUAL FIRE ALARM SYSTEM**  
Allow to reuse existing sounders and manual fire alarm call points, check the installation is in compliance with AS 2220 and make necessary modifications, ensure coverage to full floor in terms of sound pressure levels.



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PROJECT  
**BUILDING REFURBISHMENT AND TENANCY FITOUT FOR BALANCED INVESTMENTS**

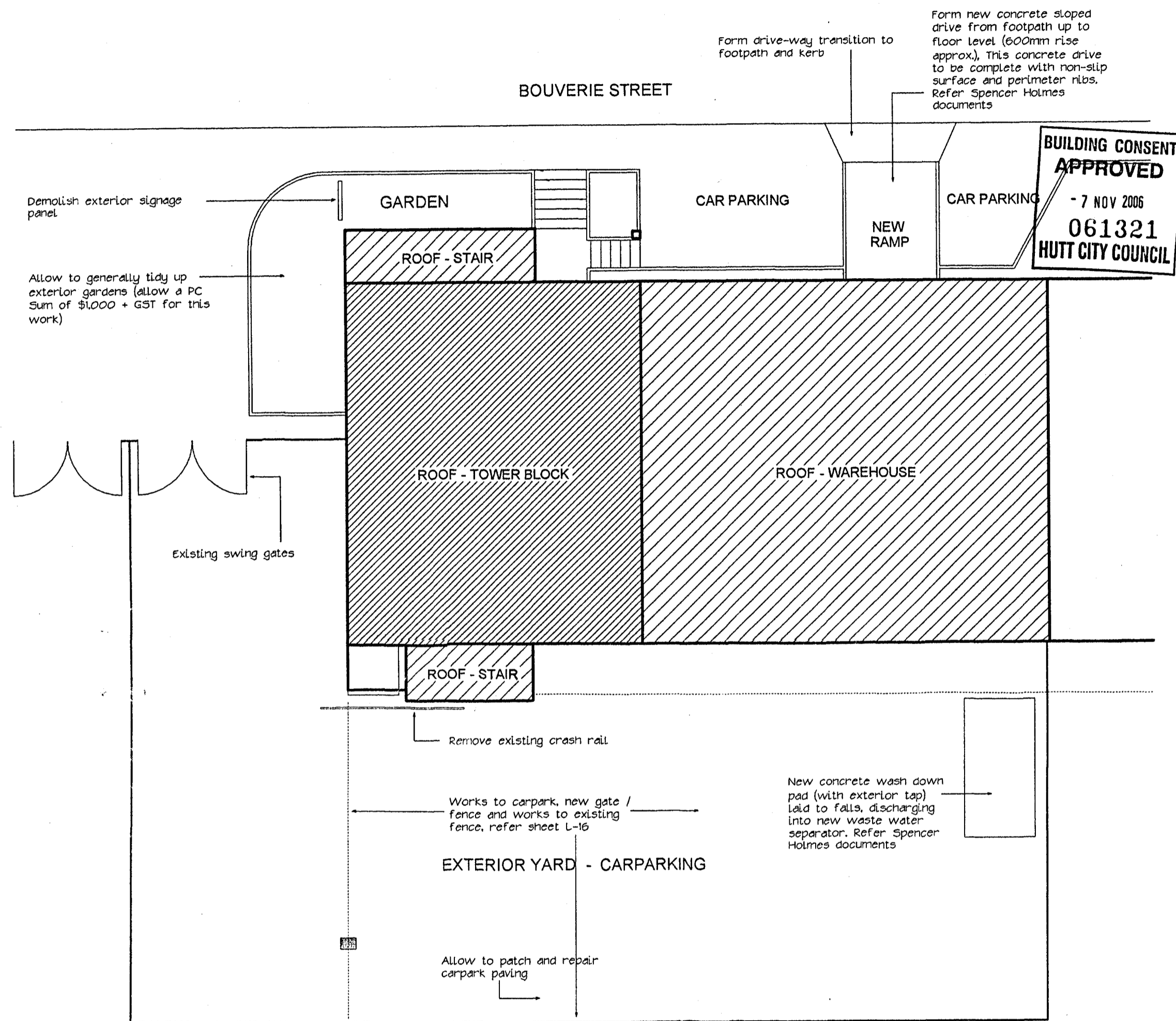
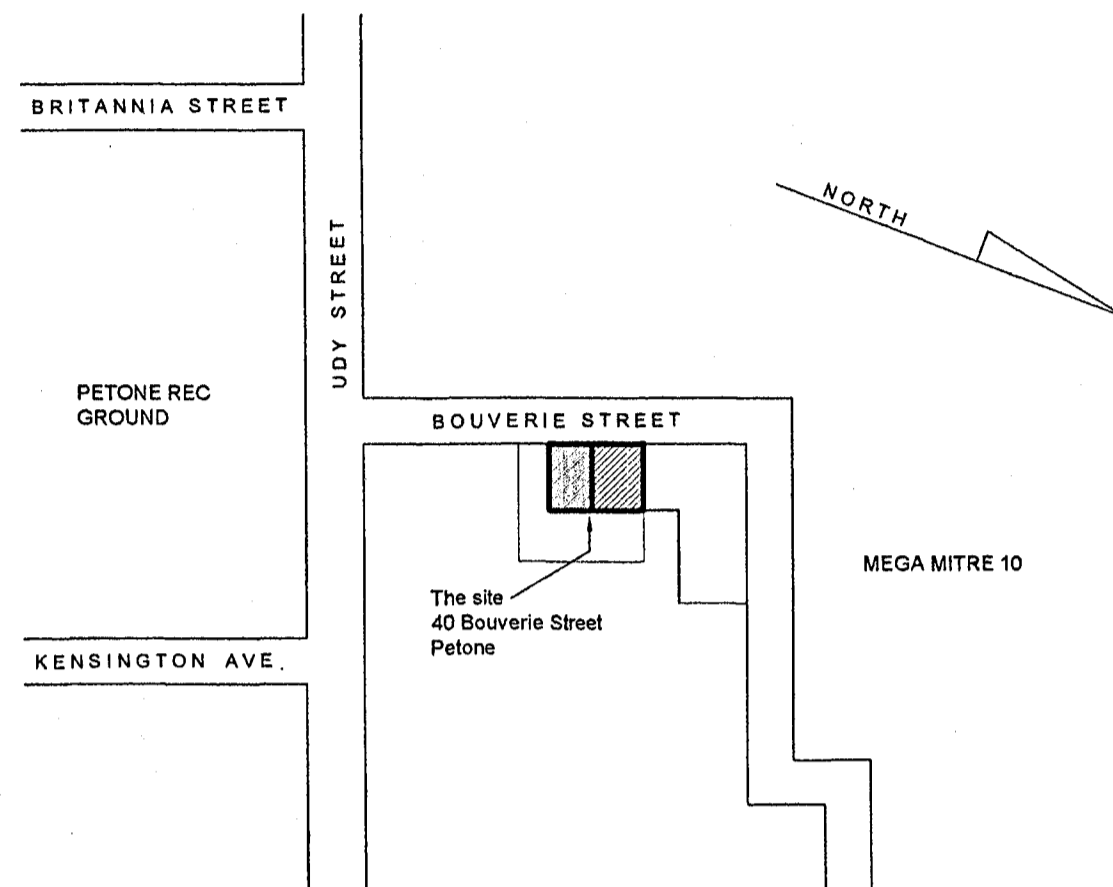
ADDRESS  
40 BOUVERIE STREET  
PETONE

SHEET TITLE  
**RE-FLECTED CEILING PLANS LEVELS 1 AND 2**

SCALE 1 : 100 @ A2  
XREF 1561YL01 / 1561YL02  
The contractor shall verify all dimensions on site. Any discrepancy to this drawing must be referred to the Architect for clarification prior to manufacture of construction.

DATE 22 / 09 / 2006  
COMPUTER REF. No. 1561EL09  
C.Code. DWG No. L - 09 Rev. 1

**LOCATION PLAN**  
NOT TO SCALE



**SITE PLAN** scale 1:200

**SCHEDULE OF EXTERIOR WORKS**

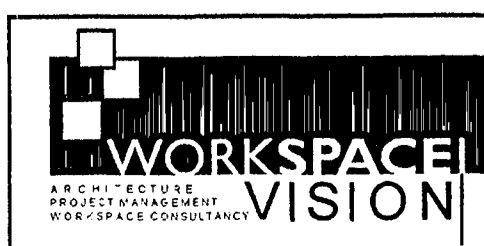
Exterior works to be completed as detailed on the following:

- a) Architectural drawing L-01
- b) Architectural drawing L-16
- c) Spencer Holmes structural and drainage drawings
- d) Hylight Windows and Doors report / specification (refer appendix "E" of the specification)
- e) New Zealand Protective Coatings report / specification (refer appendix "F" of the specification)

In addition to the above documentation, allow to carry out the following exterior works:

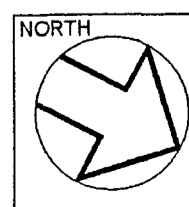
- e) Allow for all builders works associated with the installation of new mechanical plant, this shall include all plinths, bracing and penetrations etc.
- f) Replace brown glazed spandrel panels with patches where penetrations have been removed, these replacement panels to match existing.
- g) Replace glazing where window mounted air conditioning units have been removed.
- h) Replace all cracked and damaged exterior glazing, this shall include (but not be limited to) all tower windows, curtain wall glazing to tower stairs, adjacent store area windows and high level glazed lights. The contractor shall survey the site completely to assess the extent of cracked glazing prior to submitting a price.
- i) Supply and install security window stays to ground floor South elevation and level 1 South elevation.
- j) Commercial clean the exterior of all window frames and glazing to both tower block and adjacent store.
- k) Provide infill framing to rear of store and clad exterior with Harditex, refer plans for details.
- l) Clean out and repair doors to rear store (old generator room).

**Warning:**  
Plumbers and Drainlayers must refer to conditions of Building Consent



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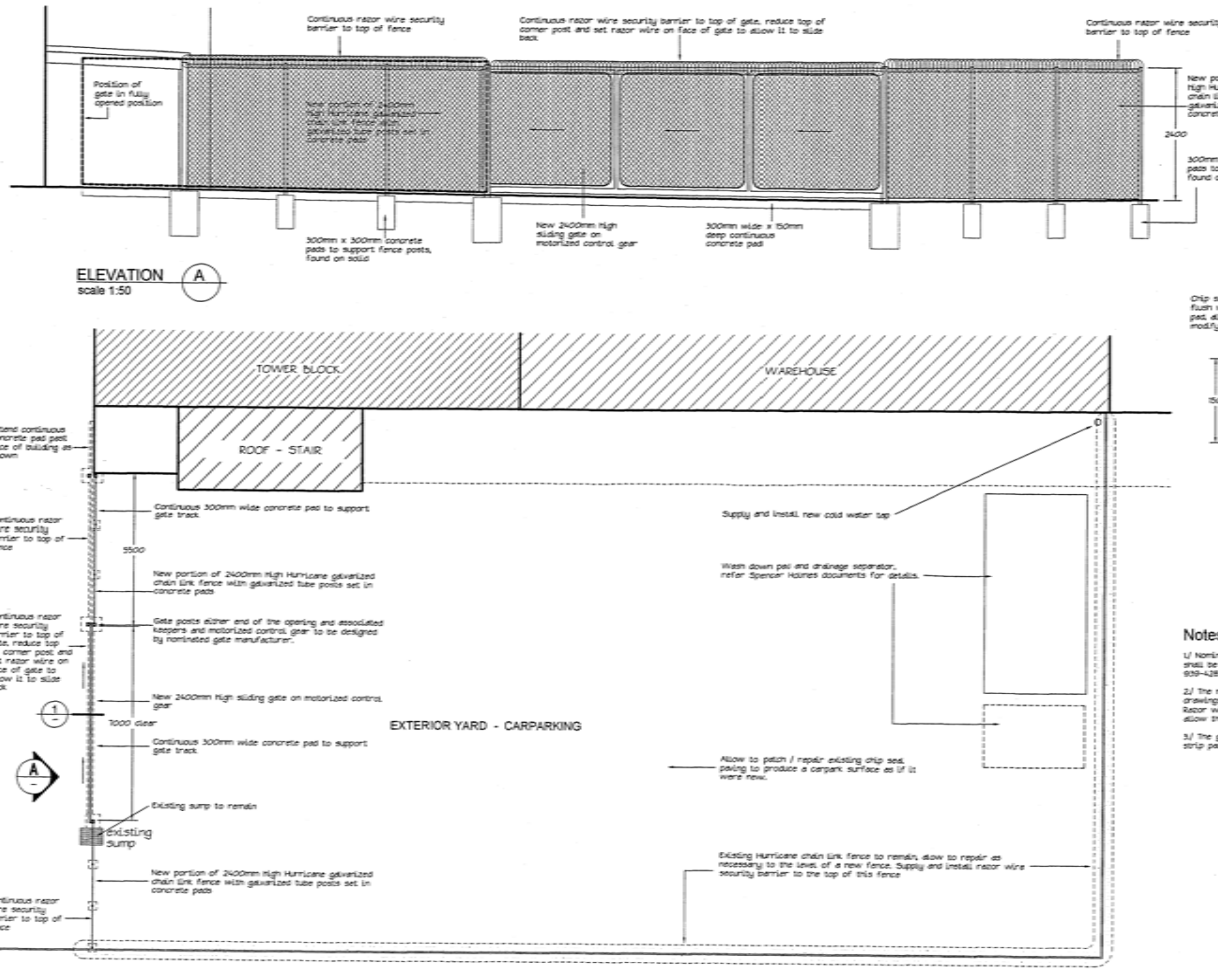
PROJECT  
**BUILDING REFURBISHMENT AND TENANCY FITOUT FOR BALANCED INVESTMENTS**

ADDRESS  
40 BOUVERIE STREET  
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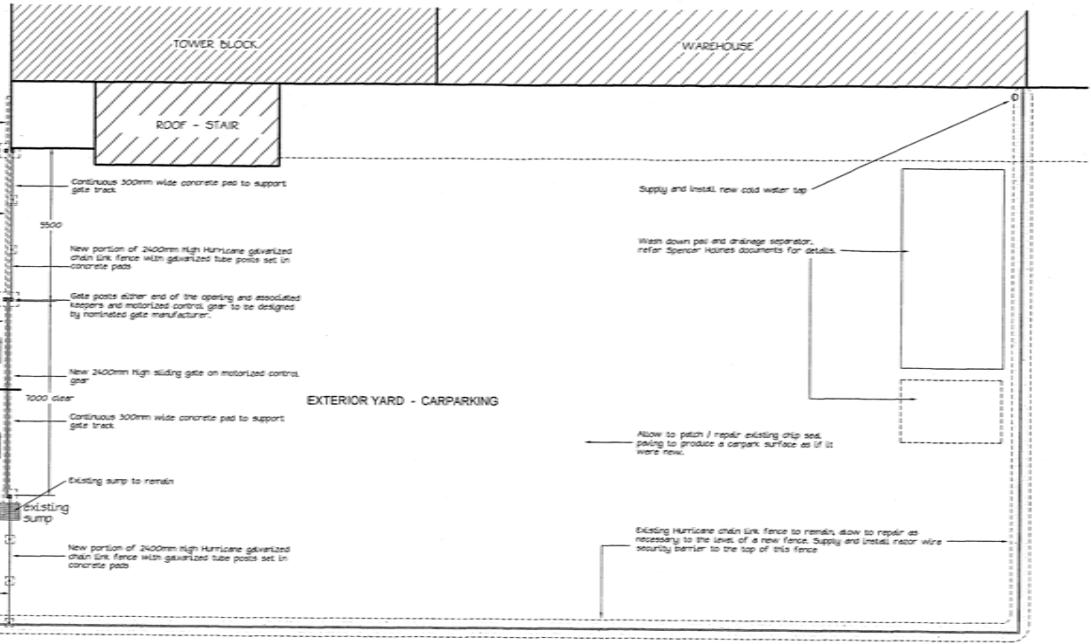
SHEET TITLE  
**SITE AND LOCATION PLANS**

SCALE 1 : 200 @ A2  
XREF 1561YL0S  
The contractor shall verify all dimensions on site. Any discrepancy to this drawing must be referred to the Architect for clarification prior to manufacture of construction.

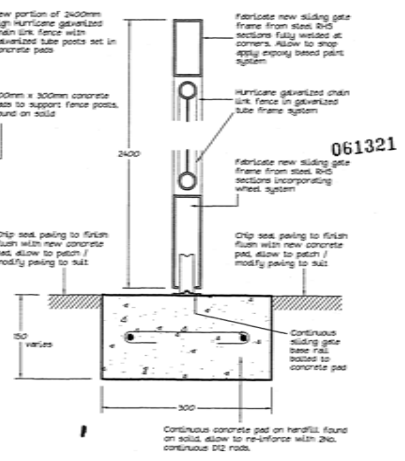
DATE 22 / 09 / 2006  
COMPUTER REF. No. 1561EL01  
C.Code DWG No. E L-01 Rev. 1



ELEVATION A  
scale 1:50



AMENDMENTS  
12/09/2008 Consent Issue

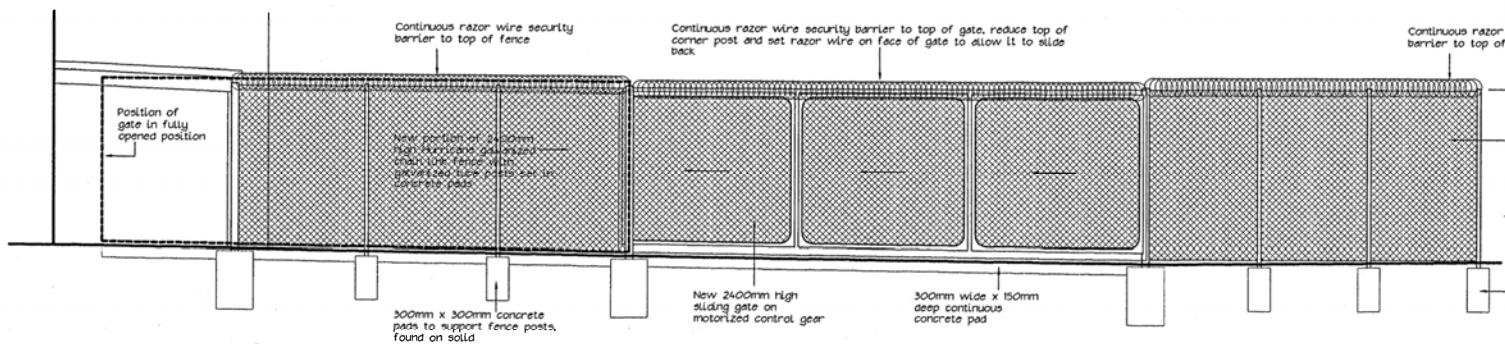


DETAIL 1  
scale 1:5

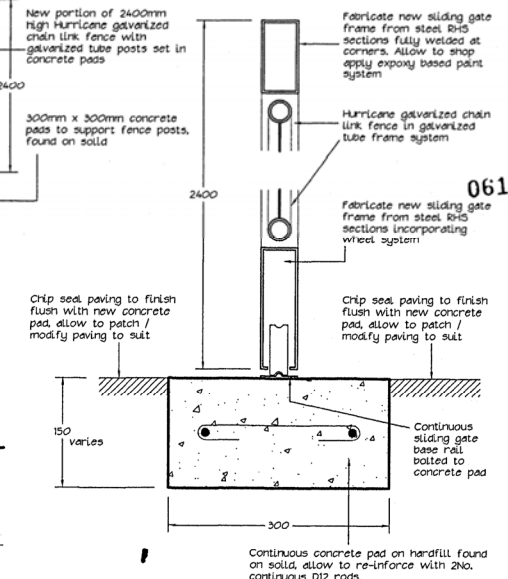
- Notes:
- 1/ Nominated supplier / manufacturer of the auto sliding gate shall be 'Mokkulan Fences & Gates', contact: Ron Mokkulan PH: 929-4283.
  - 2/ The nominated gate supplier shall provide detailed shop drawings detailing the posts, guides and motor system. Allow for razor wire to the top / front of the gate, design the posts to allow this razor wire to slide back.
  - 3/ The gate supplier shall take spot levels and set the concrete strip pads out to suit the gates running gear.

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	XREF 1561YL0S	COMPUTER REF. NO. 1561EL14	C-Code E	DWG No. L - 14	Rev. 1	The contractor shall verify all dimensions on site. Any discrepancy to this drawing must be referred to the Architect for confirmation prior to manufacture of construction.		

AMENDMENTS  
1 22/09/2006 Consent issue

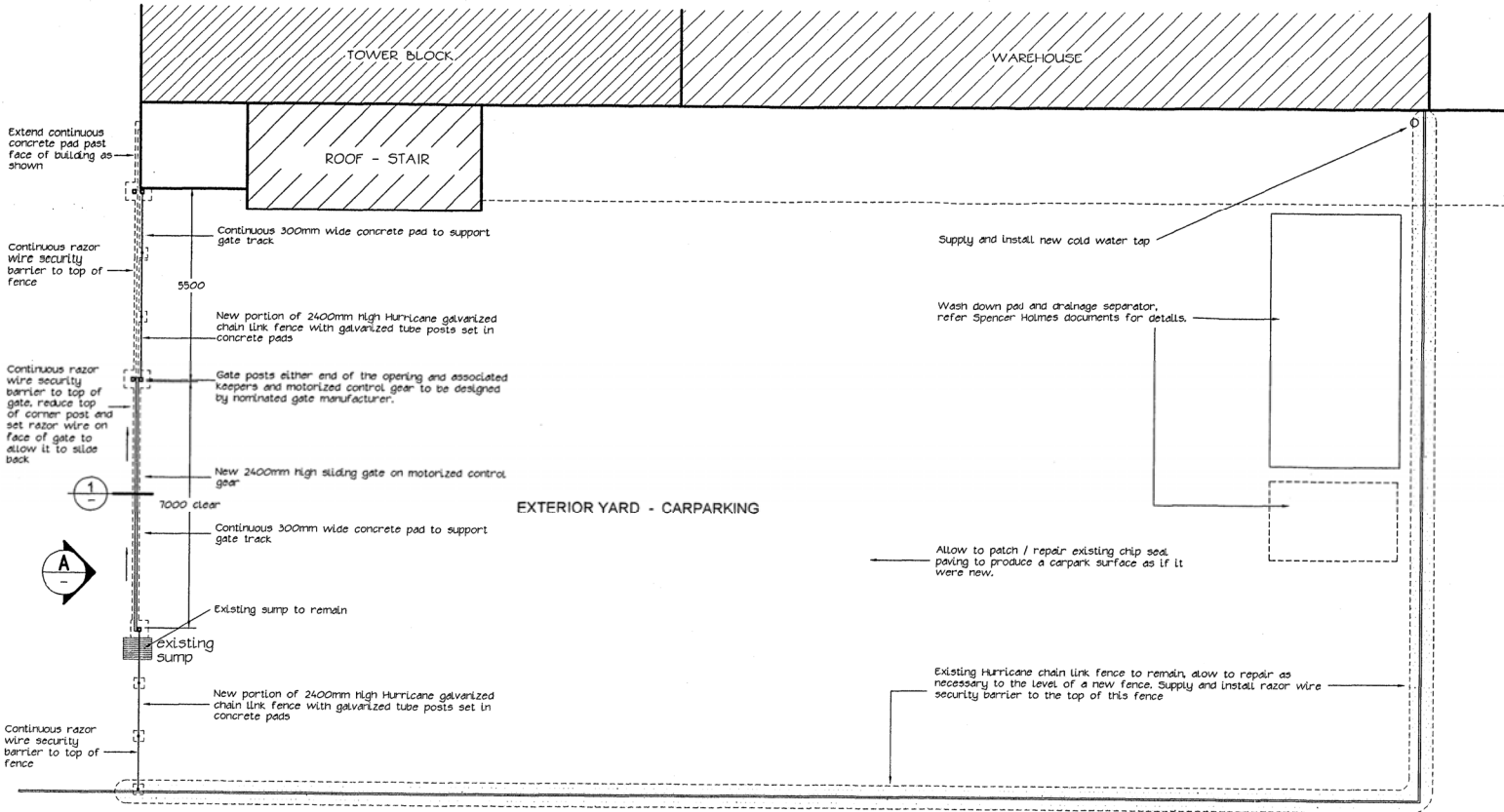


ELEVATION A  
scale 1:50



DETAIL 1  
scale 1:5

061321



- Notes:**
- 1/ Nominated supplier / manufacturer of the auto sliding gate shall be "McMillan Fences & Gates", contact Ron McMillan PH 939-4283.
  - 2/ The nominated gate supplier shall provide detailed shop drawings detailing the posts, guides and motor system. Allow for razor wire to the top / front of the gate, design the posts to allow this razor wire to slide back.
  - 3/ The gate supplier shall take spot levels and set the concrete strip pads out to suit the gates running gear.



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TENANCY FITOUT  
FOR  
BALANCED INVESTMENTS

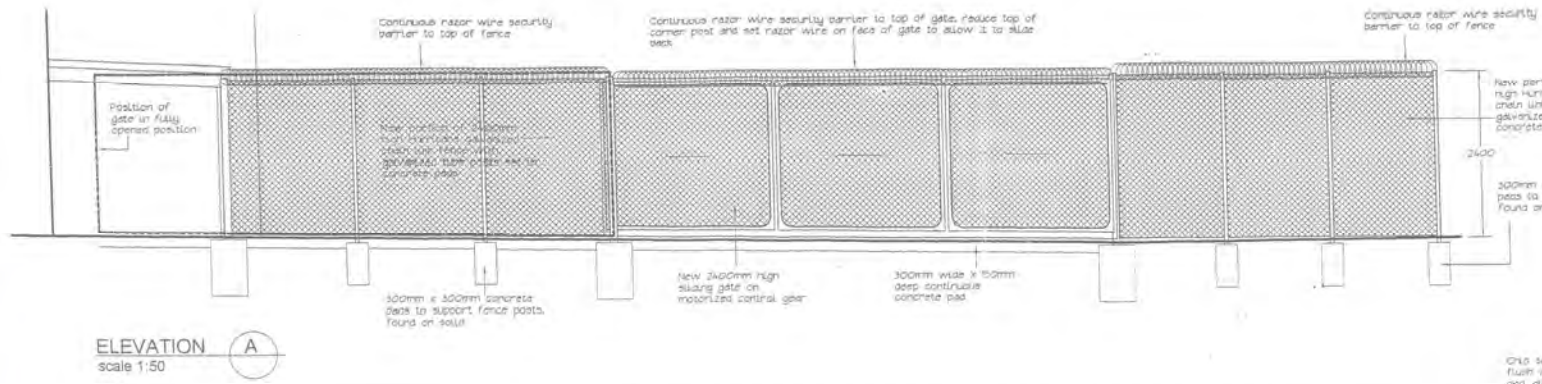
ADDRESS  
40 BOUVIERIE STREET  
PETONE

SHEET TITLE  
YARD PLAN AND  
DETAILS

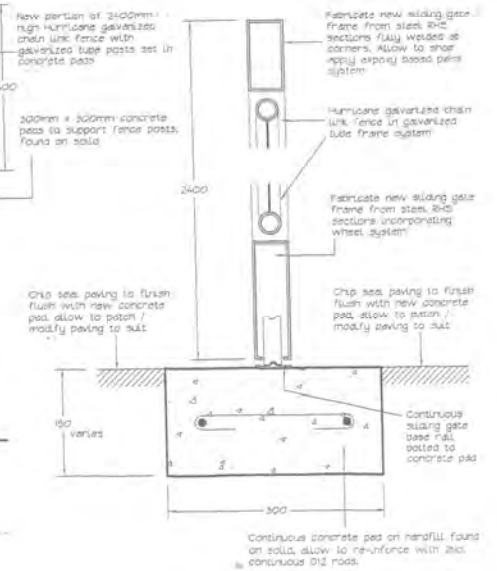
SCALE	1 : 100 @ A2
XREF	1561YLOS
The contractor shall verify all dimensions on site. Any discrepancy to this drawing must be referred to the Architect for clarification prior to manufacture of construction	

DATE	22 / 09 / 2006
COMPUTER REF. No.	1561EL14
C.Code. DWG No.	E L - 14
Rev.	1

AMENDMENTS  
1 22/09/2006 Consent issue



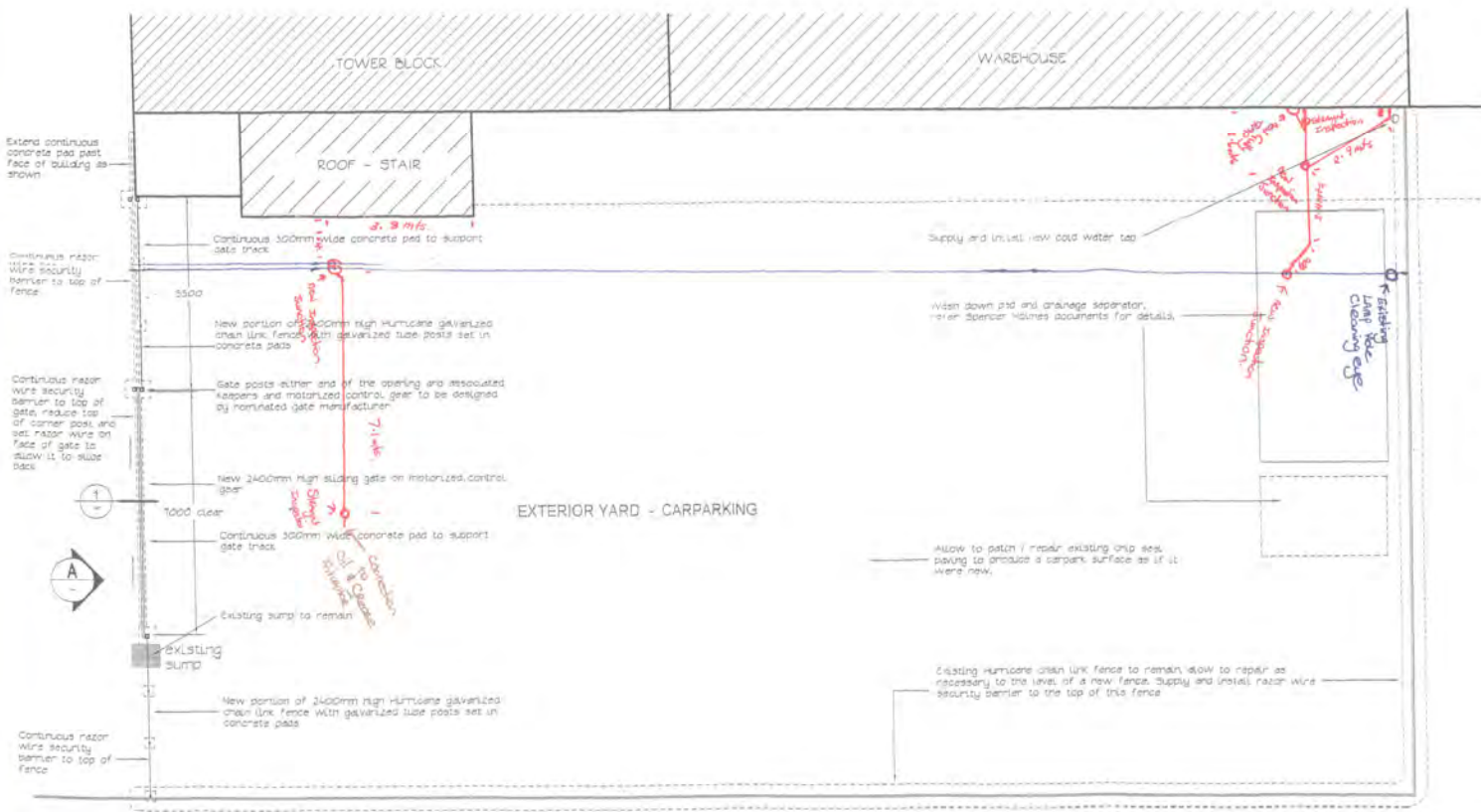
ELEVATION A  
scale 1:50



DETAIL 1  
scale 1:5

Notes:

- 1/ Nominated supplier / manufacturer of the auto-sliding gate shall be 'McMillan Fences & Gates', contact: Ron McMillan PH: 959-4283.
- 2/ The nominated gate supplier shall provide detailed shop drawings detailing the posts, guides and motor system. Allow for razor wire to the top / front of the gate, design the posts to allow the razor wire to slide back.
- 3/ The gate supplier shall take spot levels and set the concrete strip pads out to suit the gates running gear.



EXTERIOR YARD - CARPARKING



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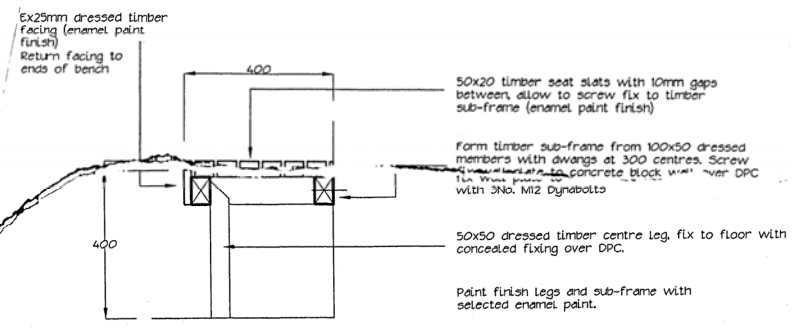
ADDRESS  
40 BOUVIERIE STREET  
PETONE

SHEET TITLE  
YARD PLAN AND  
DETAILS

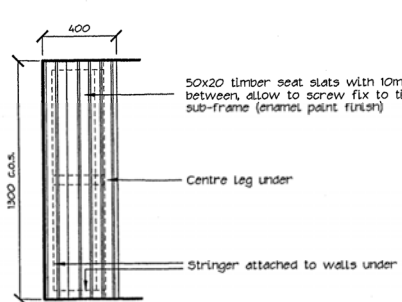
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XREF	1561YL0S
The contractor shall verify all dimensions on site. Any discrepancy to this drawing must be referred to the Architect for clarification prior to manufacture of construction.	

DATE	22 / 09 / 2006
COMPUTER REF No	1561EL14
C.Cycle DWG No	E L - 14
Rev	1

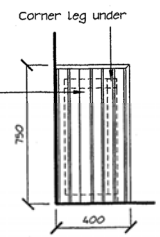




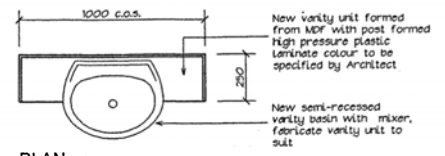
**SECTION THRU. SHOWER SEAT**  
Scale 1:10



**PLAN - SHOWER SEAT TO SPACES**  
**SG-24 & SG-25 (2No. required)**  
Scale 1:20

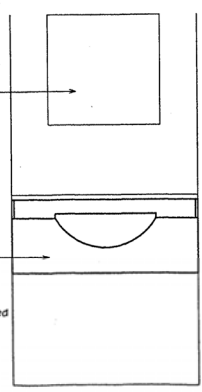


**PLAN - SHOWER SEAT TO SPACE**  
**SG-22 (1No. required)**  
Scale 1:20

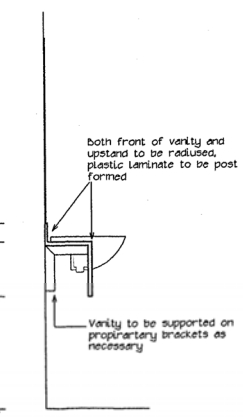


PLAN

New clear float mirror in proprietary alum. mirror mounts



ELEVATION



SECTION

**NEW VANITY TO WOMENS TOILET**  
**S1-08 (1No. required)**  
Scale 1:20

061321



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SHEET TITLE  
**JOINERY DETAILS**

SCALE	1 : 100 @ A2	DATE	22 / 09 / 2006
XREF		COMPUTER REF. No.	1561EC02
The contractor shall verify all dimensions on site. Any discrepancy to this drawing must be referred to the Architect for clarification prior to manufacture of construction.			
C Code	DWG No.	Rev.	
E	C - 02	1	

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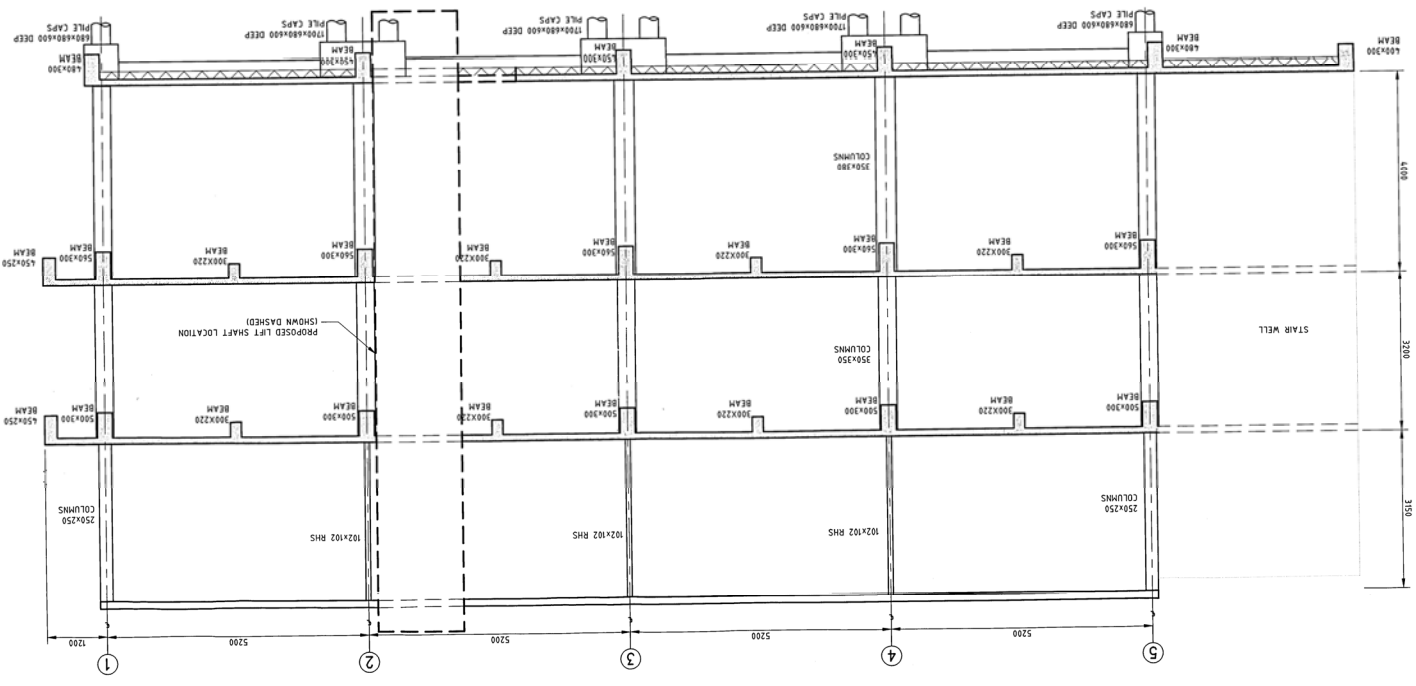
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 EXISTING  
 STRUCTURAL SECTION B-B  
 SHOWING DEMOLITION

**SCALE**  
 AS SHOWN

**DATE**  
 14/9/2008

**REVISIONS**  
 A  
 E06-0503-04

SECTION B  
 1:50  
 01

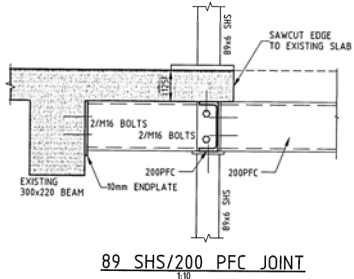


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A	FOR BUILDING CONSENT	ML	26/09/2008

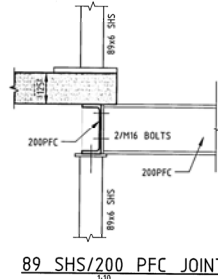
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NO	REVISION	BY	DATE
A	FOR BUILDING CONSENT	ML	26/9/2008

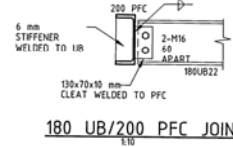
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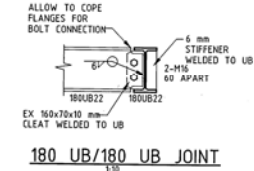
89 SHS/200 PFC JOINT



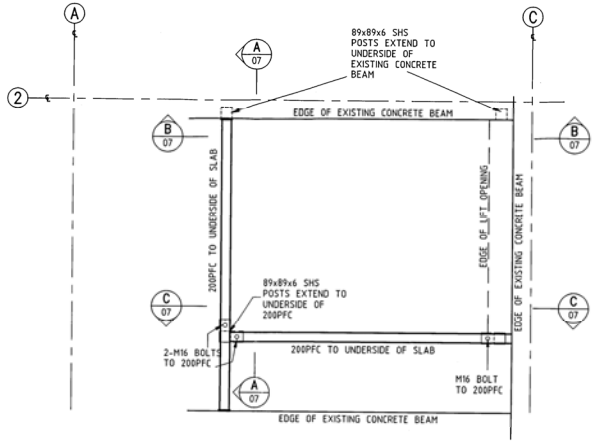
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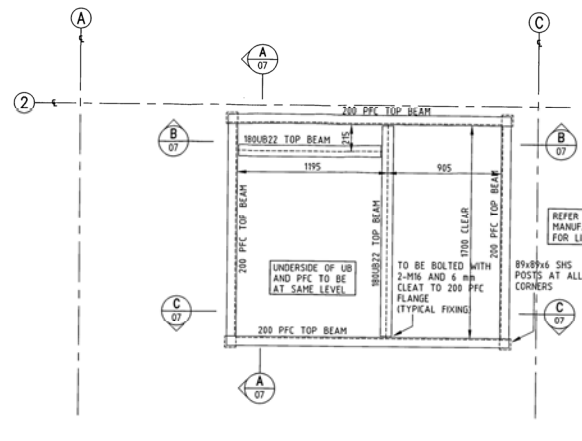
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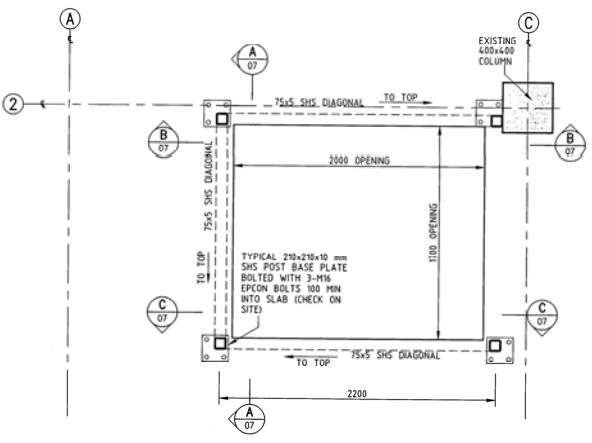
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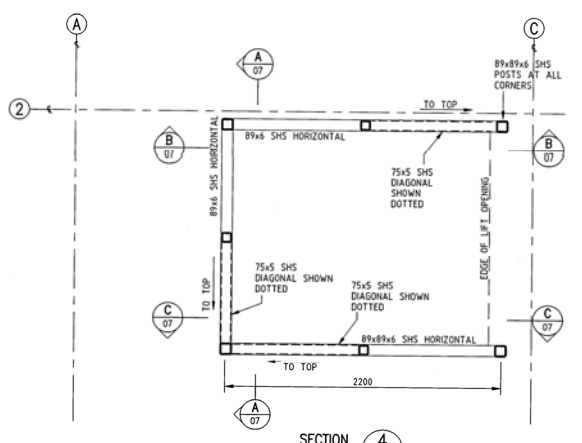
SECTION 3  
1:20



SECTION 5  
1:20



TYPICAL POST BASE PLAN FOR LIFT  
1:20



TYPICAL STEELWORK PLAN FOR LIFT  
1:20

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40 BOUVIERIE ST, PETONE**

DRAWING TITLE  
**PROPOSED  
STEELWORK DETAILS**

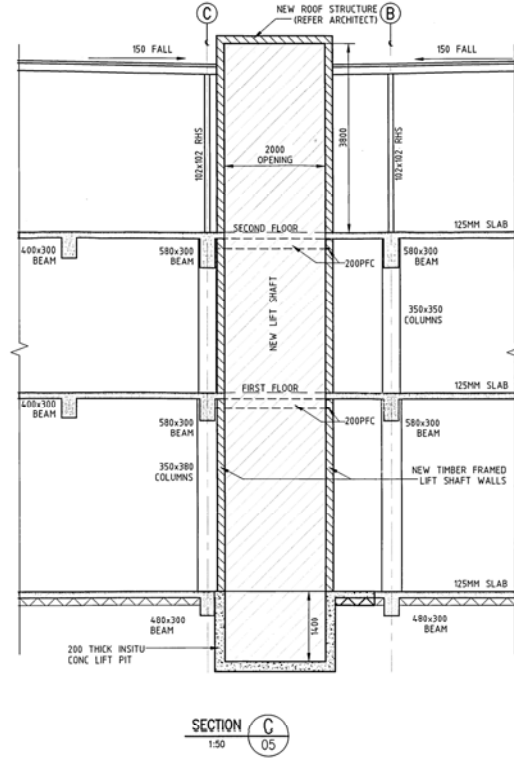
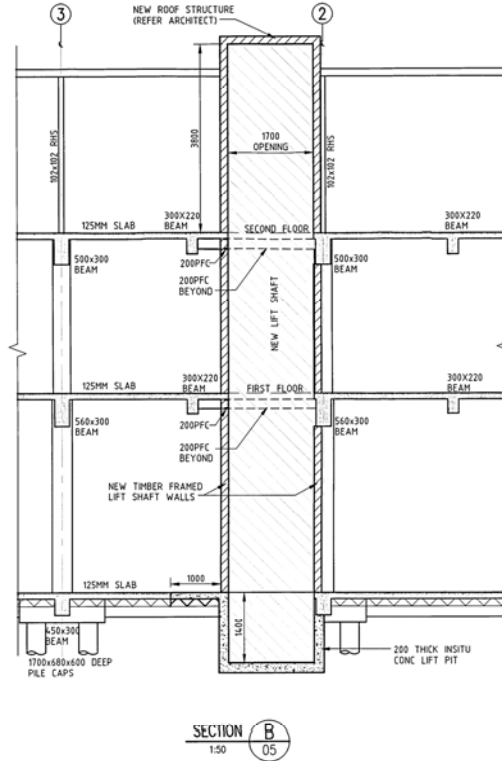
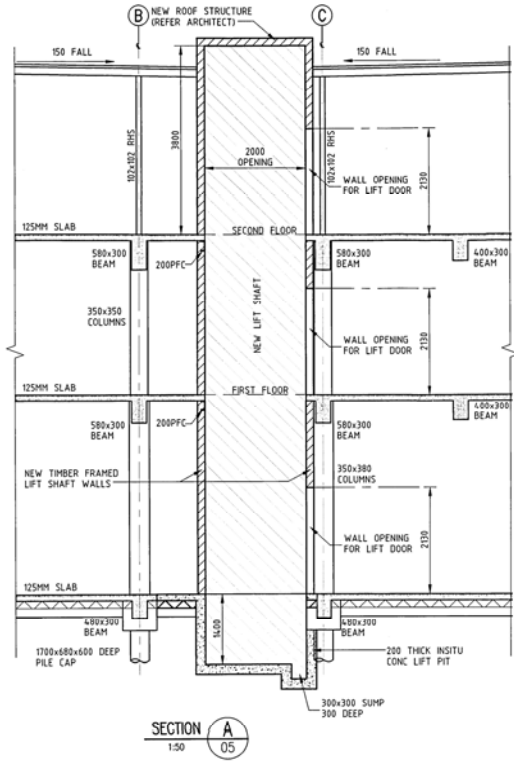
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DRAWN	ML	FIELD BOOK	
CHECKED		DATE	14/9/2006

SCALE AS SHOWN SIZE A1  
DRAWING NUMBER E06-0503-08 REV A

RESOURCE MANAGEMENT - LAND PLANNING - SURVEYING - STRUCTURAL - CIVIL - FIRE

NO	REVISION	BY	DATE
A	FOR BUILDING CONSENT	MIL	28/9/2008

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& TENANCY FITOUT  
40 BOUVIERIE ST, PETONE**

DRAWING TITLE  
**PROPOSED  
STRUCTURAL SECTIONS**

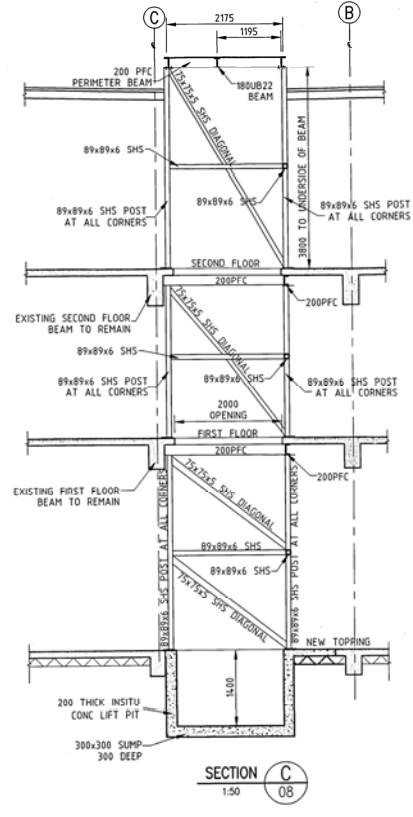
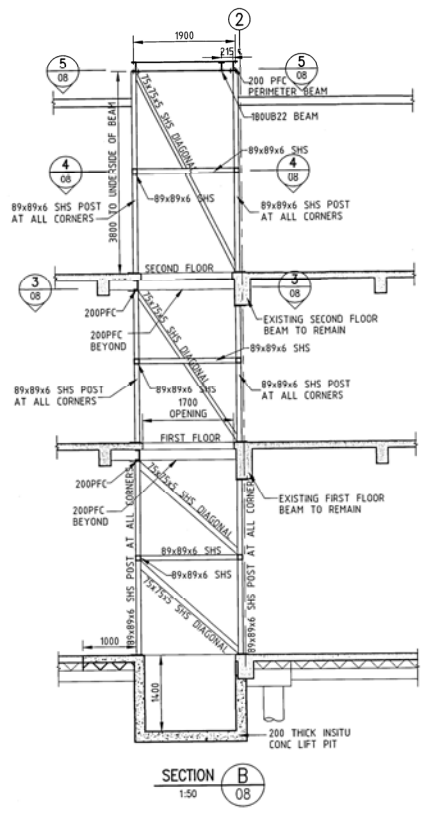
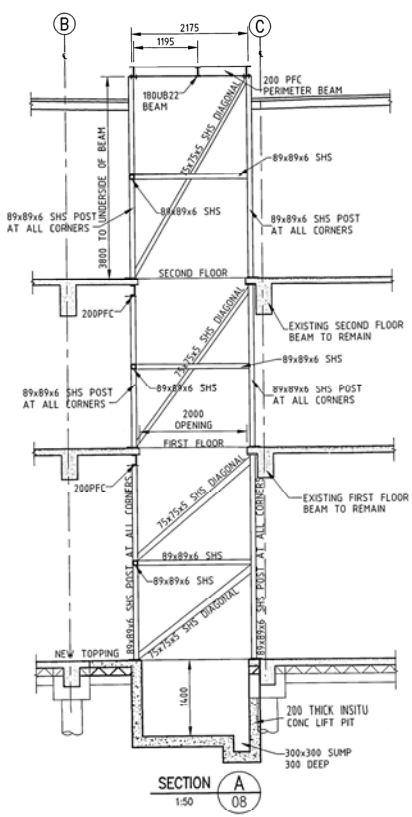
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DRAWN MIL	FIELD BOOK
CHECKED	14/9/2006
SCALE AS SHOWN	SIZE A1
DRAWING NUMBER E06-0503-06	REV A

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061321

NO	REVISION	BY	DATE
A	FOR BUILDING CONSENT	ML	26/9/2006

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**WORKSPACE VISION**

PROJECT  
**BUILDING REFURBISHMENT  
& TENANCY FITOUT  
40 BOUVERIE ST, PETONE**

DRAWING TITLE  
**PROPOSED  
STEELWORK DETAILS**

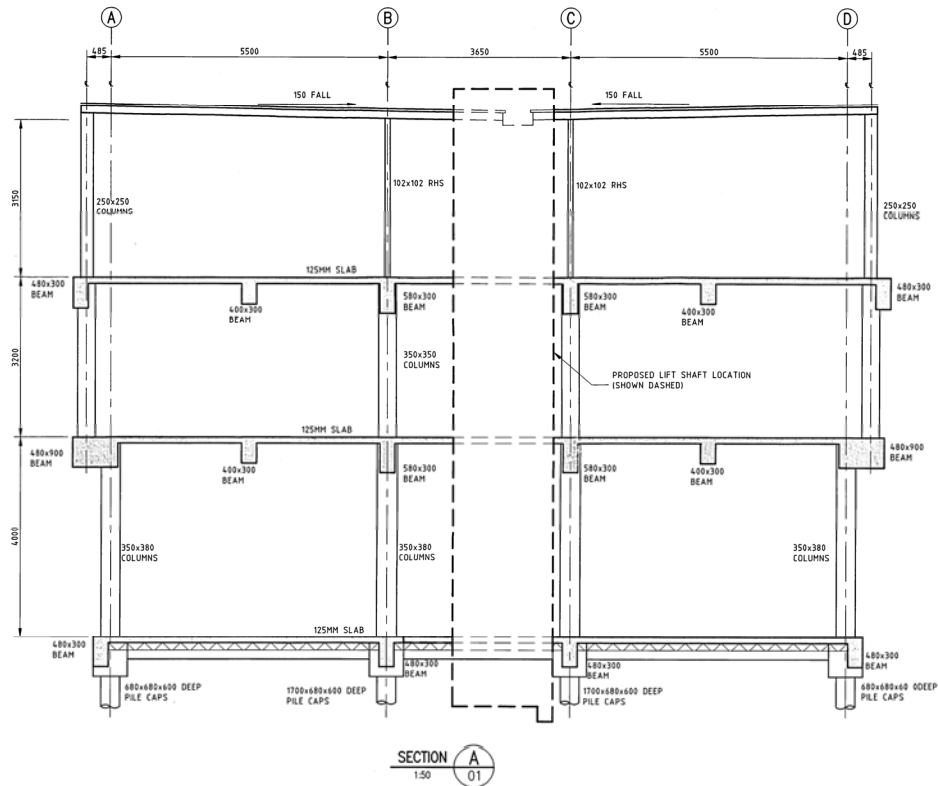
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DATE: 14/7/2006  
FIELD BOOK: [ ]  
DATE: [ ]  
SIZE: A1  
REV: A

RESOURCE MANAGEMENT • LAND PLANNING • SURVEYING • STRUCTURAL • CIVIL • FIRE

NO	REVISION	BY	DATE
A	FOR BUILDING CONSENT	MIL	26/9/2006

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**BUILDING REFURBISHMENT  
& TENANCY FITOUT  
40 BOUVIERIE ST, PETONE**

DRAWING TITLE  
**EXISTING  
STRUCTURAL SECTION A-A  
SHOWING DEMOLITION**

DESIGNED: PJM  
DRAWN: MIL  
CHECKED: [ ]  
DATE: 14/9/2006

DATE FILE: E06-0503-03  
FIELD BOOK: [ ]  
DATE: [ ]

SCALE: AS SHOWN  
SIZE: A1

DRAWING NUMBER: E06-0503-03  
REV: A

RESOURCE MANAGEMENT • LAND PLANNING • SURVEYING • STRUCTURAL • CIVIL • FIRE 061321

Contact: G L Tipler  
Group/Division: Inspection and Enforcement  
Telephone: 04 570 6989  
Facsimile: 04 579 6855  
E.Mail: gary.tipler@huttcity.govt.nz  
Our Reference: BC 070093

26 July 2007

McCombie Gieck Family Trust  
C/- V & R Consultants  
PO Box 3510  
WELLINGTON 6140

Dear Madam / Sir

**BUILDING CONSENT 070093 – 40 BOUVERIE STREET PETONE**

Please find enclosed the Territorial Authority's Code Compliance Certificate concerning the above Building Consent.

There is a considerable emphasis on obtaining a Code Compliance Certificate under the Building Act 2004, which also places significant value on this certificate. Please ensure this is filed in a safe, retrievable archive, available for future reference.

Should you need to make a future enquiry, regarding this application, please quote the Building Consent number.

Yours faithfully

G L Tipler  
**BUILDING INSPECTIONS MANAGER**

# Code Compliance Certificate

Section 95, Building Act 2004

<b>The Building</b>	
Street address of building: <b>40 Bouverie Street Petone</b>	Legal description of land where building is located: <b>LOT 2 DP 87775</b>
Building name:	Location of building within site/block number:
Level/unit number:	Current, lawfully established, use:
Year first constructed:	
<b>The Owner</b>	
Name of owner: <b>McCombie Gieck Family Trust No 2 Nominees Limited</b>	Contact person:
Mailing address: <b>C/- R &amp; V Consultants PO Box 3510 WELLINGTON 6140</b>	Email address:
	Website:
<b>Building Work</b>	
<b>BC 070093</b>	<i>Building alteration - stair / entry doors</i>
<b>Council Contact</b>	
First point of contact for communications with the Council: <i>Building Inspections Manager, Phone 570 6666, Private Bag 31912 Lower Hutt.</i>	

## Code Compliance

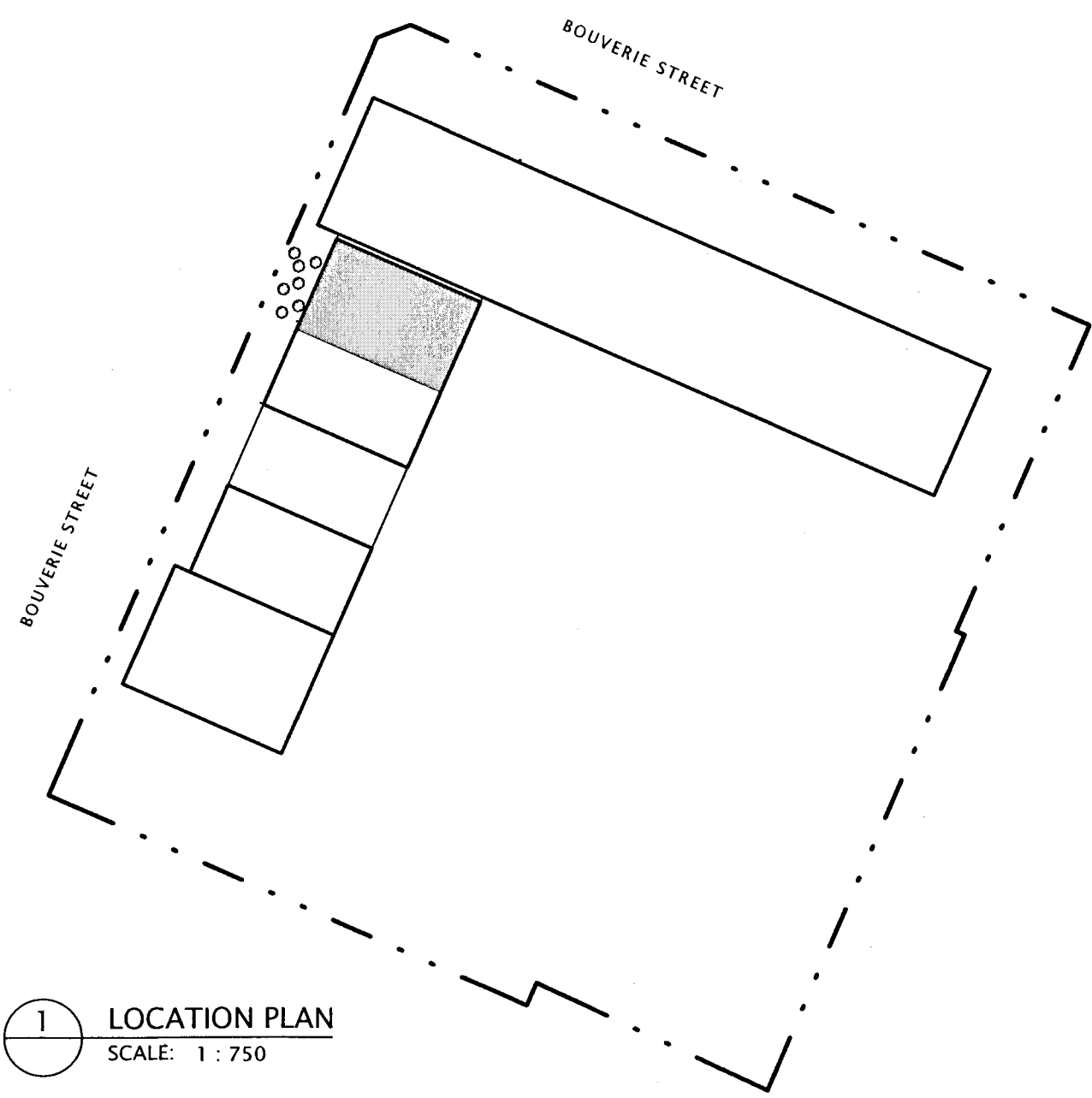
The building consent authority named below is satisfied, on reasonable grounds, that —

- (a) the building work complies with the building consent; and
- (b) the specified systems in the building are capable of performing to the performance standards set out in the building consent.

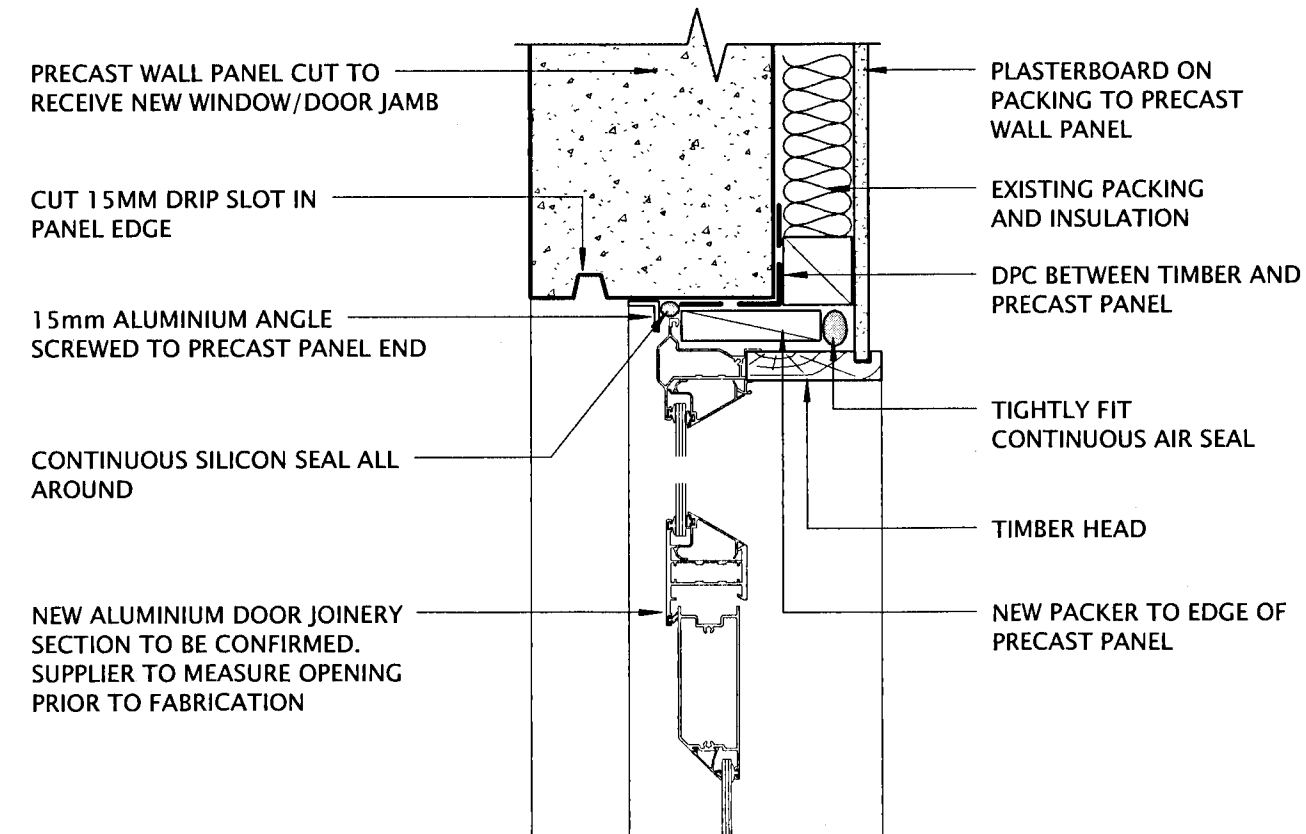
Issued by Hutt City Council  
30 Laings Road Lower Hutt

Date: 26 July 2007

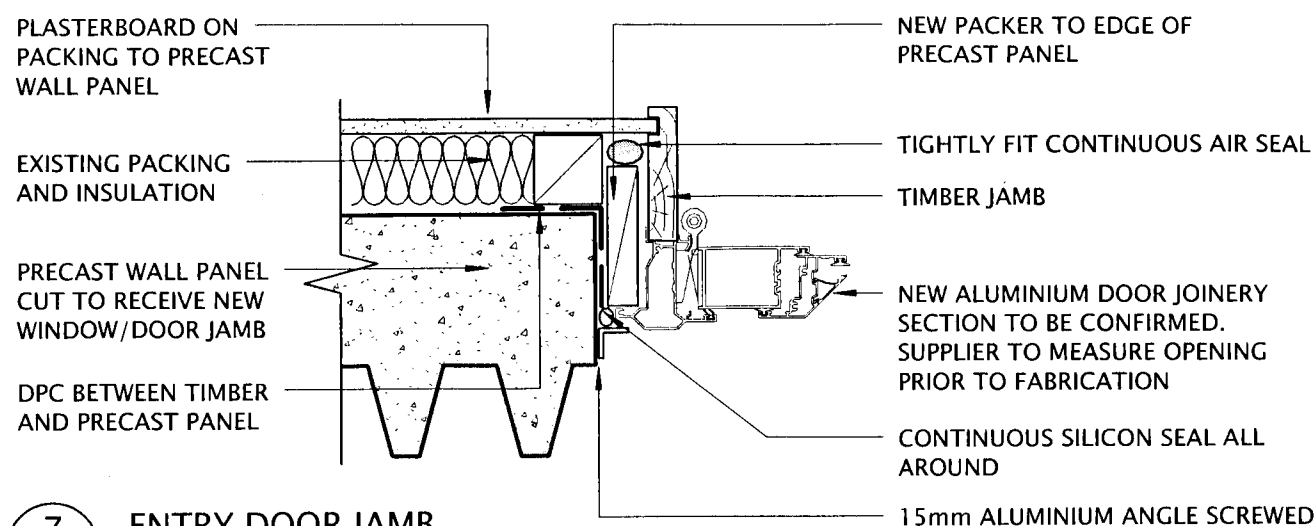
\_\_\_\_\_  
Building Inspections Manager, on behalf of Hutt City Council



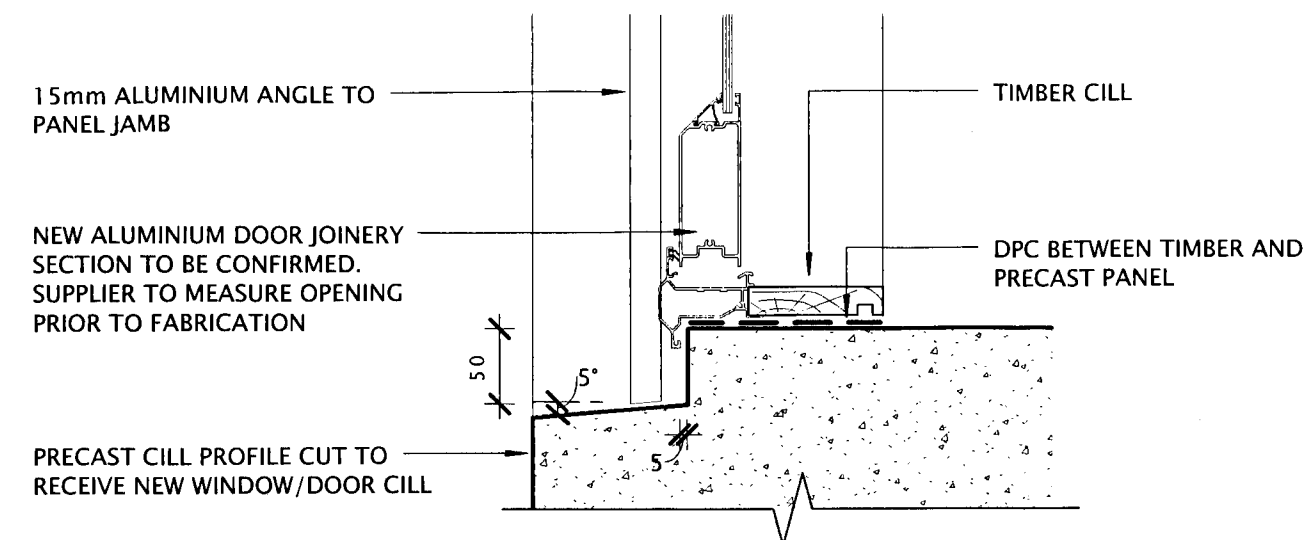
**1 LOCATION PLAN**  
SCALE: 1 : 750



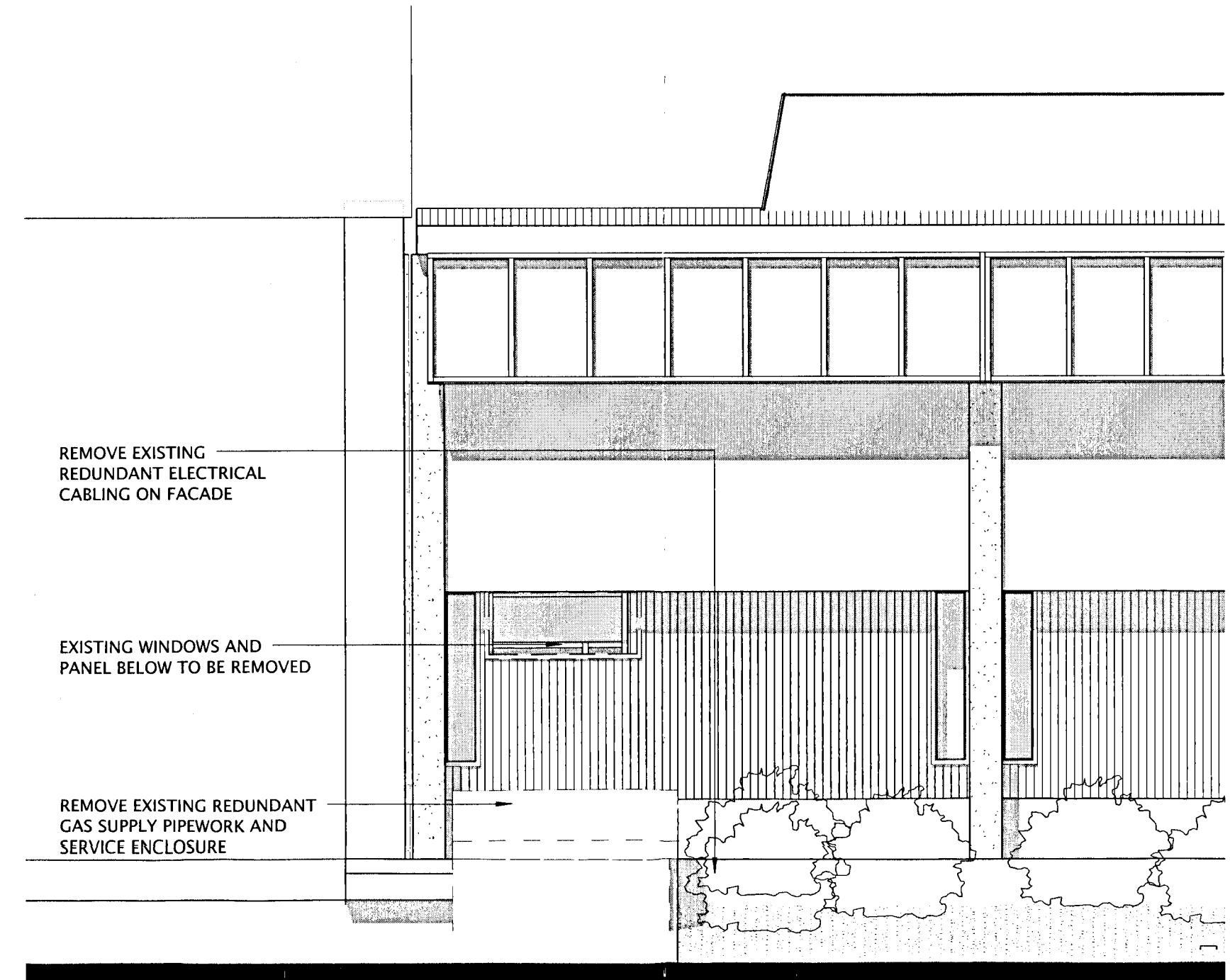
**5 ENTRY DOOR HEAD**  
SCALE: 1 : 5



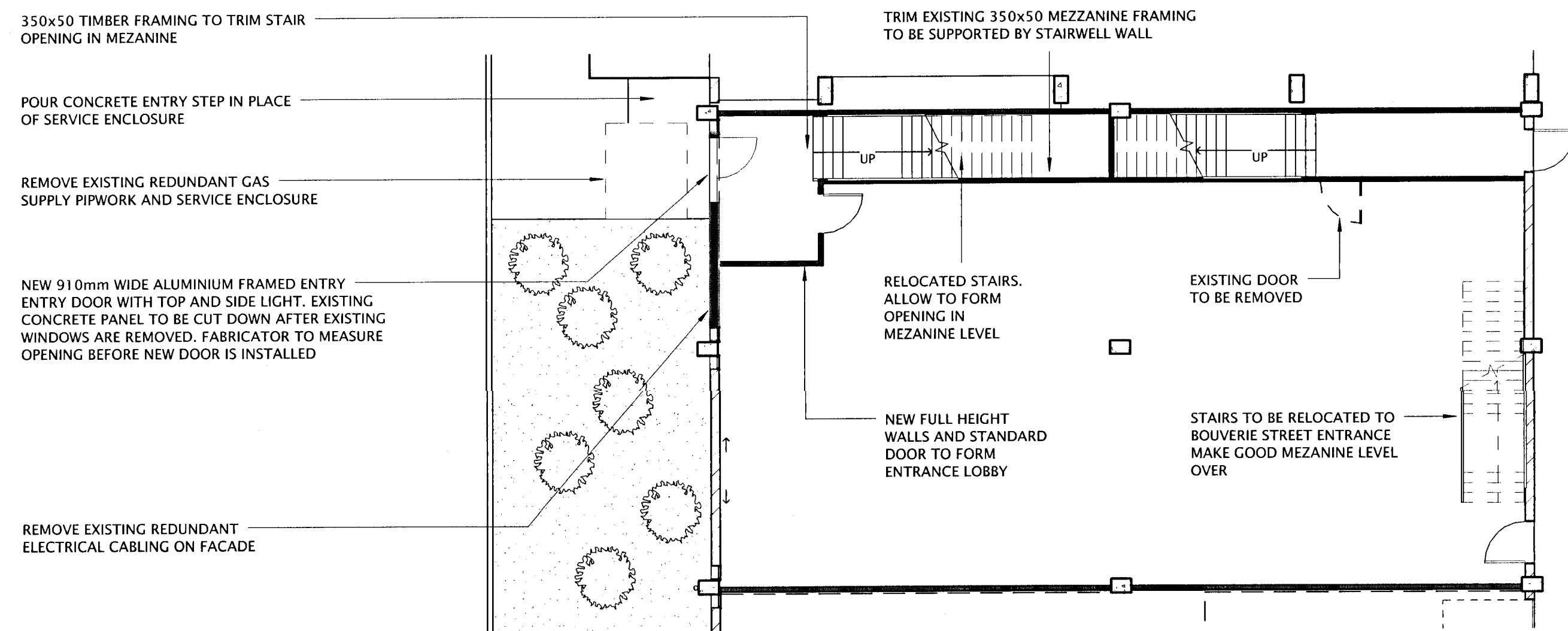
**7 ENTRY DOOR JAMB**  
SCALE: 1 : 5



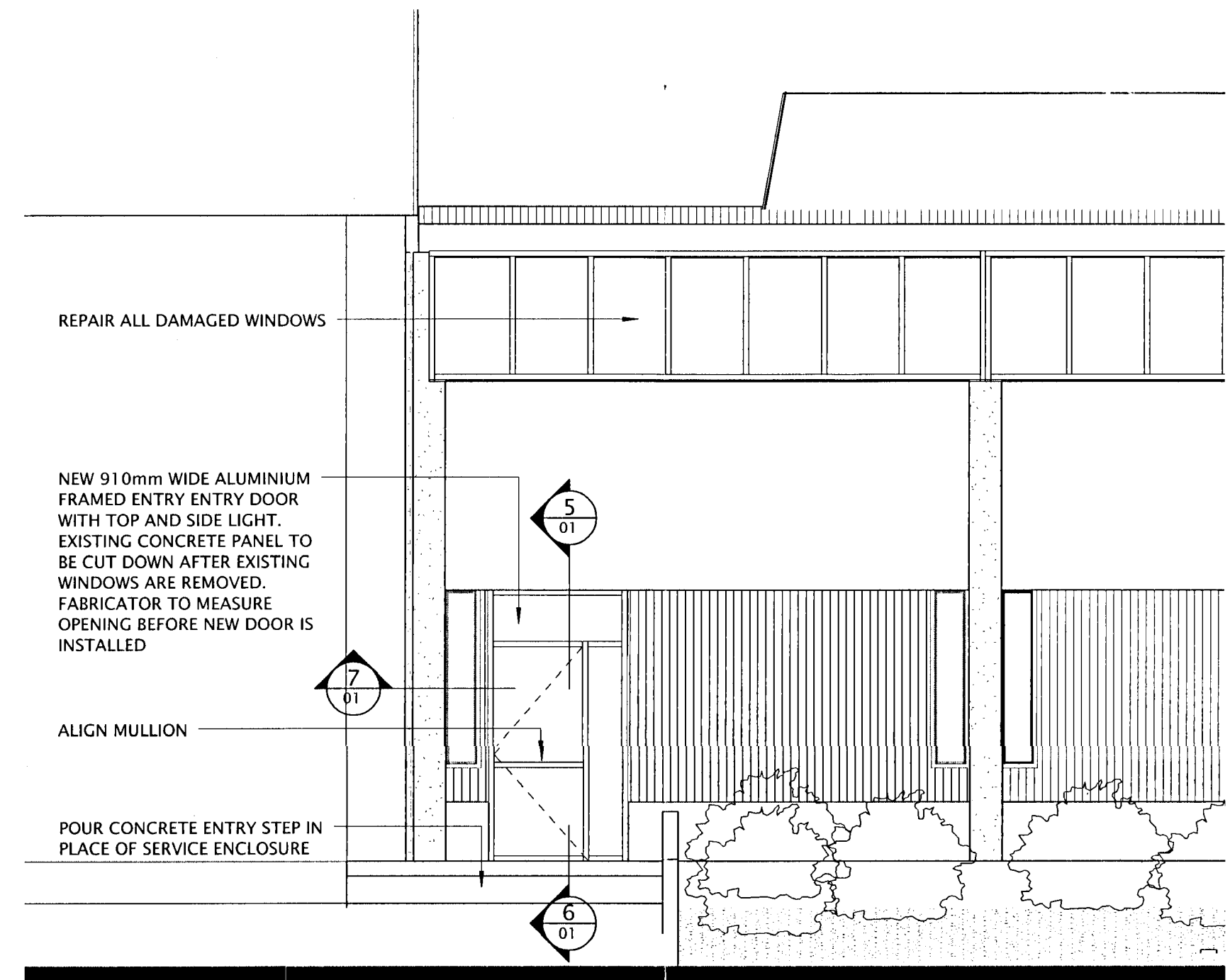
**6 ENTRY DOOR CILL**  
SCALE: 1 : 5



**3 EXISTING ELEVATION**  
SCALE: 1 : 50



**2 GROUND FLOOR PLAN**  
SCALE: 1 : 100



**4 PROPOSED ELEVATION**  
SCALE: 1 : 50

**NOTE**  
Do not scale off drawings. Drawings are scaled from original archived drawings and are subject to site measure. Plans are indicative only.  
Internal wall and door layout is approximate only.

Contact: P Burnet  
Group/Division: Inspections  
Telephone: 570 6933  
Facsimile: 570 6860  
E.Mail: peter.burnet@huttcity.govt.nz  
Our Reference: BC070903

22 April 2008

Workspace Vision  
PO Box 24 - 431  
Wellington

Dear Madam / Sir

**BUILDING CONSENT 070903 – 40 BOUVERIE STREET PETONE 5012**

Please find enclosed the Territorial Authority's Code Compliance Certificate concerning the above Building Consent.

There is a considerable emphasis on obtaining a Code Compliance Certificate under the Building Act 2004, which also places significant value on this certificate. Please ensure this is filed in a safe, retrievable archive, available for future reference.

Should you need to make a future enquiry, regarding this application, please quote the Building Consent number.

Yours faithfully

P Burnet  
**SENIOR BUILDING INSPECTION OFFICER**

# Code Compliance Certificate

Section 95, Building Act 2004

<b>The Building</b>	
Street address of building: <b>40 Bouverie Street Petone 5012</b>	Legal description of land where building is located: <b>LOT 2 DP 87775</b>
Building name:	Location of building within site/block number:
Level/unit number:	Current, lawfully established, use:
Year first constructed:	
<b>The Owner</b>	
Name of owner: <b>McCombie Gieck Family Trust No 2 Nominees Limited</b>	Contact person:
Mailing address: <b>PO Box 30626 LOWER HUTT 5040</b>	Email address:
	Website:
<b>Building Work</b>	
<b>BC070903</b>	<i>minor interior fitout alterations</i>
<b>Council Contact</b>	
First point of contact for communications with the Council: <i>Building Inspections Manager, Phone 570 6666, Private Bag 31912 Lower Hutt.</i>	

## **Code Compliance**

The building consent authority named below is satisfied, on reasonable grounds, that —

- (a) the building work complies with the building consent; and
- (b) the specified systems in the building are capable of performing to the performance standards set out in the building consent.

## **Attachment**

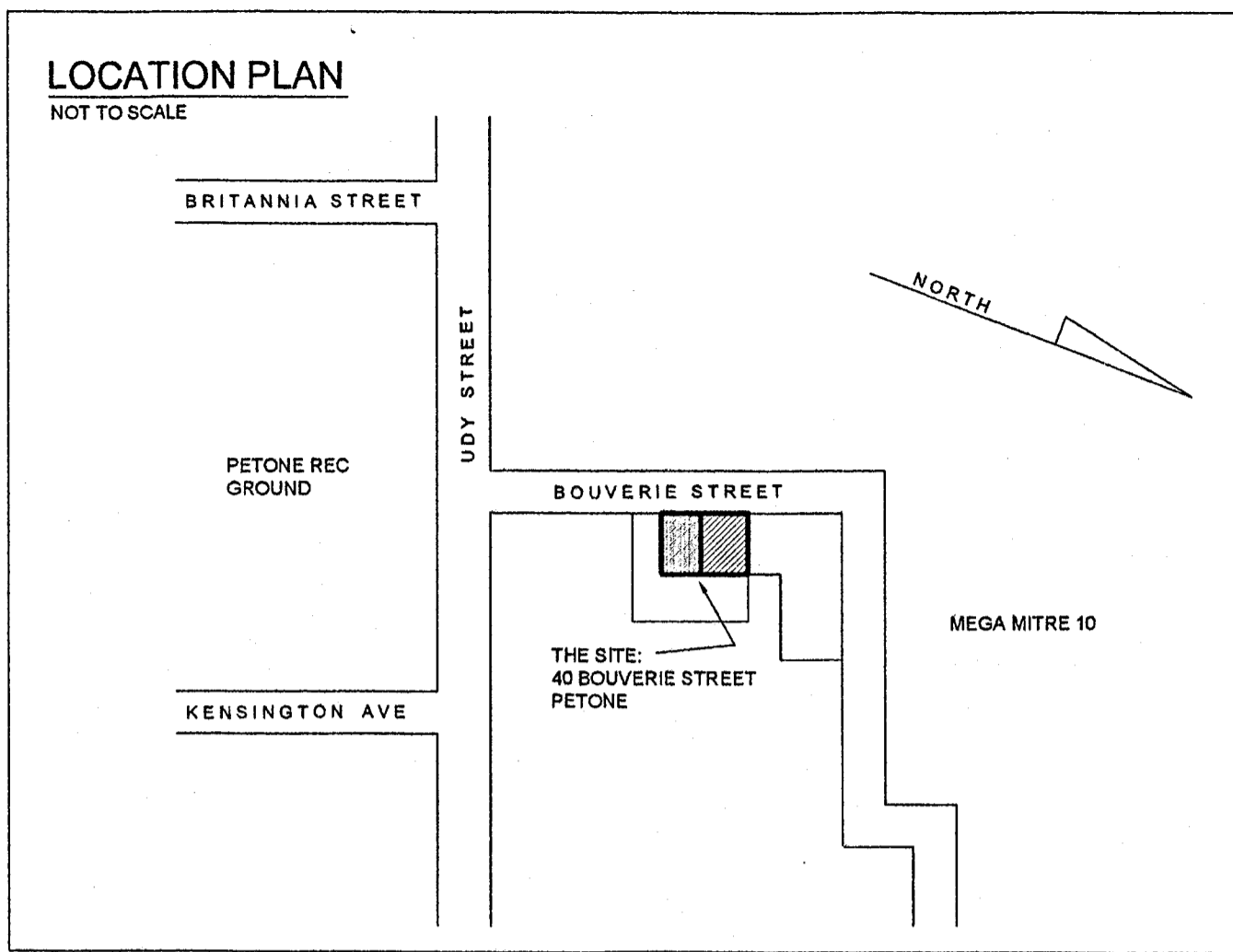
Compliance schedule

Compliance schedule statement

Issued by Hutt City Council  
30 Laings Road Lower Hutt

Date: 22 April 2008

Building Inspections Manager, on behalf of Hutt City Council



**EXISTING / DEMOLITION PLAN**  
Scale 1:100

**LEGEND:**

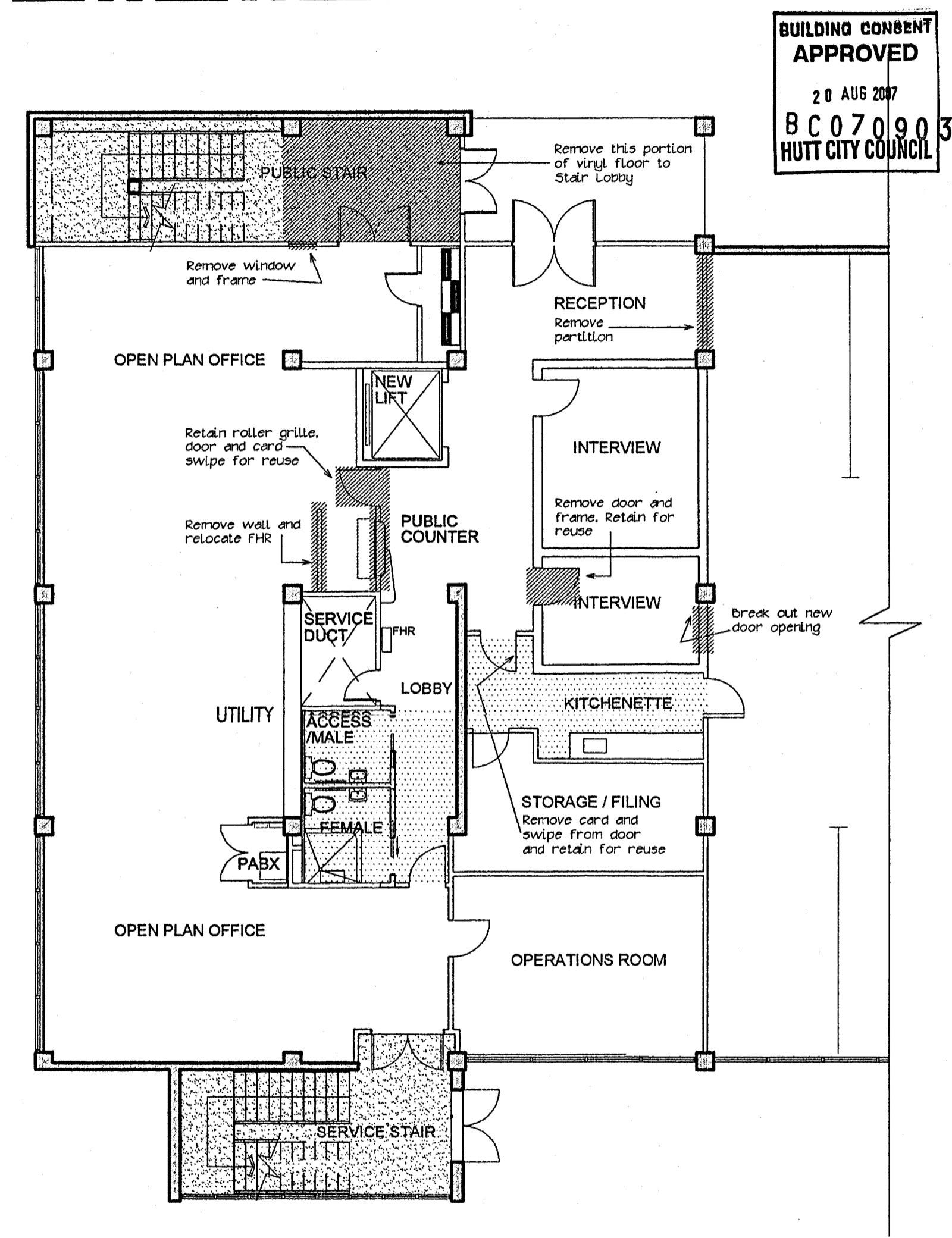
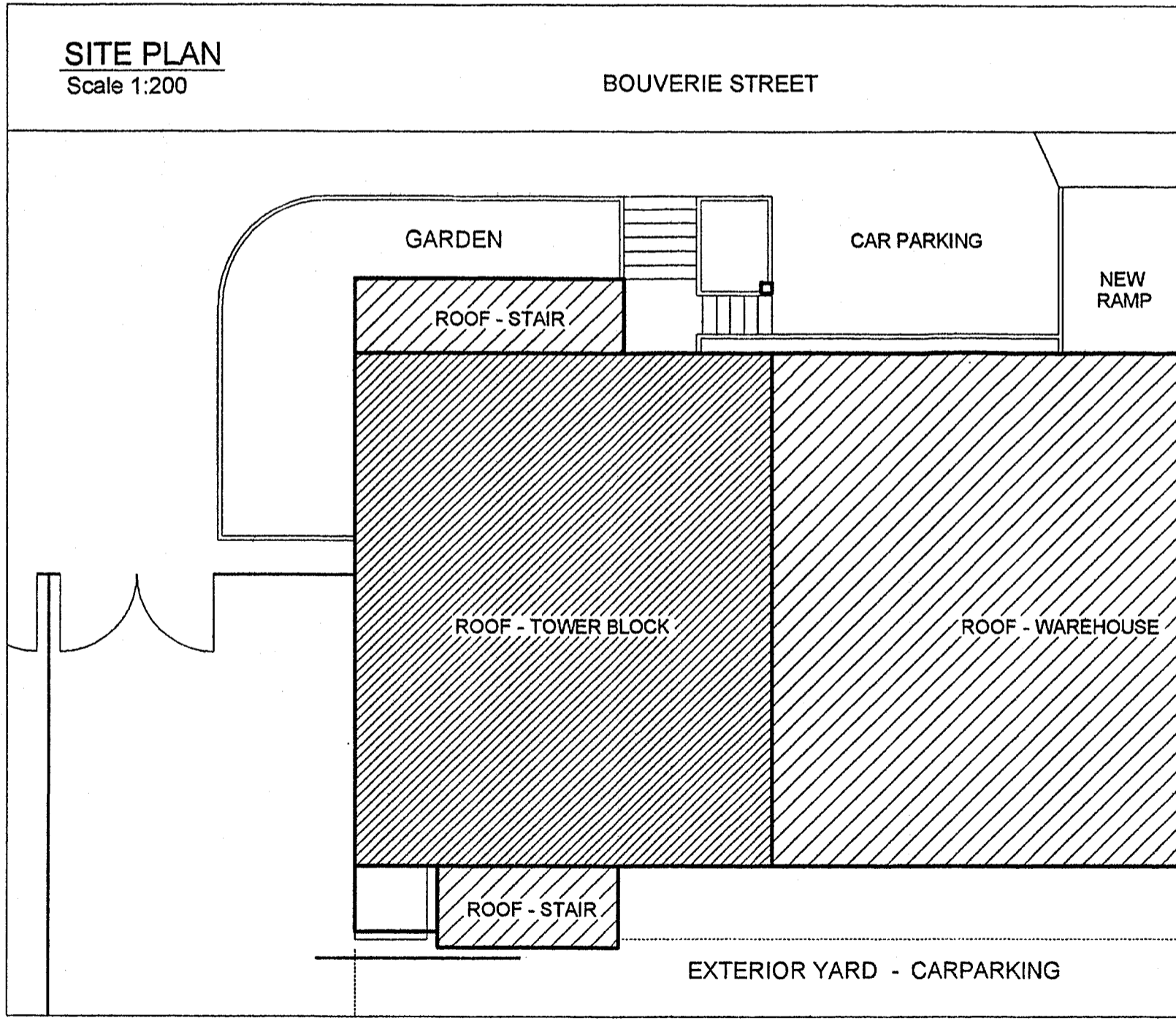
- Existing 100x50 partition to remain
- Existing building structure (core walls / columns, etc) to remain
- Existing partition to be demolished

**DEMOLITION NOTES:**

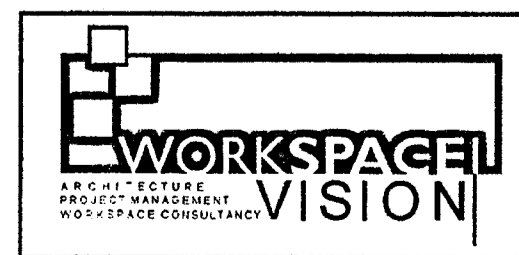
- 1.) Check construction zone for possible asbestos and PCB's and allow to take all necessary precautions during the removal / encapsulation process as agreed with the Architect.
- 2.) Allow to protect the following items during the demolition process, any damage caused shall be made good by the contractor:
  - Ceiling grid and tiles
  - Carpet
  - Light fittings that are to remain
  - Partitions
  - Perimeter, blinds and furniture
  - Stairs
- 3.) Make good / repair suspended ceiling and remaining partitions where partitions have been removed.
- 4.) Allow to terminate / make safe all live services in areas to be demolished. This shall include but be not limited to electrical outlets, switching, lighting, comms and data wiring, security wiring, fire protection and mechanical services.

**LEGEND - FLOORING**

- Existing commercial grade floor vinyl to remain. Allow to repair / make good where necessary
- Existing floor vinyl to remain, allow to repair / make good any lifting joints and commercial clean.

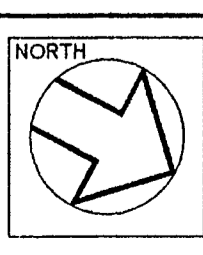


**BUILDING CONSENT APPROVED**  
20 AUG 2007  
BC070903  
HUTT CITY COUNCIL



REGISTERED ARCHITECTS ANZIA  
Ground Floor, Exchange Place  
5-7 Willeston Street, P.O.Box 24431  
Wellington - New Zealand  
Ph (04) 473 2810 Fax (04) 473 2811  
www.workspacevision.co.nz

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**PROJECT**  
MINOR TENANCY ALTERATIONS FOR THE MINISTRY OF FISHERIES

**ADDRESS**  
40 BOUVERIE STREET  
PETONE

**SHEET TITLE**  
SITE, LOCATION AND EXISTING / DEMOLITION PLAN

**SCALE** 1 : 100 & 1:200 @ A2  
**XREF** 1518XL0S & 1518XL0G  
The contractor shall verify all dimensions on site. Any discrepancy to this drawing must be referred to the Architect for clarification prior to manufacture of construction.

**DATE** 09 / 07 / 2007  
**COMPUTER REF. No.** 1518EL01  
**C.Code. | DWG No.** E | **L - 01** | **Rev.** 1

**CONSTRUCTION PLAN**

Scale 1:100

BOUVERIE STREET

**WALLS LEGEND:**

- Existing building structure (core walls / columns etc) to remain
- Existing wall to remain
- New 64mm steel stud partition (studs at 600mm centres) to underside of suspended ceiling. Line both sides with 13mm gib board, fill cavities with Autex ASB 5 QuietStuf (or similar approved) Partitions fabricated from Alum Designer 1000 partitioning sections top and bottom with MDF vertical stop ends.
- New 90mm steel stud 'Gib Rondo' Quiet Stud' framing full height to underside of concrete slab above, allow to trim suspended ceiling to this wall. Line both sides with 13mm Gib NoiseLine and 10mm Gib Noise line to both faces in accordance with Gib GBGSA 90 (59 STC sound rated wall), fill cavities with R18 Pink Batts. Skirting and cornice to be Alum Designer 1000 25mm flat bar sections glue fixed.

**ELECTRICAL LEGEND:**

- New double power outlet, provide new circuits back to switch board as necessary.
- Note: Allow to reuse / relocate existing power outlets and circuits where possible.

**DATA LEGEND:**

- DATA OUTLETS SHOWN FOR INFORMATION ONLY, THIS WORK CARRIED OUT BY TENANTS SEPARATE CONTRACTOR (NOT IN THIS CONTRACT)
- 2No. RJ45 data outlets at level to match power outlets, wiring to be Cat 5E unless specified otherwise.
- Allow to reuse existing data outlets and wiring where possible

**ELECTRICAL NOTES:**

- All electrical works to comply with NZBC G9/AS1 and the New Zealand Electrical codes of practice (ECP)
- Install new outlets as detailed
- Check switchboard capacity, re-route all lights / outlets onto separate metered circuit.

**SECURITY:**

This contract shall allow for the provision of clean power supply to card access security doors as indicated.

Supply and installation of electronic card access security to doors to be carried out by tenants separate contractor (not in this contract).

- Position of PIR detectors as installed by tenants separate contractor (not in this contract)

**FLOORING LEGEND:**

- New selected 2mm homogeneous commercial grade floor vinyl covered up walls 100mm. Vinyl to be approved by tenant
- New mat flooring in direct stick application. Mat to be approved by tenant

**NOTES:**

Allow \$300 for direction signage

**CEILING PLAN**

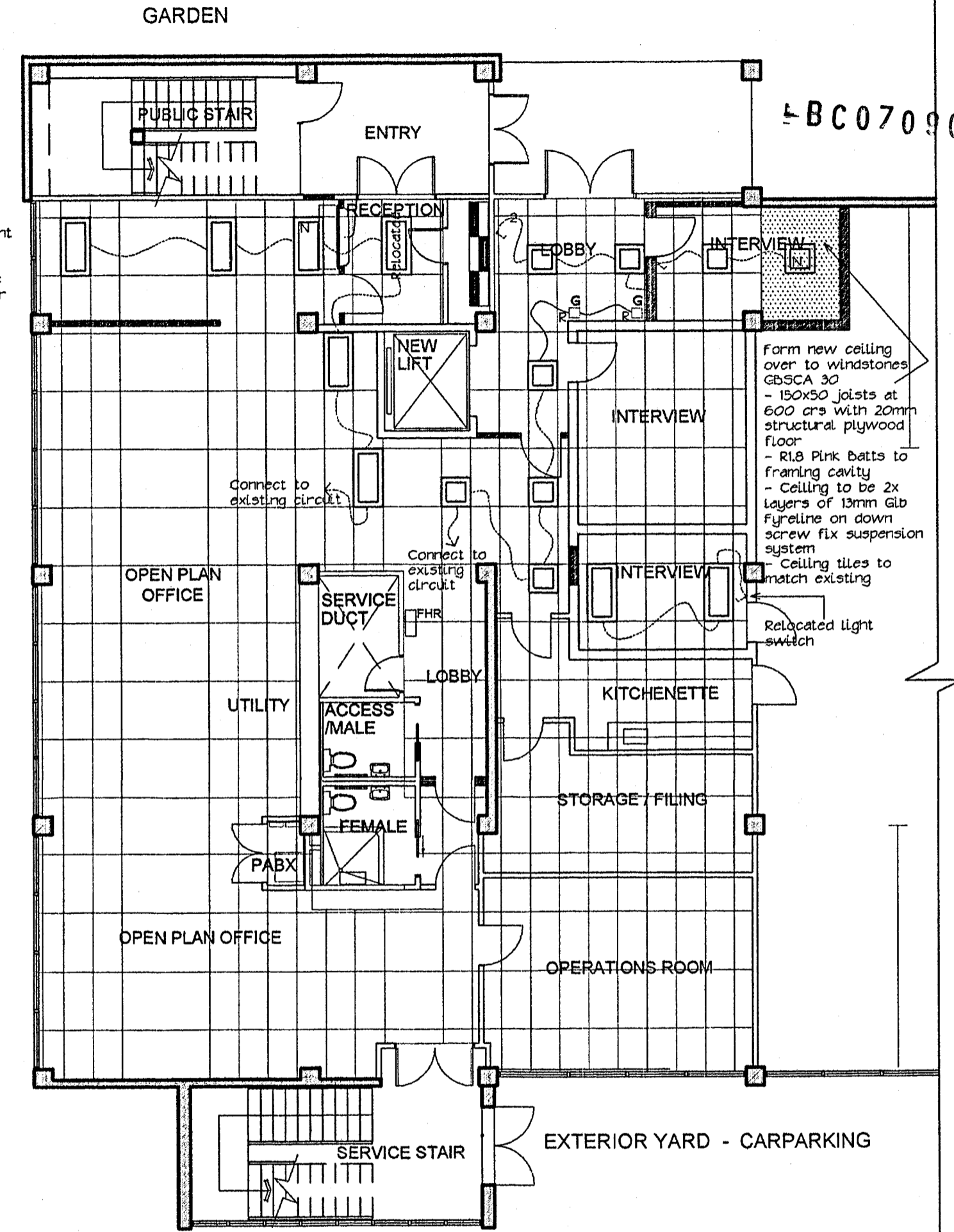
Scale 1:100

BOUVERIE STREET

AMENDMENTS  
1 09/07/2007 Consent issue

**LIGHTING LEGEND:**

- New Roxel 1200mm x 600 recessed light module designed to fit into a two way standard DX exposed rail suspended ceiling complete with Osram electronic ballast, an un-framed prismatic diffuser and 2x36W Osram Lumilux Plus colour 21-840 tubes. 1 x REXRM422X36G 2 x OSRL36840
- New Roxel 600mm x 600 recessed light module designed to fit into a two way standard DX exposed rail suspended ceiling complete with Osram electronic ballast, an un-framed prismatic diffuser and 2x18W Osram Lumilux Plus colour 21-840 tubes. 1 x REXRM22X18G 2 x OSRL18840
- Relocated wall light, black finish complete with 18W colour 4000K. Exact mounting to be agreed with the Architect on site.



**FIRE SPRINKLER SYSTEM**  
The fire protection contractor shall prepare a design / build layout for sprinklers both above and below the ceiling in accordance with NZS 4521

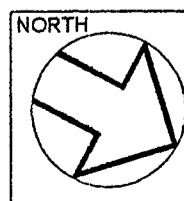
**EMERGENCY LIGHTING**  
Emergency evacuation lighting is not shown on this drawing, the electrical contractor shall prepare a design / build solution based on NZBC F6/AS1 and AS/NZS 2293. Allow reuse existing fittings and wire into existing emergency light power supply, check exact details on site

**MANUAL FIRE ALARM SYSTEM**  
Allow to reuse existing sounders and manual fire alarm call points, check the installation is in compliance with AS 2220 and make necessary modifications, ensure coverage to full floor in terms of sound pressure levels.



REGISTERED ARCHITECTS ANZIA  
Ground Floor, Exchange Place  
5-7 Willeston Street, P.O.Box 24431  
Wellington - New Zealand  
Ph (04) 473 2810 Fax (04) 473 2811  
www.workspacevision.co.nz

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PROJECT  
**MINOR TENANCY ALTERATIONS FOR THE MINISTRY OF FISHERIES**

ADDRESS  
40 BOUVERIE STREET  
PETONE

SHEET TITLE  
**CONSTRUCTION AND CEILING PLAN**

SCALE 1 : 100 @ A2

XREF 1518YL0G

The contractor shall verify all dimensions on site. Any discrepancy to this drawing must be referred to the Architect for clarification prior to manufacture of construction.

DATE 09 / 07 / 2007

COMPUTER REF. No. 1518EL02

C.Code DWG No. E L - 02 Rev. 1

**DECORATION PLAN**

Scale 1:100

**FINISHES LEGEND:**

Paint finish to INTERIOR EXISTING substrates

E.01 Reused Timber Doors  
Semi gloss acrylic enamel  
DULUX Specification NZSD0300  
Surface Prep PT1025  
Spot Prime - DULUX Primercryl. (NZDD0813)

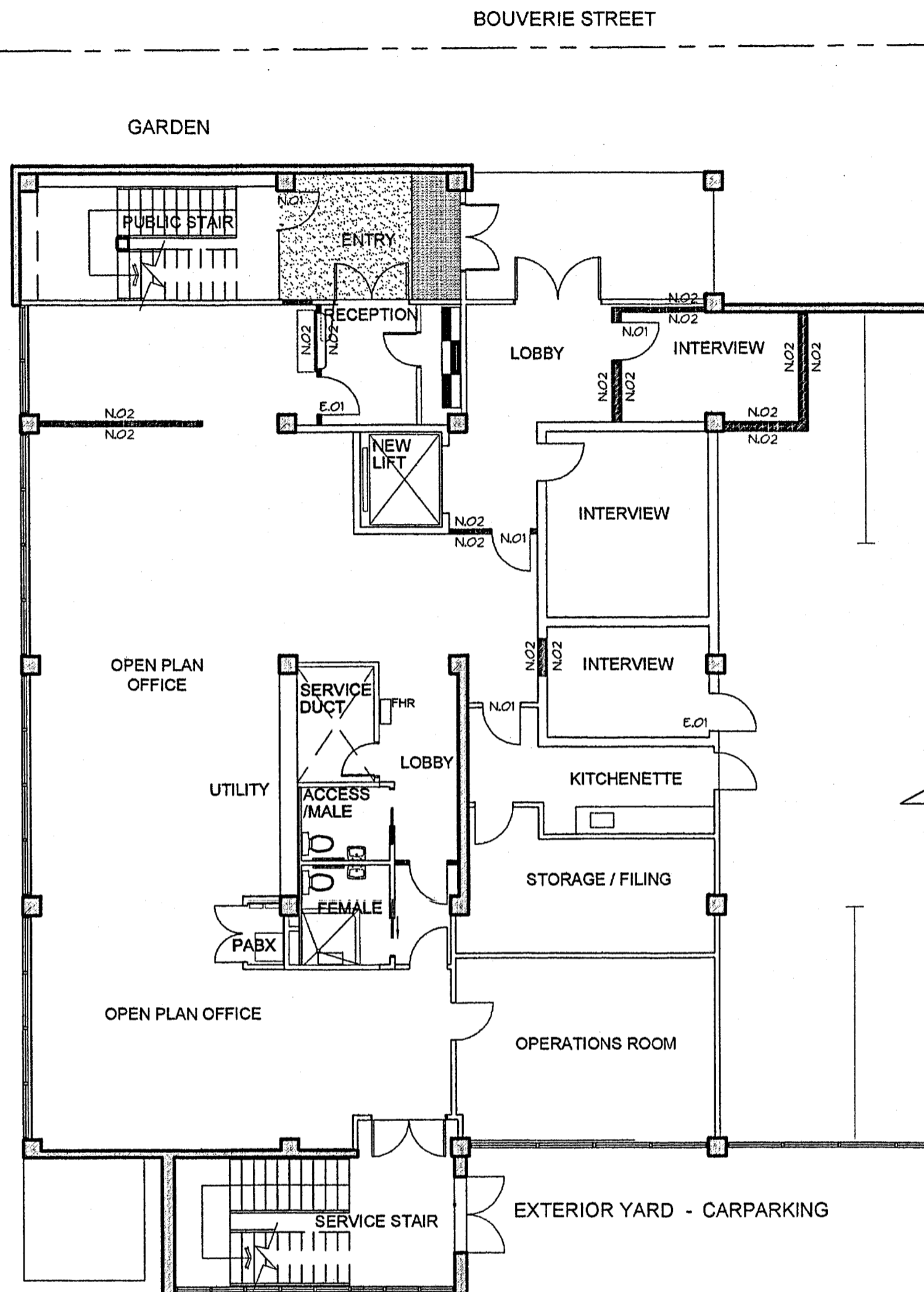
Paint finish to INTERIOR NEW substrates

N.01 Timber Doors & MDF skirtings  
Semi gloss acrylic enamel  
DULUX Specification NZSD0299  
Surface Prep PT1025  
1x DULUX Primercryl. (NZDD0813)  
2 x DULUX Aquanamel (NZDD1028)

N.02 GIB board - walls  
Low sheen acrylic  
DULUX Specification NZSD0088  
Surface Prep PPL008  
1 x DULUX Acrylic Sealer Undercoat (NZDD0815)  
2 x DULUX Wash & Wear 101 Advanced (NZDD1183)

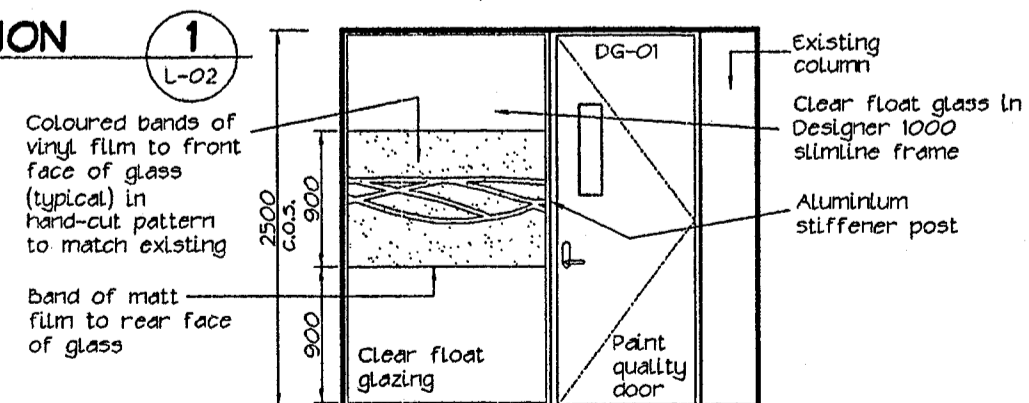
**NOTES:**

- Colours to be selected by the Architect.
- Allow to paint finish all skirtings / trims / cornice / door frames etc. Check extent of works on site.
- Refer appendix "D" of specification for exterior painting details.



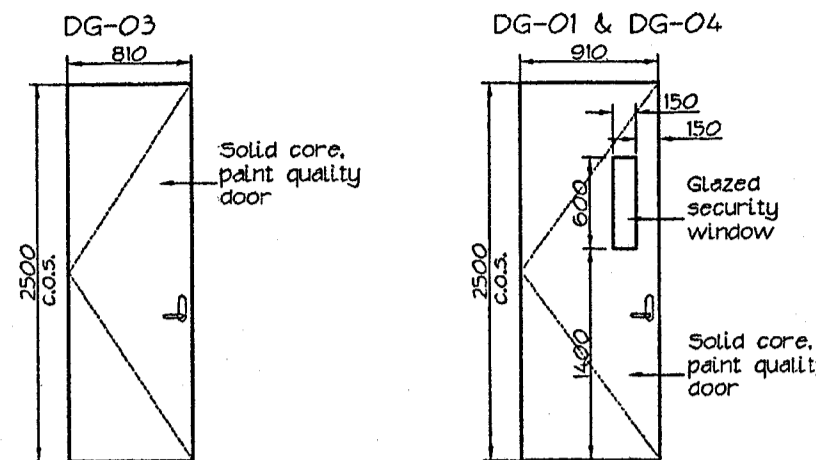
**ELEVATION**

Scale 1:50



**DOOR SCHEDULE**

Scale 1:50



**Door Type "1"**

(1 off, confirm on site)

42mm solid core, paint quality finish door.

Frame to be aluminum Designer 1000 slimline sections.

**Door Type "2"**

(2 off, confirm on site)

42mm solid core, paint quality finish door.

Frame to be aluminum Designer 1000 slimline sections.

**Reused doors:**

DG-02, DG-06 & DG-07 to be relocated  
DG-05 swipe card removed

AMENDMENTS  
1 09/07/2007 Consent issue

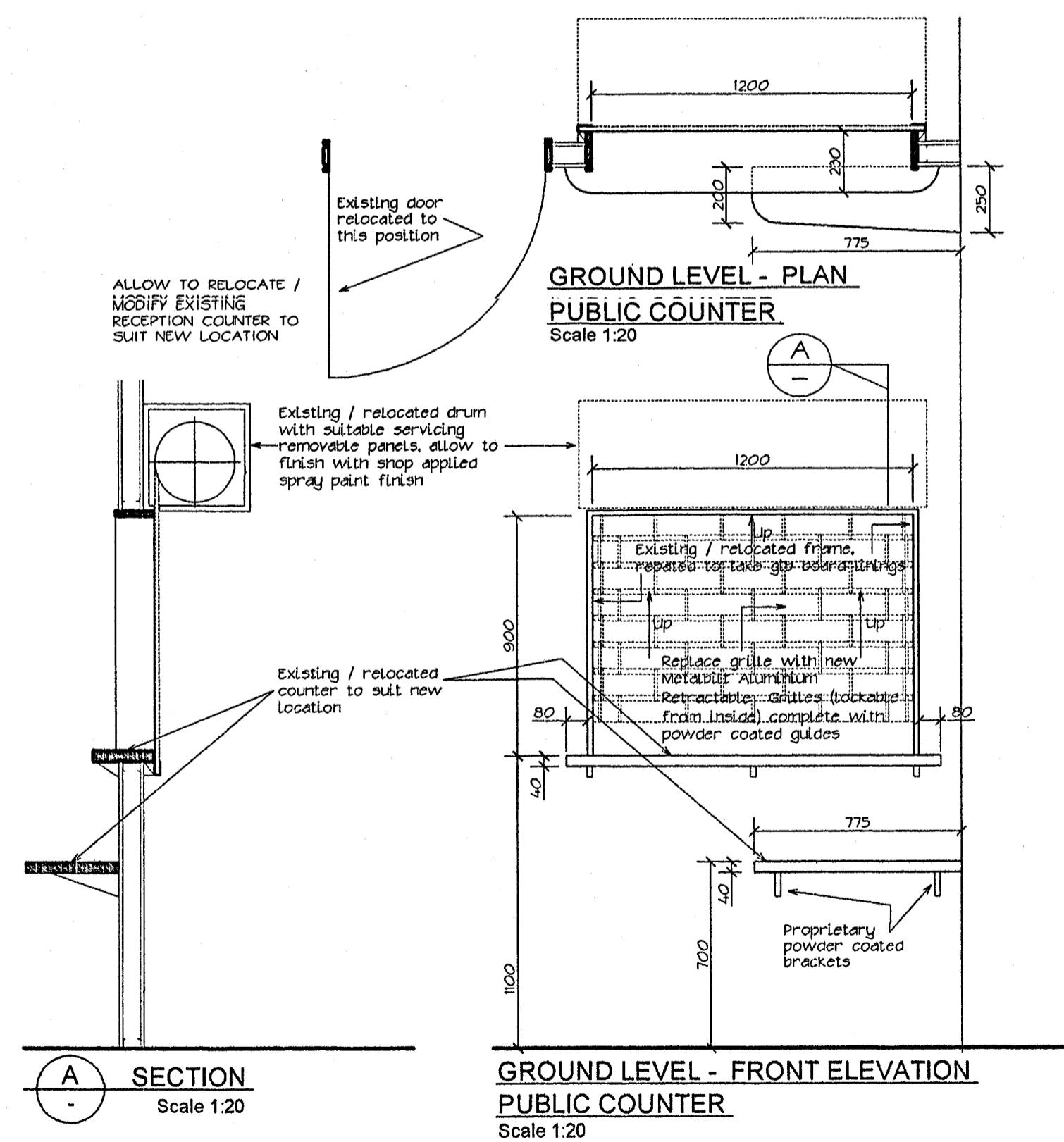
BC070903

**HARDWARE:**

**Door DG-01**  
LG 990 C57 SC Latch  
LG Neptune 503 Ext plain frm (SCP)  
LG Neptune 512 Int plain frm (SCP)  
Devon 208 door stop w/ Dynabolt (SC)

**Door DG-02**  
Devon 273 Hat and Coat hooks (SC)  
LG 990 C57 SC Latch  
LG Neptune 503 Ext plain frm (SCP)  
LG Neptune 512 Int plain frm (SCP)  
Devon 208 door stop w/ Dynabolt (SC)  
RP10 1m Acoustic seal silver  
RP8 820mm Automatic seal silver

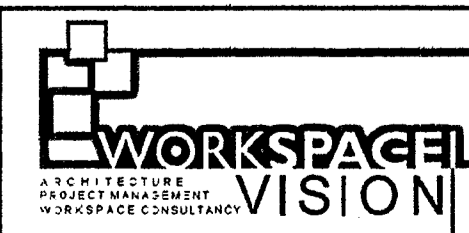
**Door DG-04**  
LCM 524 SG LCN door closer  
LG Neptune 512 Int plain furn (SCP)  
M/key on existing fisheries system  
MC 10 Hinge bolt  
Electronic hardware by others  
LG Neptune502 Ext cyl hole frm (SC)  
Devon 208 door stop w/ Dynabolt (SC)



**GROUND LEVEL - PLAN  
PUBLIC COUNTER**  
Scale 1:20

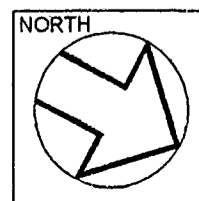
**SECTION**  
Scale 1:20

**GROUND LEVEL - FRONT ELEVATION  
PUBLIC COUNTER**  
Scale 1:20



REGISTERED ARCHITECTS ANZIA  
Ground Floor, Exchange Place  
5-7 Willeston Street, P.O.Box 24431  
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www.workspacevision.co.nz

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PROJECT  
**MINOR TENANCY  
ALTERATIONS FOR  
THE MINISTRY OF FISHERIES**

ADDRESS  
40 BOUVERIE STREET  
PETONE

SHEET TITLE  
**FINISHES / DOOR  
SCHEDULE, ELEVATIONS  
& DETAILS**

SCALE 1: 100, 1: 50 & 1: 20 @ A2

XREF 1518YLOG

The contractor shall verify all dimensions on site. Any discrepancy to this drawing must be referred to the Architect for clarification prior to manufacture of construction.

DATE 09 / 07 / 2007

COMPUTER REF. No. 1518EL03

C.Code, DWG No. L - 03 Rev. 1

07 April 2010

Contact: JL Symons  
Group/Division: Environmental Consents  
Telephone: 570 6910  
Facsimile: 04 570 6855  
E.Mail: jeff.symons@huttcity.govt.nz  
Our Reference: BC090882

V R Consultants Ltd  
Po Box 3510  
Wellington

Dear Madam / Sir

**BUILDING CONSENT BC090882 - 40 BOUVERIE STREET PETONE 5012**

Please find enclosed the Territorial Authority's Code Compliance Certificate concerning the above Building Consent.

There is a considerable emphasis on obtaining a Code Compliance Certificate under the Building Act 2004, which also places significant value on this certificate. Please ensure this is filed in a safe, retrievable archive, available for future reference.

Should you need to make a future enquiry, regarding this application, please quote the Building Consent number.

Yours faithfully



JL Symons  
**SENIOR BUILDING INSPECTION OFFICER**



# Code Compliance Certificate

Section 95, Building Act 2004

The Building	
Street address of building: <b>40 Bouverie Street Petone Lower Hutt 5012</b>	Legal description of land where building is located: <b>LOT 2 DP 87775</b>
Building name:	Location of building within site/block number:
Level/unit number:	Current, lawfully established, use:
Year first constructed:	
The Owner	
Name of owner: <b>McCombie Gieck Family Trust No 2 Nominees Limited</b>	Contact person:
Mailing address: <b>McCombie Gieck Family Trust No 2 Nominees Limited PO Box 30626 LOWER HUTT 5040</b>	Email address:
	Website:
Building Work	
<b>BC090882</b>	<i>Warehouse - New offices / warehouse</i>
Council Contact	
First point of contact for communications with the Council: <i>Building Inspections Manager, Phone 570 6666, Private Bag 31912 Lower Hutt.</i>	

## Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that —

- (a) the building work complies with the building consent; and
- (b) the specified systems in the building are capable of performing to the performance standards set out in the building consent.

Issued by Hutt City Council  
30 Laings Road Lower Hutt



Senior Building Inspections Officer, on behalf of Hutt City Council

Date: 07 April 2010

# DEKE CONSULTING LTD

BC090882

Residential Civil and Structural Design

68 Northland Rd, Wellington. Ph (04) 976 7889 Fax (04) 976 7886. e-mail malcolm.thomson@clear.net.nz

Job Title:	Humes Workshop	Page:	1
Designer:	Aartra Design	Job #:	90911
Owner:	Humes	Date:	8/09/2009
Job Address:	40 Bouverie St, Petone, Lower Hutt	By:	M Thomson
		Chkd:	

The proposed steel frame workshop superstructure has been designed by GD Design Ltd, with the foundation to be designed by this office.

GD Design have provided advice of design reactions to base of columns:

R* 1.2G and 1.5Q	42	kN
V* 1.2G and 1.5Q	35	kN
R* 0.9G and Wu	21.4	kN
Side R* 1.2G and 1.5Q	12	kN

## Site Assessment

The site has been used for industrial purposes for a number of years and the footprint of the proposed building is located over an existing concrete slab.

Sub-soil testing to establish the degree of contamination have been carried out at various locations over the whole Lot with the tests nearest the proposed building finding upto 1m of fill (gravel and sand) overlying natural silt/sand. Deke Consulting have been advised that boring through the fill layer was extremely difficult due to its degree of compaction, with jack hammers and water blasters being required.

Deke Consulting attempted scala penetrometer tests at 6 locations around the perimeter of the existing slab, which all meet refusal within 100mm of surface.

The existing slab is in good order with no apparent evidence of settlement.

Because of contamination of the site, it is in the best interests of all to minimise the excavation and removal of material to construct the building.

Given the following factors:

- 1 The extreme degree of compaction of the 1m fill layer as found by earlier and Deke Consulting testing,
- 2 The good condition of the existing slab,
- 3 The light permanent loads from the structure 8kN per leg
- 4 The comparatively light transient loads 24kN per leg
- 5 The potential detrimental environmental effects of excavating a contaminated site

I consider that constructing the proposed slab and foundations over the existing slab without excavation to be suitable.

## Slab and Foundation Design

The proposed loads to the slab are heavy truck axle loads.

From CCANZ Concrete Ground Floors and Pavements Design guide for industrial warehouse on good soil base. 150mm thick slab with 25MPa concrete.

Use Ultimate bearing capacity of 300kPa with allowable bearing capacity of 100kPa

Area of footing required =  $24\text{kN}/100\text{kPa} = 0.24\text{m}^2$  use 500mm<sup>2</sup> footing.

Check uplift 21kN	New concrete slab @ 150mm	3.6kPa
	Existing concrete slab @ 100mm	2.4kPa
	Cladding/internal walls/columns	4.5kN



Floor area reqd = 3.1 m<sup>2</sup>

# DEKE CONSULTING LTD

BC090882

Residential Civil and Structural Design

68 Northland Rd, Wellington. Ph (04) 976 7889 Fax (04) 976 7886. e-mail malcolm.thomson@clear.net.nz

Job Title:	Humes Workshop	Page:	2
Designer:	Aatra Design	Job #:	90911
Owner:	Humes	Date:	8/09/2009
Job Address:	40 Bouverie St, Petone, Lower Hutt	By:	M Thomson
		Chkd:	

$$0.9G = (4.5 + 3.1 \times (2.4 + 3.6)) \times 0.9$$
$$= 21\text{kN} \quad \text{OK}$$

Slab contribution area to be 1.5m each way from post footings gives area of 4.5m<sup>2</sup> OK

New footing to be tied to slab under with drilled and expoxied D12 bars.

Slab to be tied across structure with tie beams

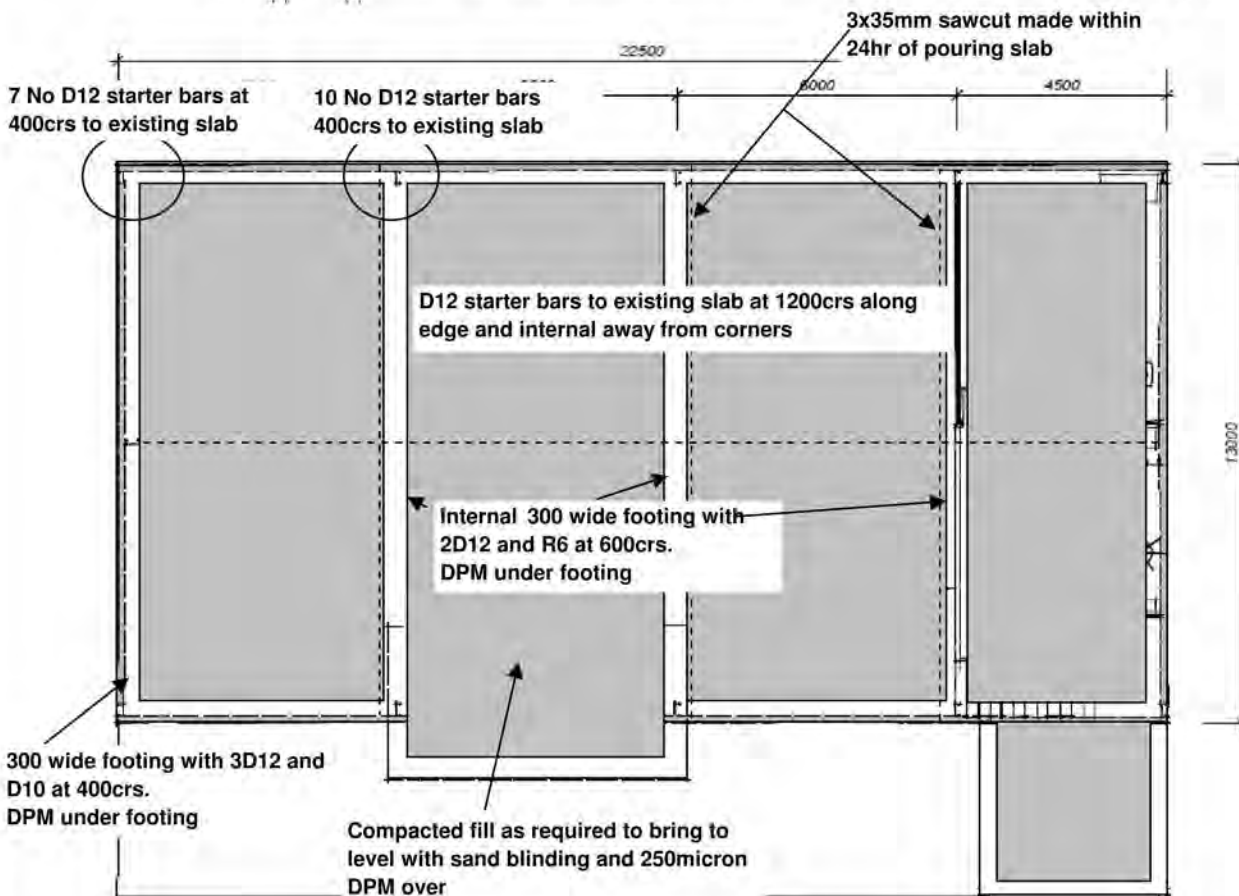
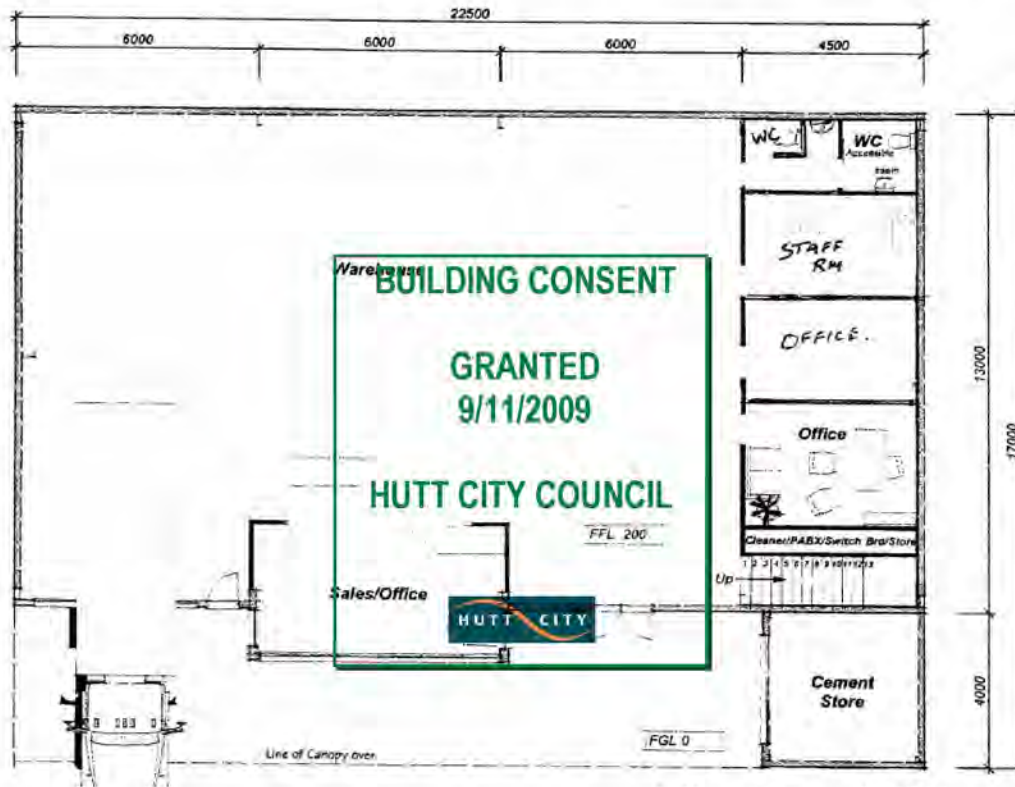
# DEKE CONSULTING LTD

BC090882

Residential Civil and Structural Design

68 Northland Rd, Wellington. Ph (04) 976 7889 Fax (04) 976 7886. e-mail malcolm.thomson@clear.net.nz

Job Title:	<b>Humes Workshop</b>	Page:	<b>3</b>
Designer:	<b>Aarra Design</b>	Job #:	<b>90911</b>
Owner:	<b>Humes</b>	Date:	<b>8/09/2009</b>
Job Address:	<b>40 Bouverie St, Petone, Lower Hutt</b>	By:	<b>M Thomson</b>
		Chkd:	



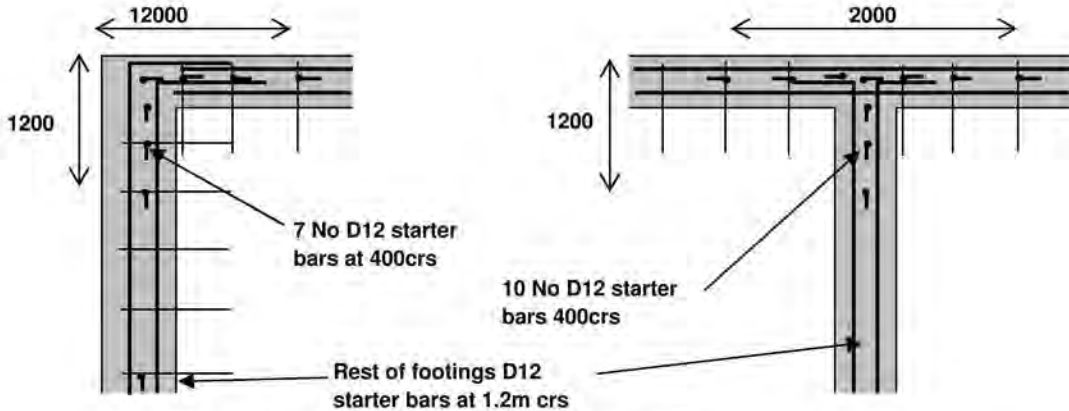
# DEKE CONSULTING LTD

BC090882

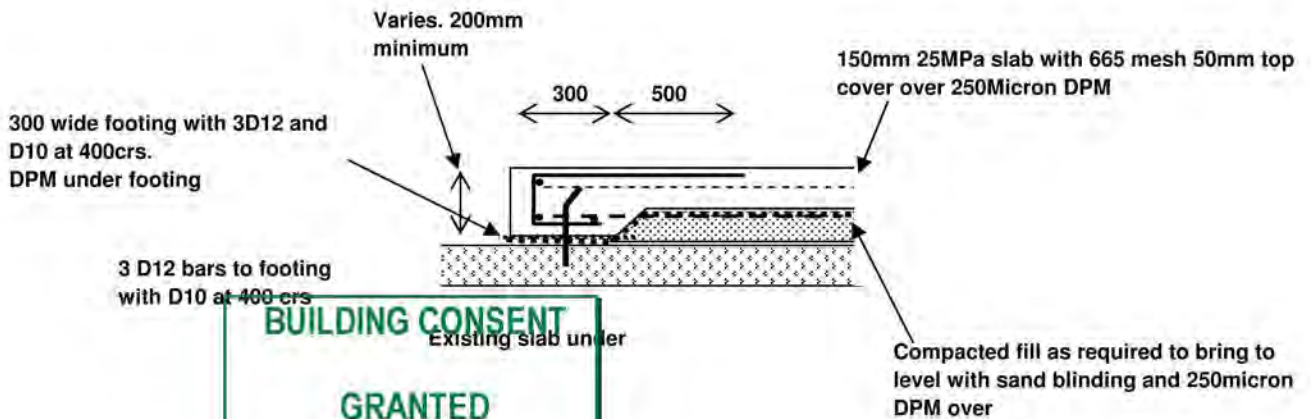
Residential Civil and Structural Design

68 Northland Rd, Wellington. Ph (04) 976 7889 Fax (04) 976 7886. e-mail malcolm.thomson@clear.net.nz

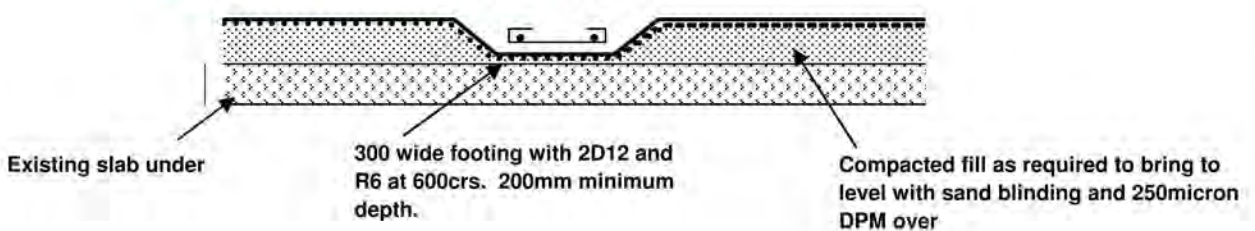
Job Title:	<b>Humes Workshop</b>	Page:	<b>4</b>
Designer:	<b>Aarra Design</b>	Job #:	<b>90911</b>
Owner:	<b>Humes</b>	Date:	<b>8/09/2009</b>
Job Address:	<b>40 Bouverie St, Petone, Lower Hutt</b>	By:	<b>M Thomson</b>
		Chkd:	



Starter bars D12 500mm long drilled and fixed 100mm into existing slab with SikaAnchorfix



Internal Rib



Job Title:	Humes Workshop	Page:	5
Designer:	Aatra Design	Job #:	90911
Owner:	Humes	Date:	8/09/2009
Job Address:	40 Bouverie St, Petone, Lower Hutt	By:	M Thomson
		Chkd:	

## Slab Specification

- 1 The existing slab shall be swept clean.
- 2 Compacted fill shall be clean angular granular material placed in layers not exceeding 150mm thick and compacted with not less than 4 passes of a vibrating roller.
- 3 Underlay membrane shall be 0.25mm thick DPM laid over the levelled and compacted sub-base. Any damage to membrane shall be repaired.
- 4 Reinforcement shall be clean and free from loose rust and scale and fixed securely in place using suitable supports.
- 5 Concrete to slab and footing to be 25MPa with a max aggregate size of 19mm supplied from a concrete production plant complying with NZS3104.
- 6 Concrete shall not be placed when heat, wind, rain, low humidity will prevent satisfactory placement, finishing and curing of the slab.
- 7 Concrete shall be placed in a continuous and systematic manner to avoid the formation of cold joints and inconsistent finishing.
- 8 Concrete shall be thoroughly compacted with mechanical vibration.
- 9 The wet concrete shall be finished and levelled to the standard agreed with the client.
- 10 The slab shall be floated and given two passes with a power trowel. Timing of floating and power trowelling shall be controlled by an experienced concrete placer to give a dense, smooth, hard surface.
- 11 Curing of the slab shall commence immediately on completion of power trowelling and continue for 7 days. Curing may be either by ponding or an approved spray on membrane.
- 12 The slab shall be cut within 24 hrs of pouring the slab.

## Inspection Schedule

Deke Consulting has been engaged to provide CM2 construction review with a view to providing a PS4 on satisfactory completion of the works.

To do so the following inspection are to be made. The Contractor is to arrange inspections and give Deke Consulting 48 hours notice of inspections.

- 1 Following sweeping and setout of slab
- 2 Pre-pour of slab
- 3 Pre-line of structure (more than one inspection maybe required depending on staging of construction)



C1 - DENOTES C30030 (BASE CLEATS EACH SIDE OF COLUMN)

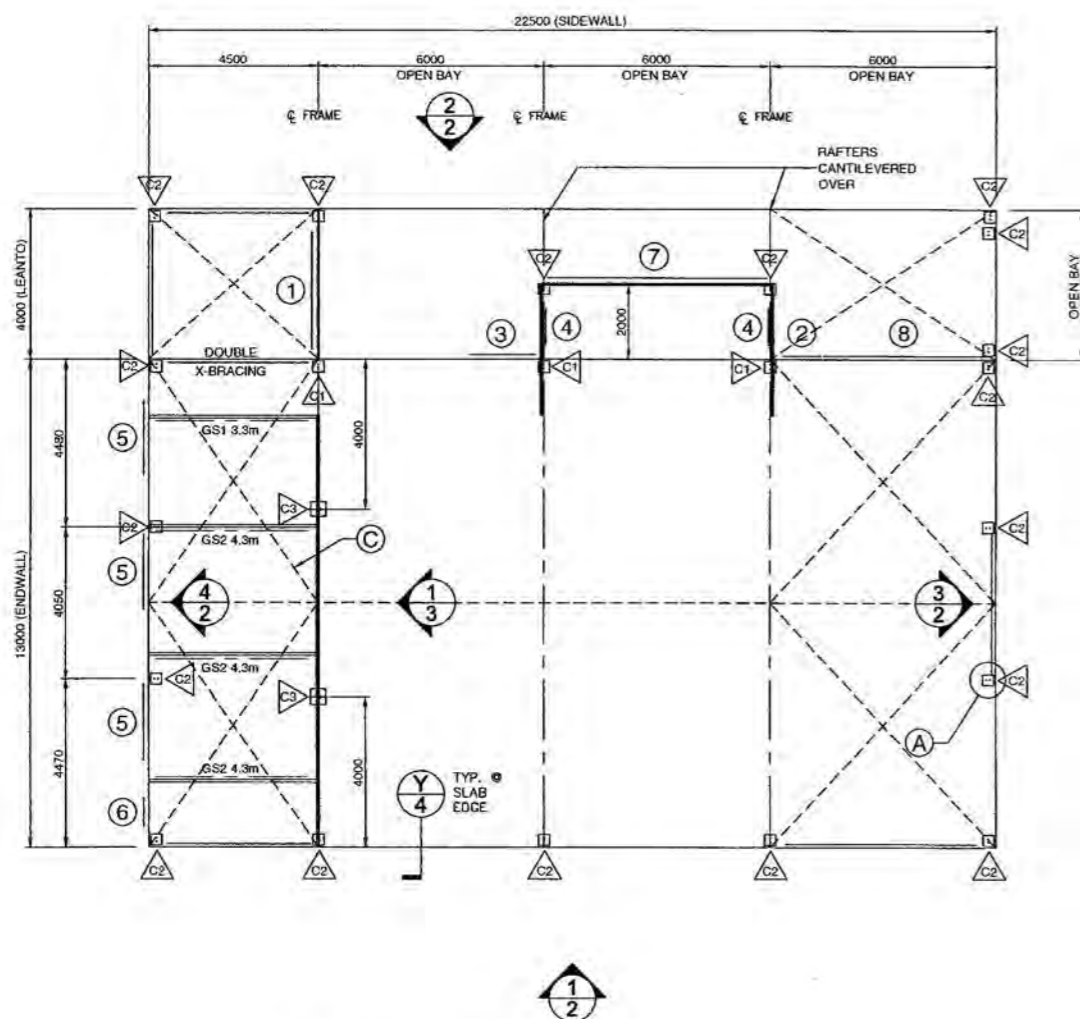
C2 - DENOTES C30024

C3 - DENOTES 90x90 SHS POST

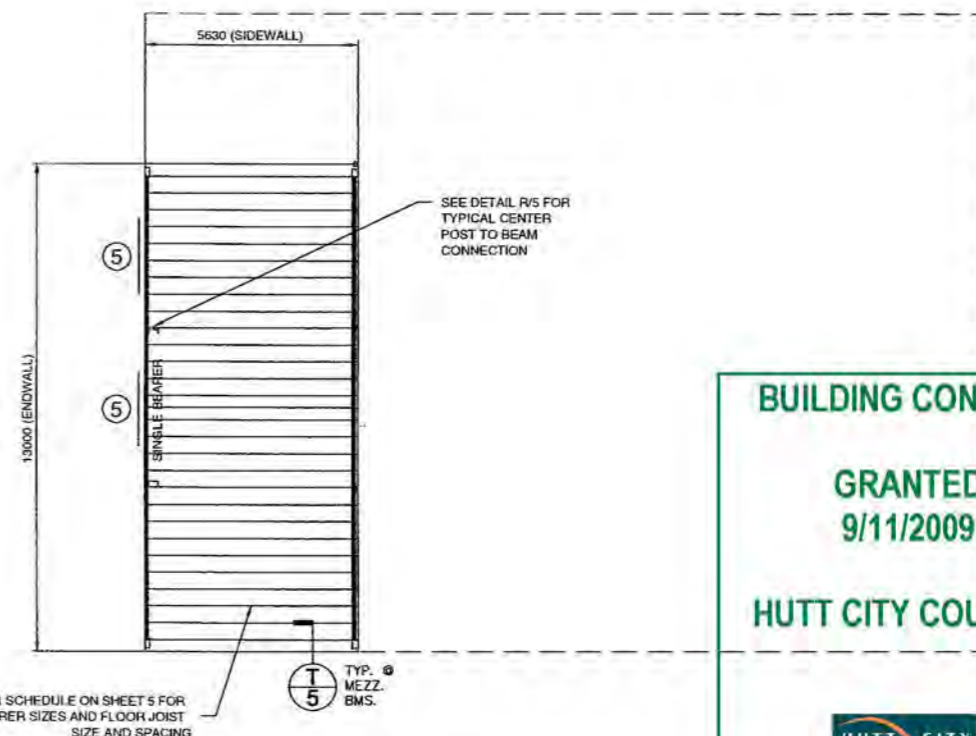
NOTE: STAIR DESIGN, MATERIALS, AND INSTALLATION TO BE IN ACCORDANCE WITH THE BUILDING CODE OF NEW ZEALAND. SEE HI-TECH STANDARD STAIR DETAILS.

DESIGN, MATERIALS, AND INSTALLATION OF ALL GUARDRAILS OR WALLS AT EXPOSED EDGES OF MEZZANINE FLOOR TO BE PROVIDED BY OTHERS.

NOTE: PARTICLE BOARD AT MEZZANINE FLOOR, ATTACH TO STEEL FRAMING WITH SCREWS @ 150 c/c AT PANEL EDGES, 300 c/c IN FIELD. FLOORING TO BE GLUED TO JOISTS USING CONSTRUCTION ADHESIVE.



1 FOUNDATION PLAN  
SCALE: 1 = 200



SEE MEMBER SCHEDULE ON SHEET 5 FOR FLOOR BEARER SIZES AND FLOOR JOIST SIZE AND SPACING

2 MEZZANINE FLOOR FRAMING PLAN  
SCALE: 1 = 200 DESIGN LIVE LOAD: 3 kPa



REVISION A - 19 / 08 / 2009

REVISED OPENING LOCATIONS AS PER STEEL FRAME CONCEPTS

OF	1	SHEET
9		
JOB NO.	DATE	CHECKED
ZSFC 10725	19/08/2009	JM
DRAWN		
FDHS		

STEEL BUILDING BY  
**STEEL FRAME CONCEPTS**  
04 939 0208  
FOR  
**V&R CONSULTANTS HUMES**  
AT  
BOUVERIE STREET  
LOWER HUTT

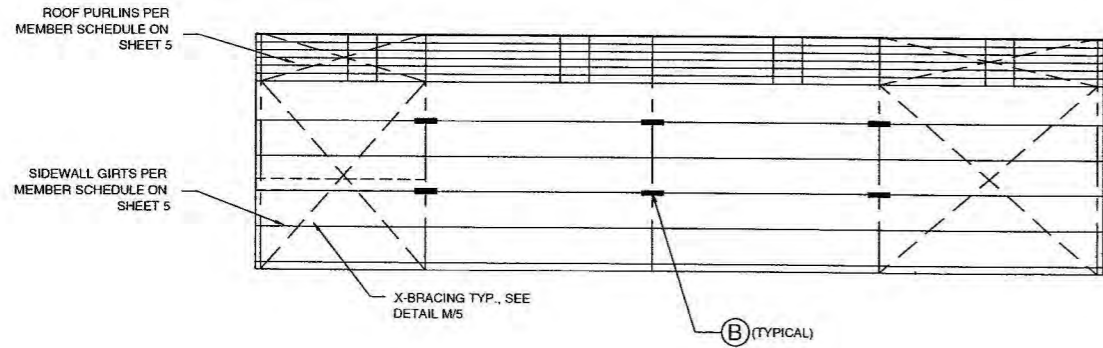


**DESIGN**  
GD Design Ltd  
Consulting Structural Engineer  
J.C. Macredie CP/Eng (Civil Structural) PDip (Fire)  
PA. 0274221111 FAX. 0274221111

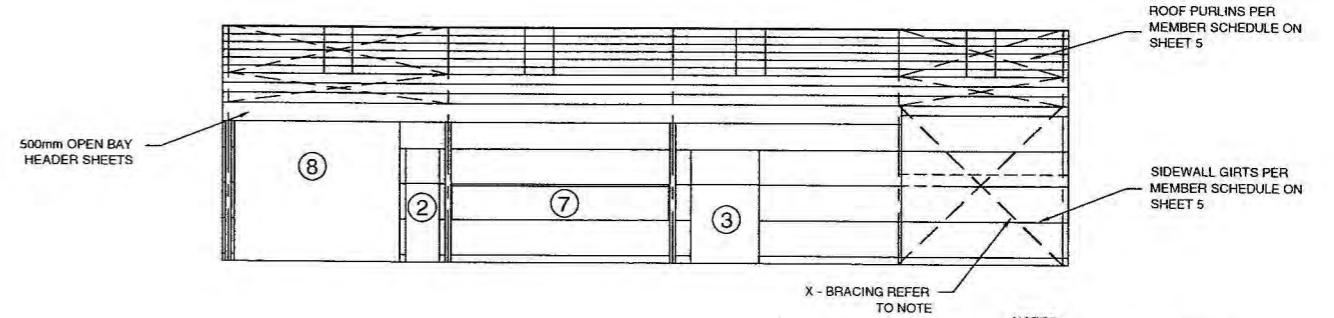
ENGINEER: J.C. Macredie  
IPENZ No. 160766  
Signature: J.C. Macredie Date: 21.8.09

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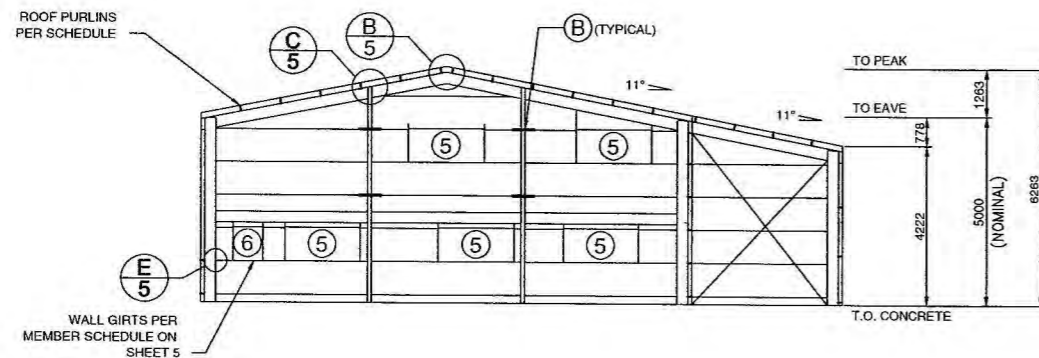


1 SIDEWALL EXTERIOR ELEVATION  
2 SCALE: 1 = 200

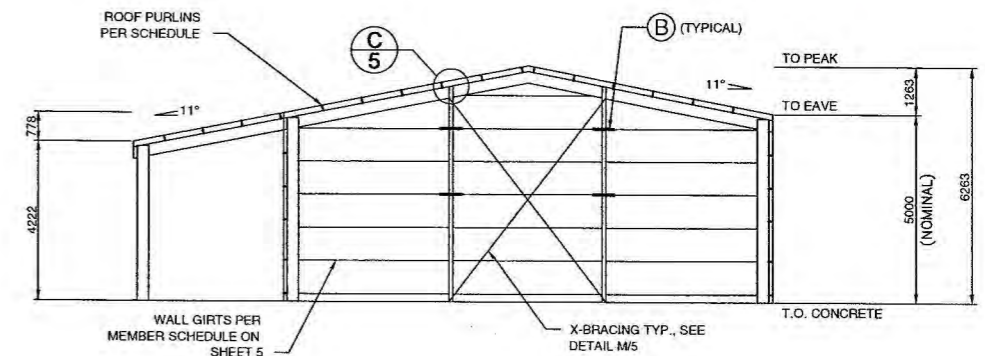


2 SIDEWALL EXTERIOR ELEVATION  
2 SCALE: 1 = 200

NOTES:  
- FOR INTERIOR WALL LEANTO USE DOUBLE STRAP BRACING.  
- FOR EXTERIOR WALL LEANTO USE SINGLE STRAP BRACING



4 ENDWALL INTERIOR ELEVATION  
2 SCALE: 1 = 200



3 ENDWALL INTERIOR ELEVATION  
2 SCALE: 1 = 200

BRACING Level 2. Bracing Strap (Per Roll) 50 x .95 30m length diagonally in 50% of all wall bays under eaves. One roof bay each side, one gable end bay and every 2nd bay in length.

SHEET	JOB NO.	DATE	CHECKED	DRAWN	STEEL BUILDING BY
					FOR
2	ZSFC 10725	19/08/2009	JM	FDHS	AT
6					

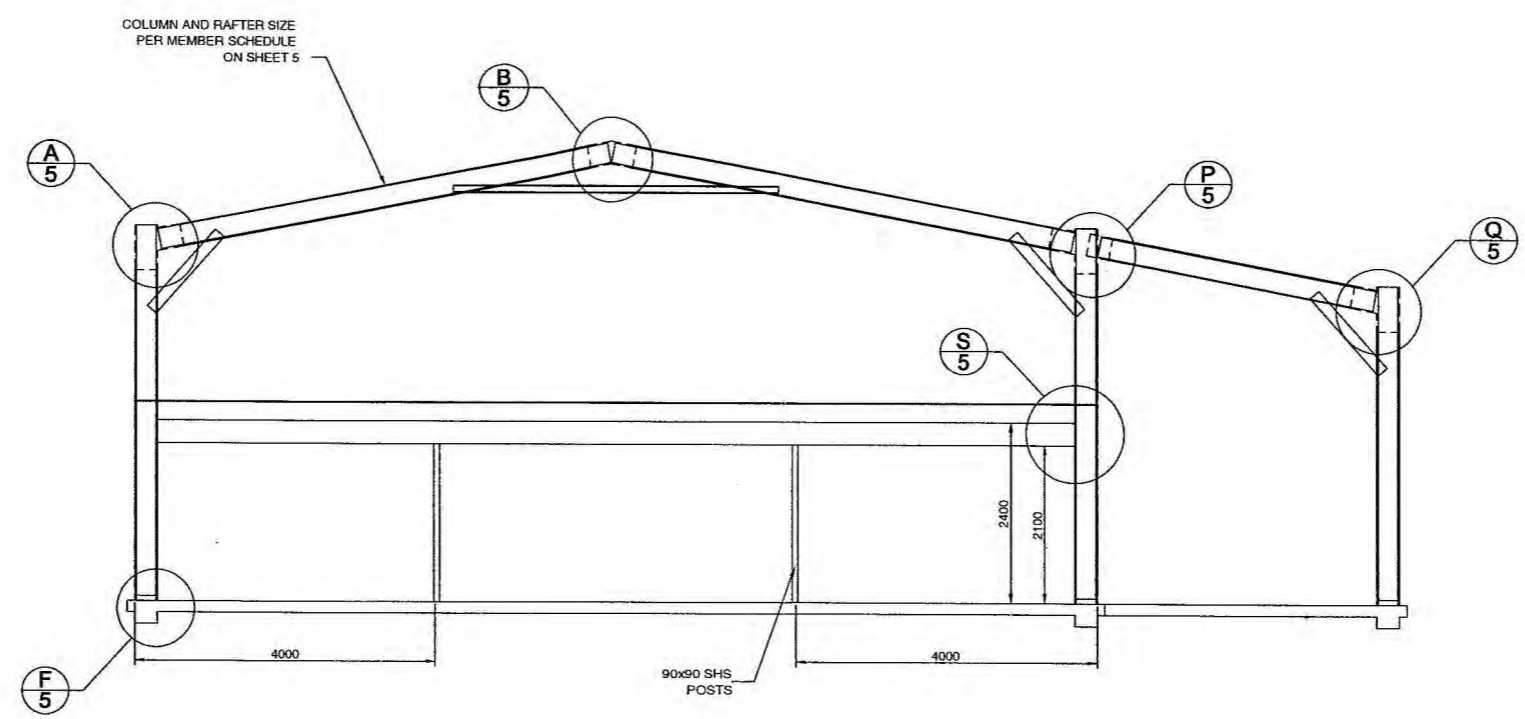
STEEL FRAME CONCEPTS  
04 939 0208  
V&R CONSULTANTS HUMES  
BOUVERIE STREET  
LOWER HUTT



DESIGN  
GD Design Ltd  
Consulting Structural Engineer  
J.C. Macredie CP Eng (Civil Structural) P Dip (Fire)

ENGINEER: J.C. Macredie  
IPENZ No: 160766  
Signature: J. Macredie Date: 21.8.09

BC090862



1 INTERNAL FRAME SECTION  
3 SCALE: 1 = 100

(Refer to Sheet #4 for concrete specification).

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**GRANTED**  
**9/11/2009**  
**HUTT CITY COUNCIL**



OF 3 6	SHEET	3
	JOB NO.	ZSFC-10725
DATE	19/08/2009	
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DRAWN	FDHS	

STEEL BUILDING BY  
**STEEL FRAME CONCEPTS**  
04 939 0208  
FOR  
**V&R CONSULTANTS HUMES**  
AT  
BOUVERIE STREET  
LOWER HUTT



**CD DESIGN**  
CD Design Ltd  
Consulting Structural Engineer  
J.C. Macrae CP Eng (Civil Structural) PDip (Fire)

ENGINEER: J.C. Macrae  
IPENZ No: 160766  
Signature: J.C. Macrae Date: 21.8.09

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**STRUCTURAL GENERAL NOTES**

- GOVERNING CODE:** NEW ZEALAND BUILDING CODE 2004, APPROVED DOCUMENT B1 STRUCTURE, LOADING TO AS/NZS1170 - ALL SECTIONS.
- DRAWING OWNERSHIP:** THESE DRAWINGS REMAIN THE PROPERTY OF DELCON HOLDINGS (NO11) LIMITED. ENGINEERING SIGNATURE AND CERTIFICATION IS ONLY VALID WHEN BUILDING IS SUPPLIED BY A DISTRIBUTOR OF DELCON HOLDINGS. DRAWINGS ARE PROVIDED FOR THE DUAL PURPOSE OF OBTAINING BUILDING PERMITS AND AIDING CONSTRUCTION. ANY OTHER USE OR REPRODUCTION IS PROHIBITED WITHOUT WRITTEN APPROVAL FROM DELCON BUILDINGS.
- DRAWING SIGNATURE REQUIREMENTS:** THESE DRAWINGS ARE NOT VALID UNLESS SIGNED BY THE ENGINEER. THE ENGINEER ACCEPTS NO LIABILITY OR RESPONSIBILITY FOR DRAWINGS WITHOUT A SIGNATURE. EACH TITLE BLOCK CONTAINS A WATER MARK UNDER THE CUSTOMERS NAME CONTAINING THE DATE OF PRODUCTION OF THE DRAWINGS; THE DRAWINGS ARE TO BE SUBMITTED TO COUNCIL WITHIN 21 DAYS OF THIS DATE. THIS IS TO ENSURE THAT ONLY CURRENT DRAWINGS ARE IN CIRCULATION.
- CONTRACTOR RESPONSIBILITIES:** CONTRACTOR SHALL VERIFY AND CONFIRM ALL EXISTING CONDITIONS AND DIMENSIONS. ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS PRIOR TO START OF WORK. CONTRACTOR MUST NOT MAKE ANY DEVIATION FROM THE PROVIDED PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM ONE THE UNDERSIGNING ENGINEERS. THE ENGINEER / DELCON HOLDINGS TAKE NO RESPONSIBILITY FOR CHANGES MADE WITHOUT WRITTEN APPROVAL. CONTRACTOR IS RESPONSIBLE FOR ENSURING NO PART OF THE STRUCTURE BECOMES OVERSTRESSED DURING CONSTRUCTION. BUILDING IS NOT STRUCTURALLY ADEQUATE UNTIL THE INSTALLATION OF ALL COMPONENTS AND DETAILS SHOWN IS COMPLETED IN ACCORDANCE WITH THESE DRAWINGS. THE INDICATED DRAWING SCALES ARE APPROXIMATE. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES. FOR FURTHER DIRECTIONS ON CONSTRUCTION THE CONTRACTOR SHOULD CONSULT THE APPROPRIATE INSTRUCTION MANUAL.
- ENGINEERING:** THE ENGINEER / DELCON HOLDINGS ARE NOT ACTING AS PROJECT MANAGERS FOR THIS DEVELOPMENT, AND WILL NOT BE PRESENT DURING CONSTRUCTION. THE UNDERSIGNING ENGINEERS HAVE REVIEWED THIS BUILDING FOR CONFORMITY ONLY TO THE STRUCTURAL DESIGN PORTIONS OF THE GOVERNING CODE. THE PROJECT MANAGER IS RESPONSIBLE FOR ADDRESSING ANY OTHER CODE REQUIREMENTS APPLICABLE TO THIS DEVELOPMENT. THESE DOCUMENTS ARE STAMPED ONLY AS TO THE COMPONENTS SUPPLIED BY DELCON HOLDINGS. IT IS THE RESPONSIBILITY OF THE PURCHASER TO COORDINATE DRAWINGS PROVIDED BY DELCON HOLDINGS WITH OTHER PLANS AND/OR OTHER COMPONENTS THAT ARE PART OF THE OVERALL PROJECT. IN CASES OF DISCREPANCIES, THE LATEST DRAWINGS PROVIDED BY DELCON HOLDINGS SHALL GOVERN.
- INSPECTIONS:** NO SPECIAL INSPECTIONS ARE REQUIRED BY THE GOVERNING CODE ON THIS JOB. ANY OTHER INSPECTIONS REQUESTED BY THE LOCAL BUILDING DEPARTMENT SHALL BE CONDUCTED AT THE OWNER'S EXPENSE.
- SOIL REQUIREMENTS:** SOIL SAFE BEARING CAPACITY VALUE INDICATED ON DRAWING SHEET 4 OCCURS AT 100mm BELOW FINISH GRADE, EXISTING NATURAL GRADE, OR AT FROST DEPTH SPECIFIED BY LOCAL BUILDING DEPARTMENT, WHICHEVER IS THE LOWEST ELEVATION REGARDLESS OF DETAIL Y ON SHEET 4 THE MINIMUM FOUNDATION DEPTH SHOULD BE 100MM INTO NATURAL GROUND OR BELOW FROST DEPTH SPECIFIED BY LOCAL COUNCIL. ROLLED OR COMPACTED FILL MAY BE USED UNDER SLAB, COMPACTED IN 150mm LAYERS TO A MAXIMUM DEPTH OF 900mm. CONCRETE FOUNDATION EMBEDMENT DEPTHS DO NOT APPLY TO LOCATIONS WHERE ANY UNCOMPACTED FILL OR DISTURBED GROUND EXISTS OR WHERE WALLS OF THE EXCAVATION WILL NOT STAND WITHOUT SUPPLEMENTAL SUPPORT, IN THIS CASE SEEK FURTHER ENGINEERING ADVICE. OTHER SITE CONDITIONS INCLUDING THOSE SUBJECT TO HIGH GROUND MOVEMENT DUE TO MOISTURE CHANGES, TO BE REFERRED TO A REGISTERED STRUCTURAL ENGINEER.
- CONCRETE REQUIREMENTS:** ALL CONCRETE DETAILS AND PLACEMENT SHALL BE PERFORMED IN ACCORDANCE WITH NZS3101.1&2. CONCRETE SHALL HAVE A MIN. 28-DAY STRENGTH OF 20MPa FOR EXPOSURE A1 & B1, 25MPa FOR EXPOSURE A2 & B2 AND 32MPa FOR EXPOSURE C. CEMENT TO BE TYPE A. MAX AGGREGATE SIZE OF 20mm. SLUMP TO BE 80mm +/-15mm. SLABS TO BE CURED FOR 7DAYS BY WATERING OR COVERING WITH A PLASTIC MEMBRANE, AFTER WHICH CONSTRUCTION CAN BEGIN. DUE CARE GIVEN NOT TO OVER-TIGHTEN HOLD DOWN BOLTS. GIVEN ALLOWABLE SOIL TYPES 1 LAYER OF D147 REINFORCING MESH IS TO BE INSTALLED ON STANDARD SLABS WITH A MINIMUM 30MM COVER FROM CONCRETE SURFACE. ALL REINFORCING COVER TO BE A MINIMUM OF 30mm.
- STRUCTURAL STEEL REQUIREMENTS:** ALL STRUCTURAL STEEL, INCLUDING SHEETING THOUGH EXCLUDING CONCRETE REINFORCING, SHALL CONFORM TO AS 1397 (GAUGE <= 1mm fy = 550MPa, GAUGE > 1mm < 1.5mm fy = 500MPa, GAUGE >= 1.5mm fy = 450MPa). NO WELDING IS TO BE PERFORMED ON THIS BUILDING. ALL STRUCTURAL MEMBERS AND CONNECTIONS DESIGNED TO NZ4600. ALL BOLT HOLE DIAMETERS TO METALCRAFT GENERAL PUNCHINGS.

NOTE: THESE PLANS ARE NOT VALID WITHOUT CERTIFIED, JOB SPECIFIC PRODUCER STATEMENT BY AN (IPENZ) CIVIL ENGINEER.

**PROJECT DESIGN CRITERIA**

ROOF LIVE LOAD: 0.25 kPa  
 WIND REGION: 9m/s  
 TOPOGRAPH FACTOR,  $k_t$ : 1  
 SHIELDING FACTOR,  $k_s$ : 1  
 TERRAIN CATEGORY: Open Terrain  
 SOIL SAFE BEARING CAPACITY: 100 kPa

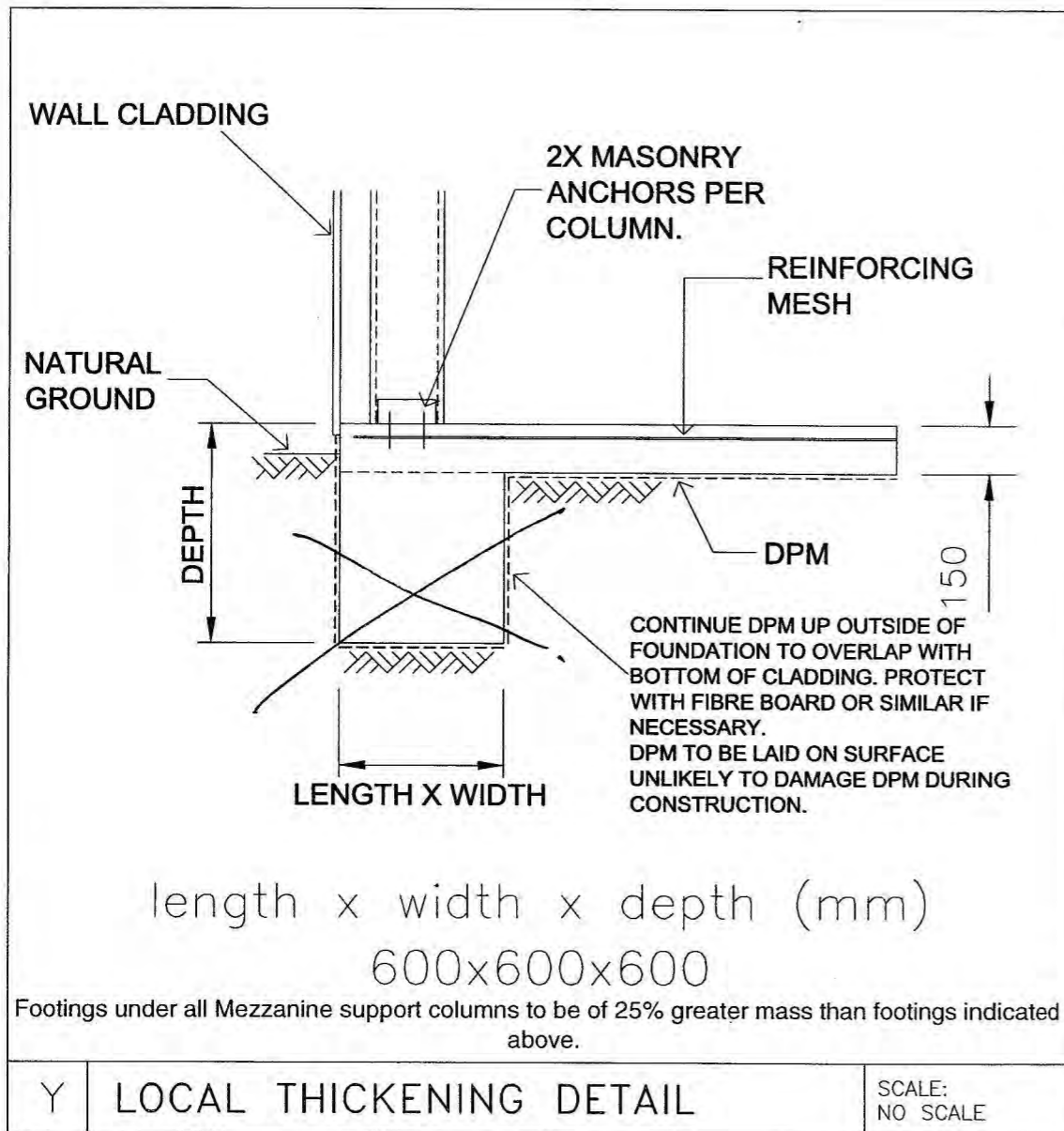
**DETAIL KEYS**

- (A) ENDWALL VERTICAL MULLION (SEE DETAIL C/5 FOR TOP CONN. AND F/5 FOR BASE CONN.)
- (B) FLYBRACING PER DETAIL L/5
- (C) X-BRACING IN ROOF ABOVE (SEE DETAIL M/5)

**DOOR SCHEDULE**

DOOR	WIDTH	HEIGHT	OPENING TYPE	HEADER GIRT	OPENING JAMBS
①	3100	3500	5.50H X 3.00 DLO C/B B SERIES DOOR	SINGLE	
②	900	2100	PA DOOR	SINGLE	
③	1800	2100	DOUBLE PA DOOR	SINGLE	
④	1000	900	WINDOW	SINGLE	
⑤	2000	900	WINDOW	SINGLE	
⑥	800	900	WINDOW	SINGLE	
⑦	5800	900	WINDOW	SINGLE	

NOTES:  
 1) SEE SHEET 5 FOR DOOR OPENING FRAMING INFORMATION.  
 2) ALL DOOR SCHEDULE MEASUREMENTS ARE ACTUAL DOOR/WINDOW SIZE NOT OPENING SIZE.  
 3) ALL OPENING SIZES TO BE VERIFIED ON SITE



*Foundation - refer to DEKR CONSULTANTS LTD INFORMATION*

**BUILDING CONSENT**  
 GRANTED  
 9/11/2009  
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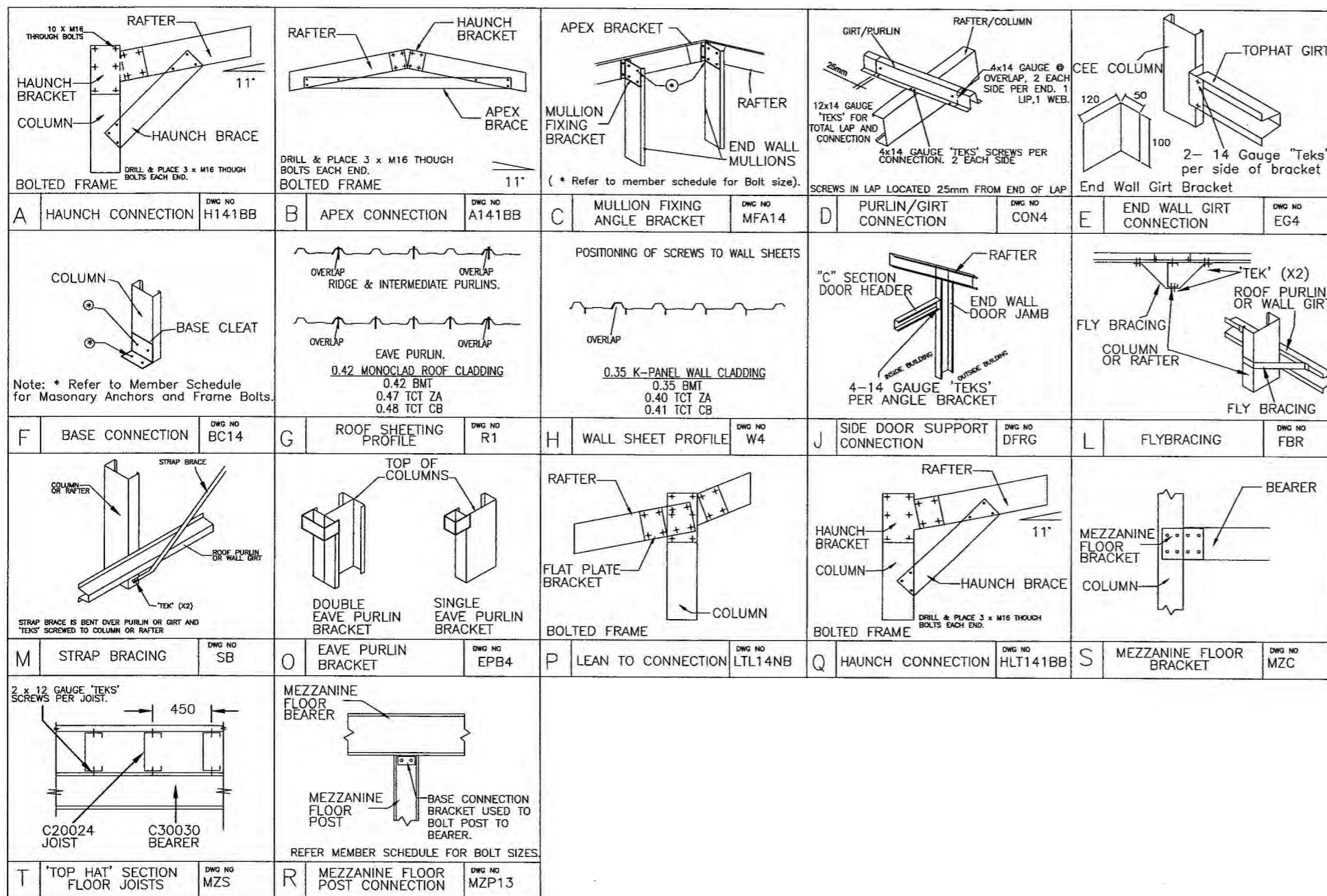
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6	CHECKED	JM
	DRAWN	FDHS
	STEEL BUILDING BY	STEEL FRAME CONCEPTS
	FOR	V&R CONSULTANTS HUMES
	AT	BOUVERIE STREET LOWER HUTT
	JOB NO.	ZSFC 10725
	SHEET	4 OF 6

STEEL BUILDING BY  
**STEEL FRAME CONCEPTS**  
 04 939 0208  
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 AT  
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**GD DESIGN**  
 GD Design Ltd  
 Consulting Structural Engineer  
 J.C. Macredie CP/Eng (Civil Structural) P/Eng (Fire)

ENGINEER: J.C. MACREDIE  
 IPENZ No: 160766  
 Signature: J.C. Macredie  
 Date: 20.8.09  
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MEMBER AND MATERIAL SCHEDULE

1	C.S. FRAME RAFTER	Single C30024
2	C.S. FRAME COLUMN	REFER TO SHEET #1
3	C.S. FRAME KNEE BRACE	Single C25024 @ 1.5m LONG
4	C.S. FRAME APEX BRACE	Single C25024 @ 4.3m LONG
5	LEANTO KNEE BRACE	C25024
6	ENDWALL RAFTERS	C30024
7	ENDWALL COLUMNS	REFER TO SHEET #1
8	LEFT LEANTO RAFTER	C30024
9	ENDWALL VERTICAL MULLIONS	Single C30024
10	ANCHOR BOLTS (# PER DETS.)	C300 High Tensile Sleeve Anchor M16 x 140
11	EAVE PURLIN	C15012
12	TYP. ROOF PURLIN SIZE	Roof Batten 120x1.0
13	MAIN BLDG. PURLIN SPACING	1.08 m.
14	LEFT LEANTO PURLIN SPACING	1.05 m.
15	TYP. SIDEWALL GIRT SIZE	Roof Batten 120x1.0
16	MAIN BLDG. SIDEWALL GIRT SPACING	.94 m.
17	LEFT LEANTO SIDEWALL GIRT SPACING	1.3 m.
18	TYP. ENDWALL GIRT SIZE	Roof Batten 120x1.0
19	MAIN BLDG. ENDWALL GIRT SPACING	.88 m.
20	LEFT LEANTO ENDWALL GIRT SPACING	1.3 m.
21	FRAME SCREW FASTENERS	Heavy Duty Structural Screw 5/16 drive
22	FRAME BOLT FASTENERS	16 x 35mm Bolt Ass High Tensile
23	X-BRACING STRAP AND FASTENERS	Single Bracing Strap Per Roll
24	X-BRACING STRAP AND FASTENERS	REFER TO SHEETS #1 & #2
25	MEZZANINE FLOOR GIRDERS	C30030
26	MEZZANINE FLOOR JOISTS	C20024
27	WALL COLOUR	DESERT SAND
28	ROOF COLOUR	maxx Mirage
29	DOOR COLOUR	maxx Mirage
30	DOWNPIPE COLOUR	maxx Mirage
31	GUTTER COLOUR	maxx Mirage
32	CORNER COLOUR	maxx Mirage
33	BARGE COLOUR	maxx Mirage
34	OPENING FLASHING COLOUR	maxx Mirage
35	OPEN BAY HEADER HEIGHT	NA
36	ADJOINING OPEN BAYS	Adjoining Open Bay Columns Are Back To Back

"C.S." = CLEARSPAN  
 "NA" = NOT APPLICABLE

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5	SHEET
6	OF
ZSFC 10725	JOB NO.
18/08/2009	DATE
JM	CHECKED
FDHS	DRAWN

STEEL BUILDING BY  
**STEEL FRAME CONCEPTS**  
 04 939 0208  
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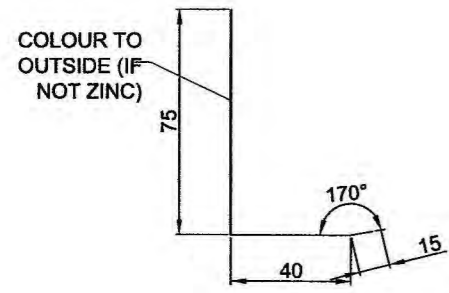


**GD DESIGN**  
 GD Design Ltd  
 Consulting Structural Engineer  
 J.C. MacRae CPEng (Civil Structural) PDP (Eng)  
 No. 123456789

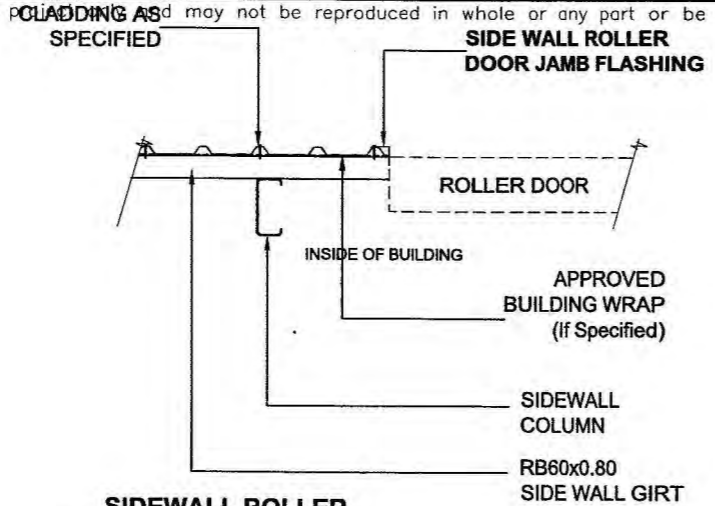
ENGINEER: *J.C. MacRae*  
 IPENZ No: 160766  
 Signature: *J.C. MacRae* Date: 20.8.09  
 Page 265 of 313

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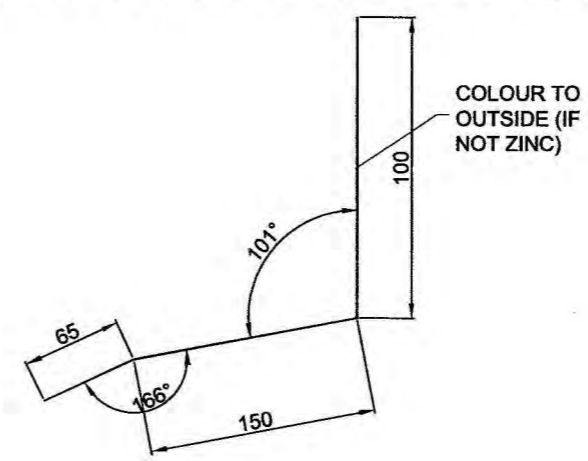
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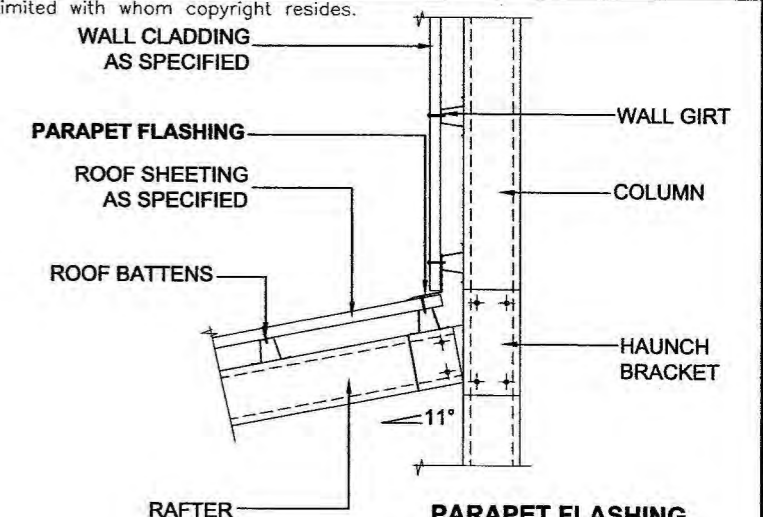
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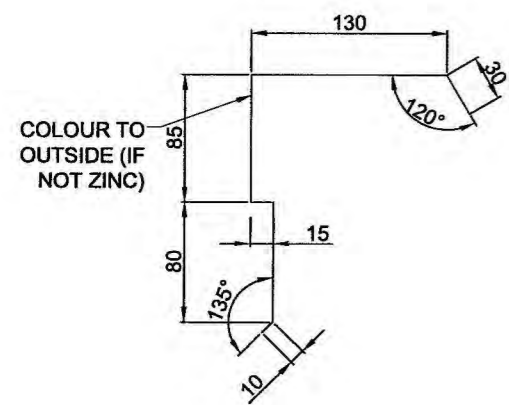
**SIDEWALL ROLLER DOOR JAMB FLASHING CONNECTION DETAIL**  
1:20



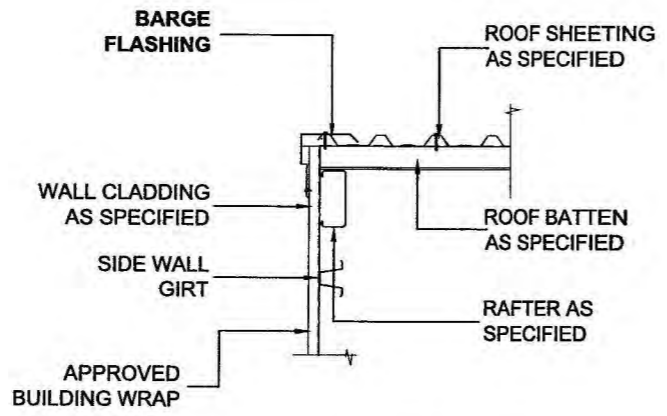
**PARAPET FLASHING**  
1:5



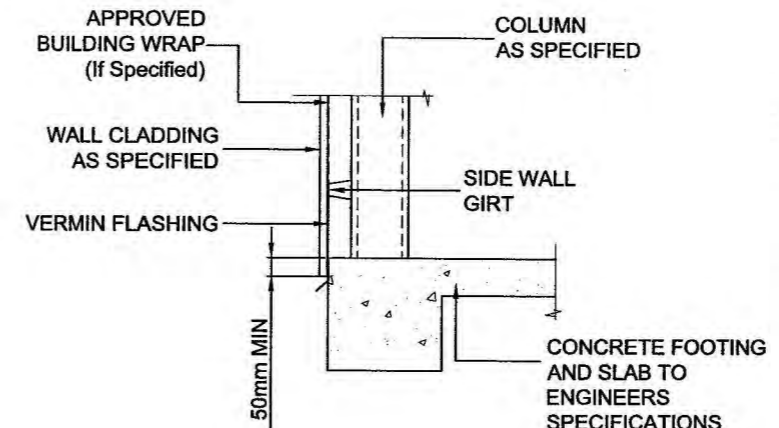
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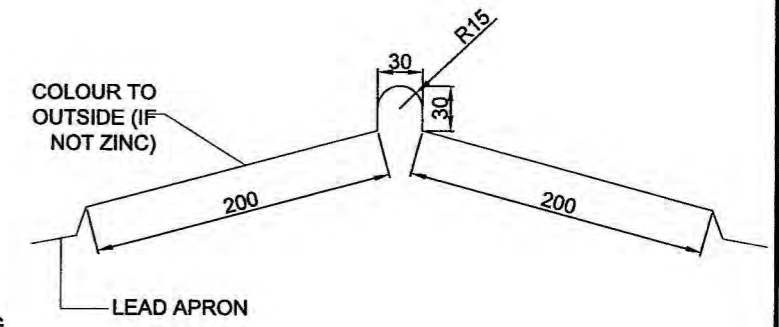
**BARGE FLASHING**  
1:5



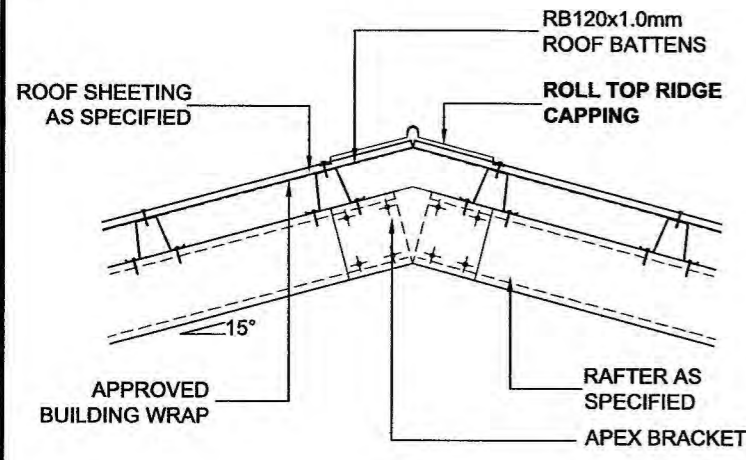
**BARGE FLASHING CONNECTION DETAIL**  
1:20



**VERMIN FLASHING CONNECTION DETAIL**  
1:20



**RIDGE FLASHING**  
1:5



**RIDGE CAPPING CONNECTION DETAIL**  
1:20

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**HUTT CITY COUNCIL**  
  
HUTT CITY

SHEET	JOB NO.	DATE	CHECKED	DRAWN	STEEL BUILDING BY
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6	ZSFC 10725	19/08/2009	JM	FDHS	AT

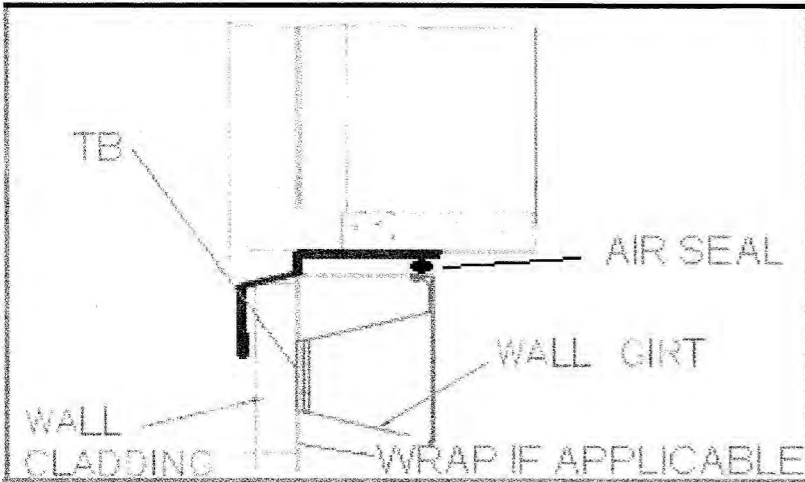
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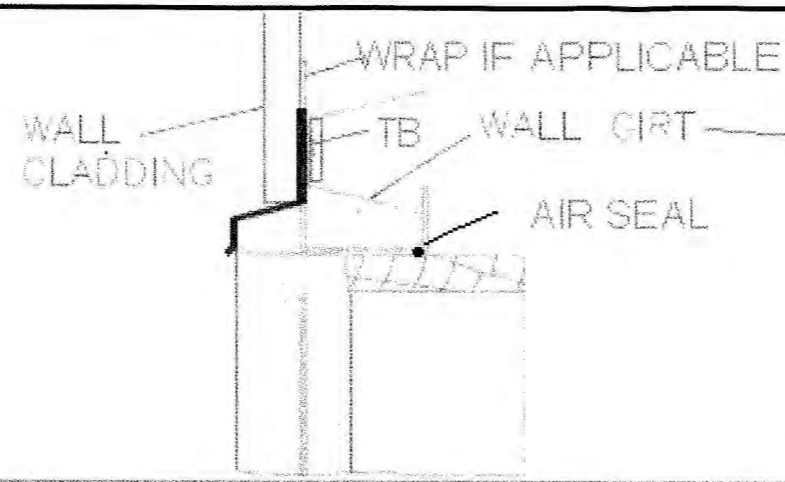
**DESIGN**  
GD Design Ltd  
Consulting Structural Engineer  
J.C. Macredie CPEng (Civil Structural) PDP (Fire)  
P.O. BOX 100, HUNTER STREET, HUNTER STREET, HUNTER STREET

ENGINEER: *SC Macredie*  
IPEENZ No: *Not Structural*  
Signature: *J. Macredie* Date: *21/8*

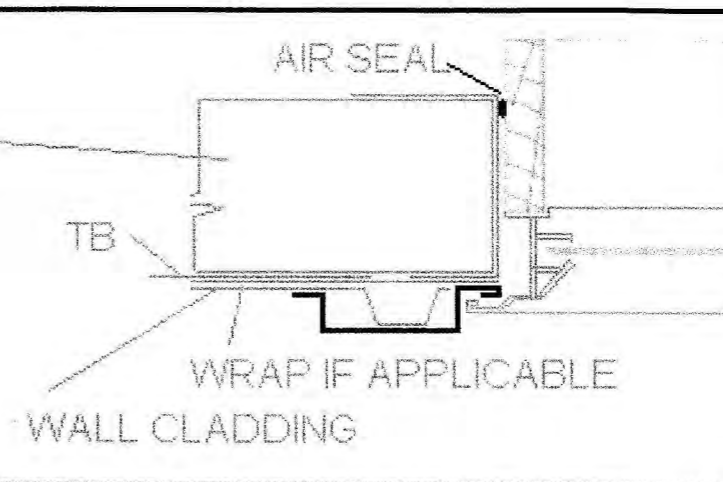
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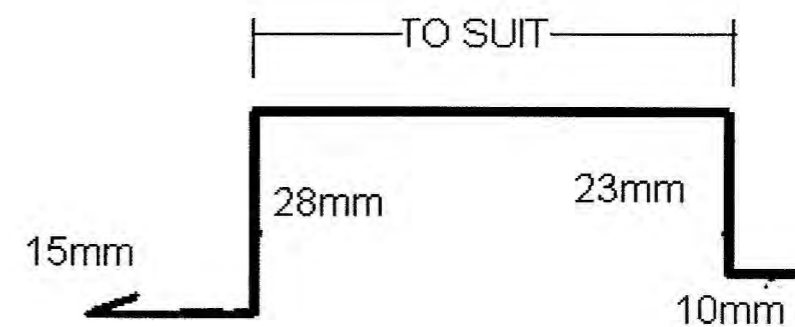
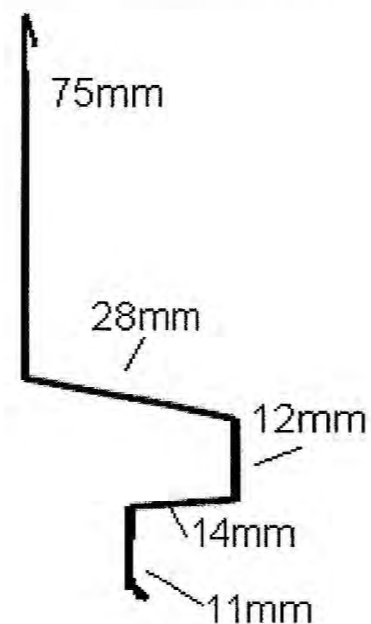
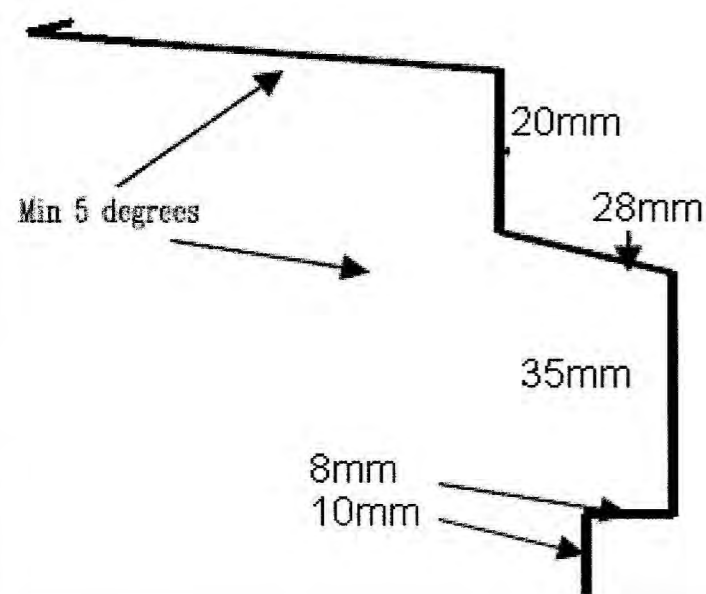
WINDOW SILL FLASHING DETAIL



WINDOW HEAD FLASHING DETAIL



SIDE WINDOW FLASHING DETAIL



TB = Thermal Break Material  
 AClass Industries ThermaxxB  
 BRANZ Appraisal # CA602

All Jamb Liners to be H3.1  
 treated

**BUILDING CONSENT**  
**GRANTED**  
**9/11/2009**  
**HUTT CITY COUNCIL**



Job ZSFC 10725  
 Drawn GM  
 02/08/2009  
 Page 9

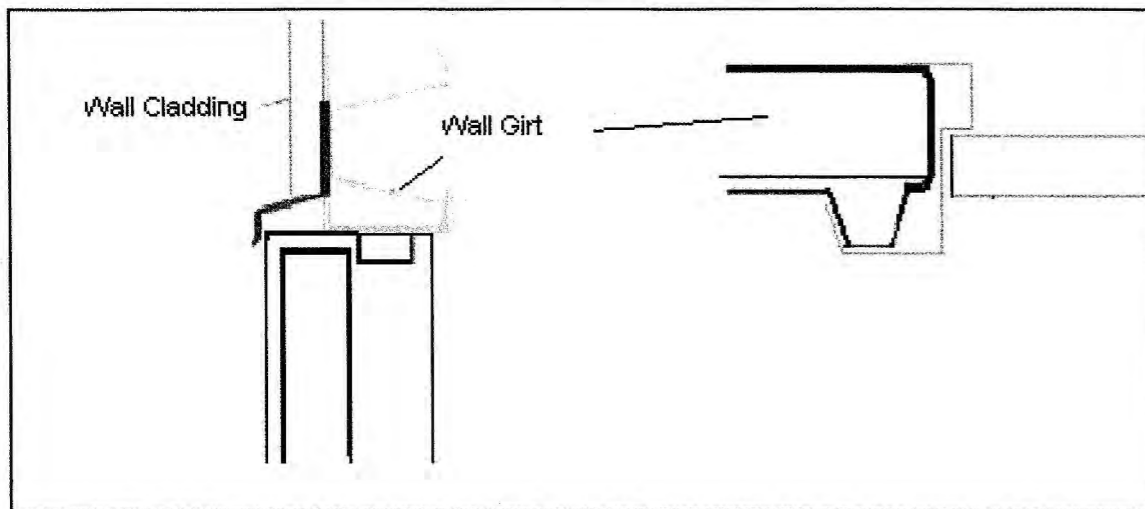
**STEEL FRAME CONCEPTS**

04 939 0208

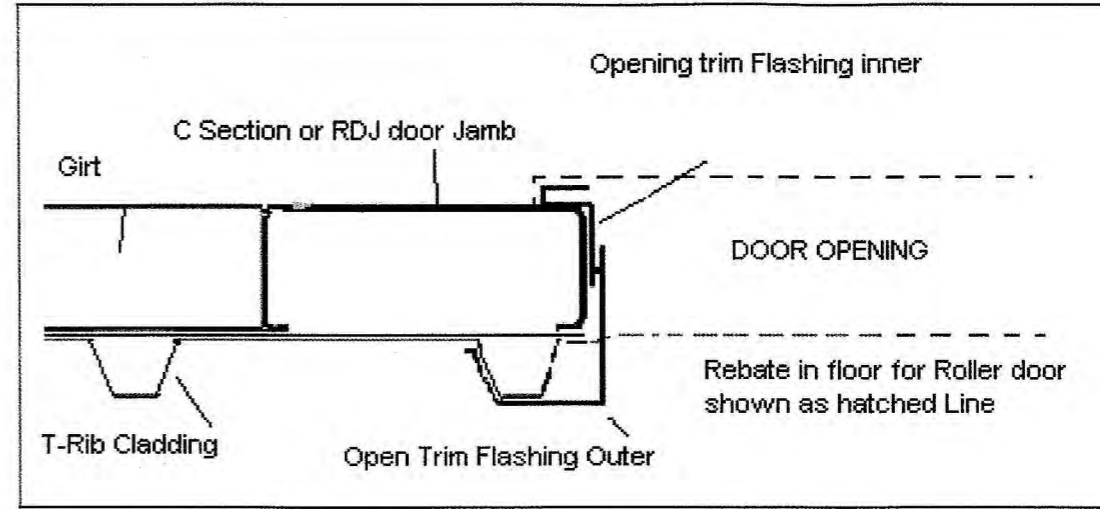
Proposed new building at 40 Bouverie Street, Lower Hutt



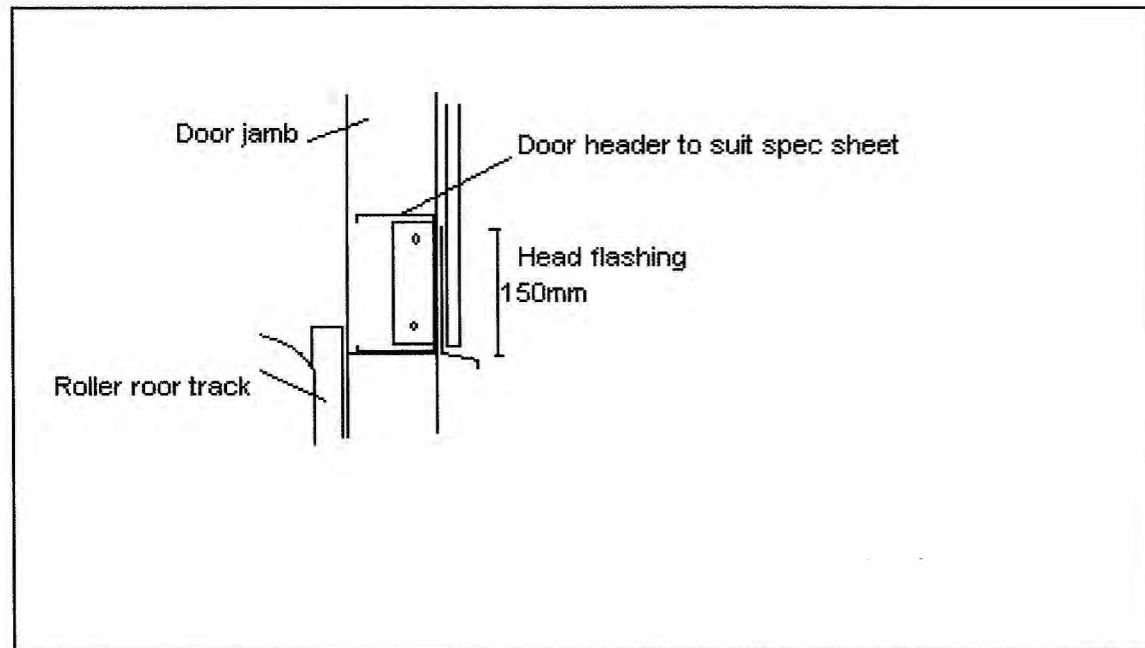
Window Flashing  
 details



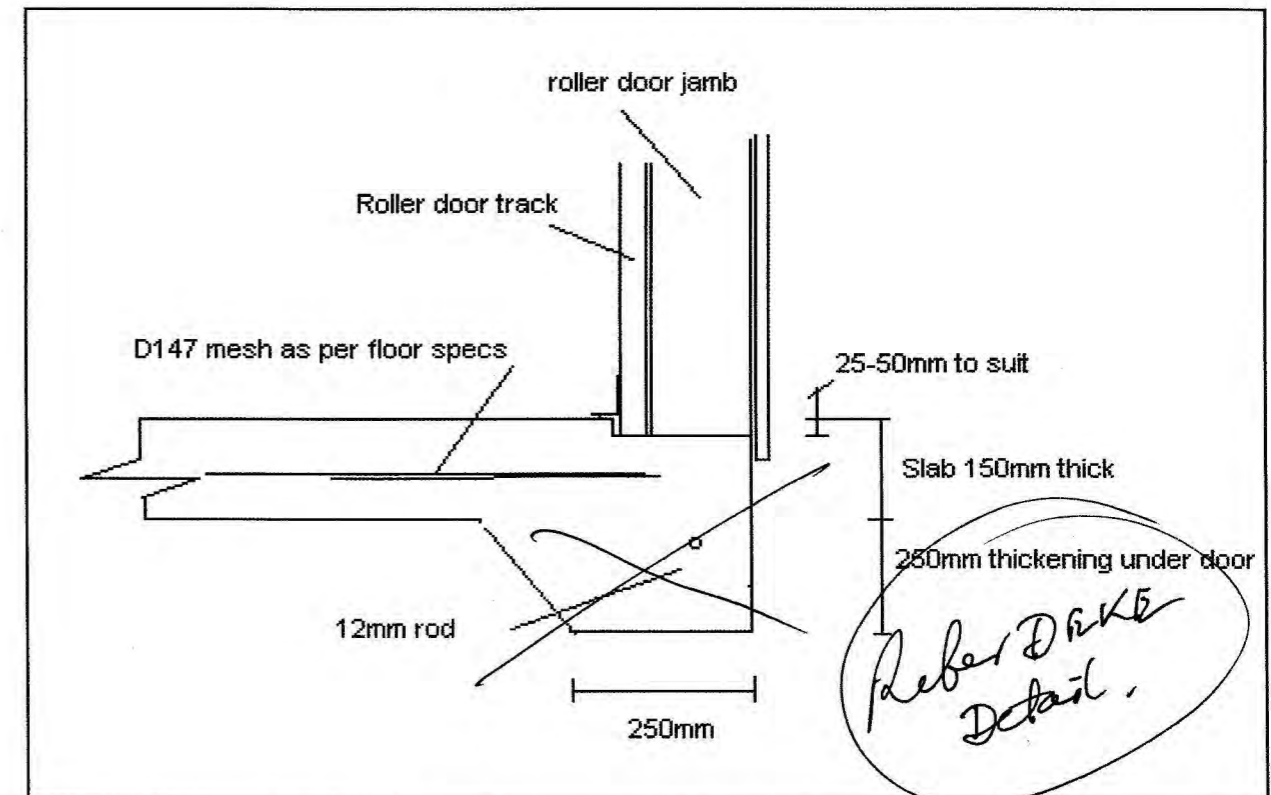
PERSONEL ACCESS DOOR SIDE & HEAD FLASHINGS



ROLLER DOOR SIDE FLASHING Section specs on Sheet 5



ROLLER DOOR HEAD FLASHING



CROSS SECTION THRU ROLLER DOOR ENTRY

**BUILDING CONSENT**  
**GRANTED**  
**9/11/2009**  
**HUTT CITY COUNCIL**



Job ZSFC 10725  
 Drawn GM  
 02/08/2009  
 Page 10

**STEEL FRAME CONCEPTS**

04 939 0208

Proposed new building at 40 Bouverie Street, Lower Hutt

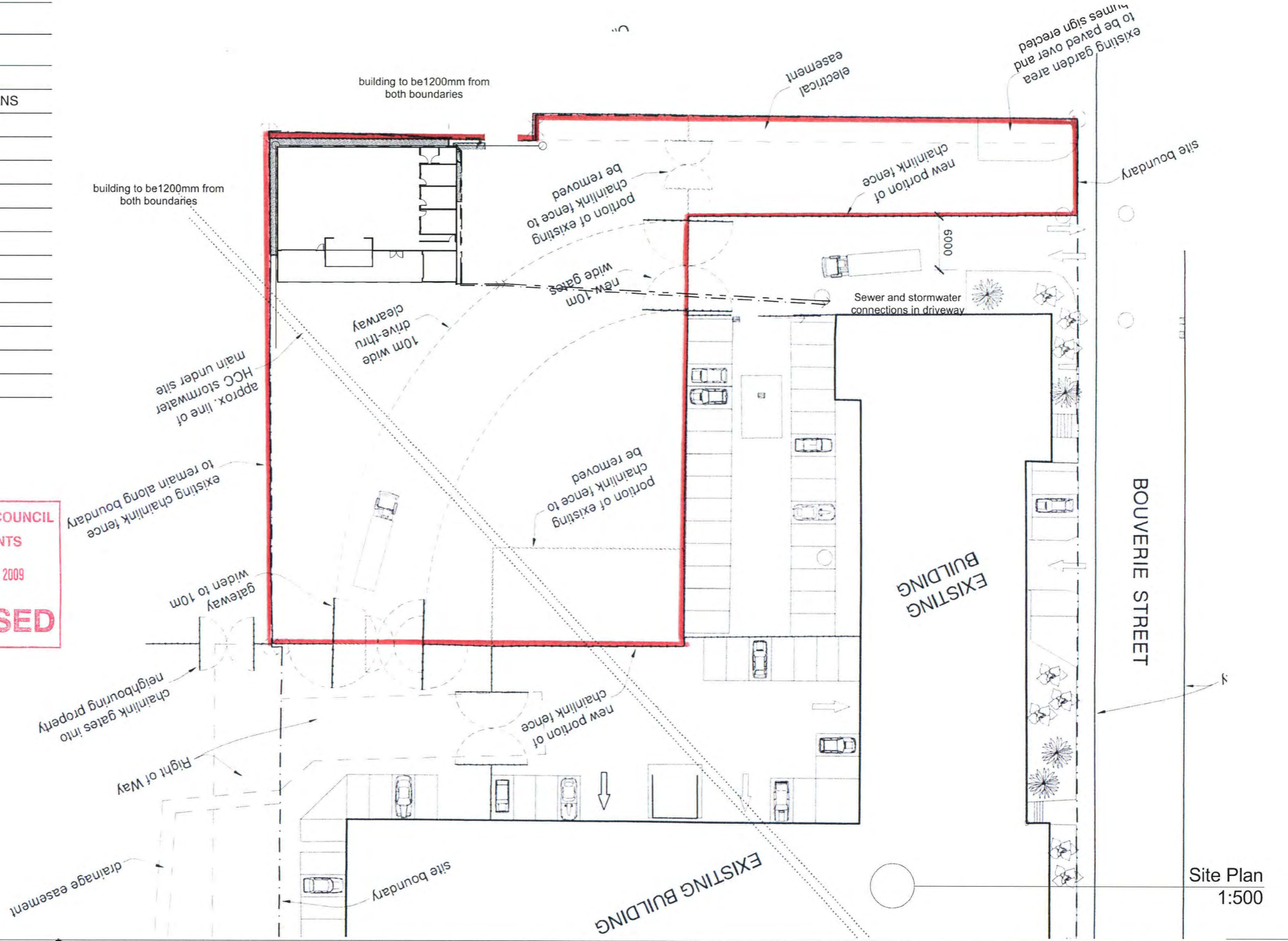


Roller & PA Door details

**Sheet Index**

Layout ID	Layout Name
A1-01	SITE PLAN
A1-02	PROPOSED FLOOR PLANS
A1-03	ELEVATIONS
A1-04	ELEVATIONS
A1-05	CROSS SECTION AA
A1-06	CROSS SECTION BB
A1-07	DOOR SCHEDULE
A1-08	WINDOW SCHEDULE
A1-09	FLASHING DETAILS
A1-10	FLASHING DETAILS
A1-11	FLASHING DETAILS
A1-12	FLASHING DETAILS
A1-13	FLASHING DETAILS
A1-14	FLASHING DETAILS

**HUTT CITY COUNCIL  
 CONSENTS  
 02 DEC 2009  
 REVISED**



Site Plan  
1:500

**Aartra**  
Design and Draughting

Aaran Judd B.Des (Int)  
583 Haywards Hill Road, RD1 Porirua, 5381  
P 2377 919 F 2377 920 M 027 2345 672



Issue	Date	Description	App
1	1/12/09	Location of building moved away from boundaries, now 1200mm away	

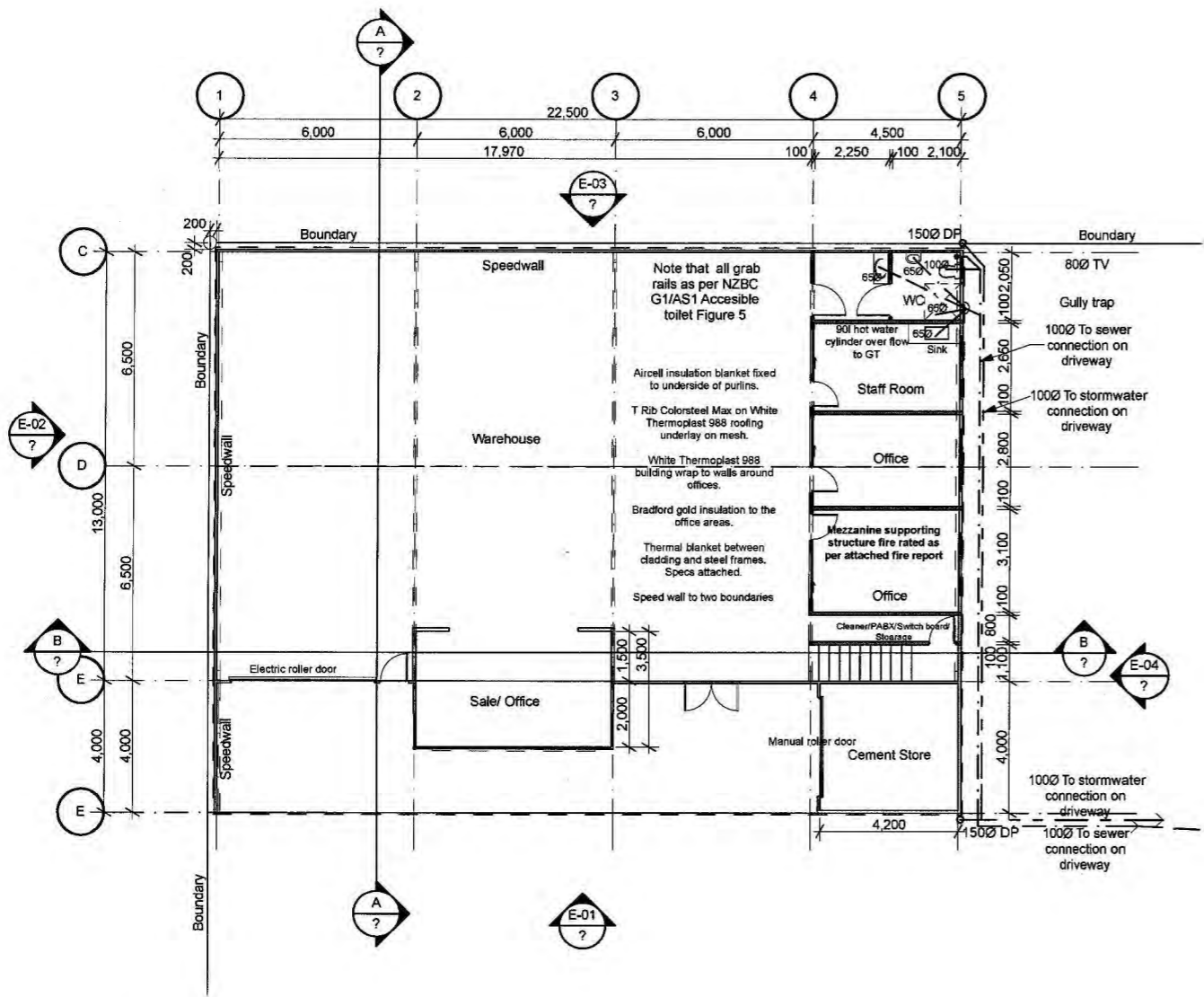
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Approved for Construction: \_\_\_\_\_  
 Signed: \_\_\_\_\_ Dated: \_\_\_\_\_  
 Issue: \_\_\_\_\_

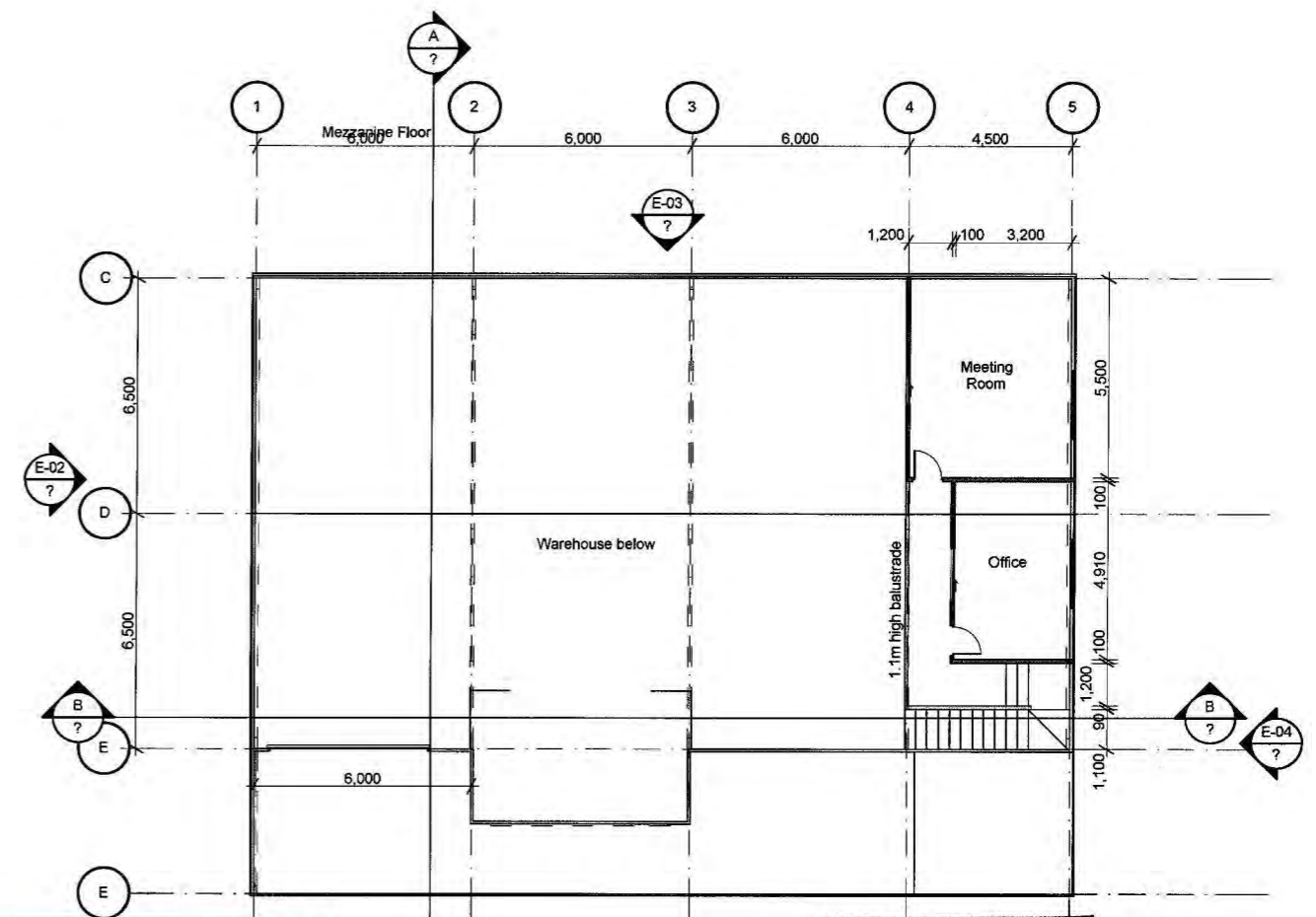
**PROPOSED NEW BUILDING BUILDING CONSENT**  
**40 BOUVERIE STREET**  
**LOWER HUTT**  
**SITE PLAN**

Date: 1/12/2009  
 Scale: 1:1, 1:500  
 Job No.: 0928  
 Drawn: A.K.J.  
 Issue: B

Project: \_\_\_\_\_ Purpose: \_\_\_\_\_  
 Draw Title: \_\_\_\_\_  
 Issue: A1-01



Ground Floor Plan  
1:200



Mezzanine Plan  
1:200

**BUILDING CONSENT**  
**GRANTED**  
**9/11/2009**  
**HUTT CITY COUNCIL**

**HUTT CITY COUNCIL**  
**CONSENTS**  
**09 OCT 2009**  
**REVISED**

**Aartra**  
Design and Draughting

Aaran Judd B.Des (Int)  
583 Haywards Hill Road, RD1 Porirua, 5381  
P 2377 919 F 2377 920 M 027 2345 672



**STEEL FRAME CONCEPTS**  
**SFC**  
**QUALITY STEEL BUILDINGS**  
HI TECH DESIGN

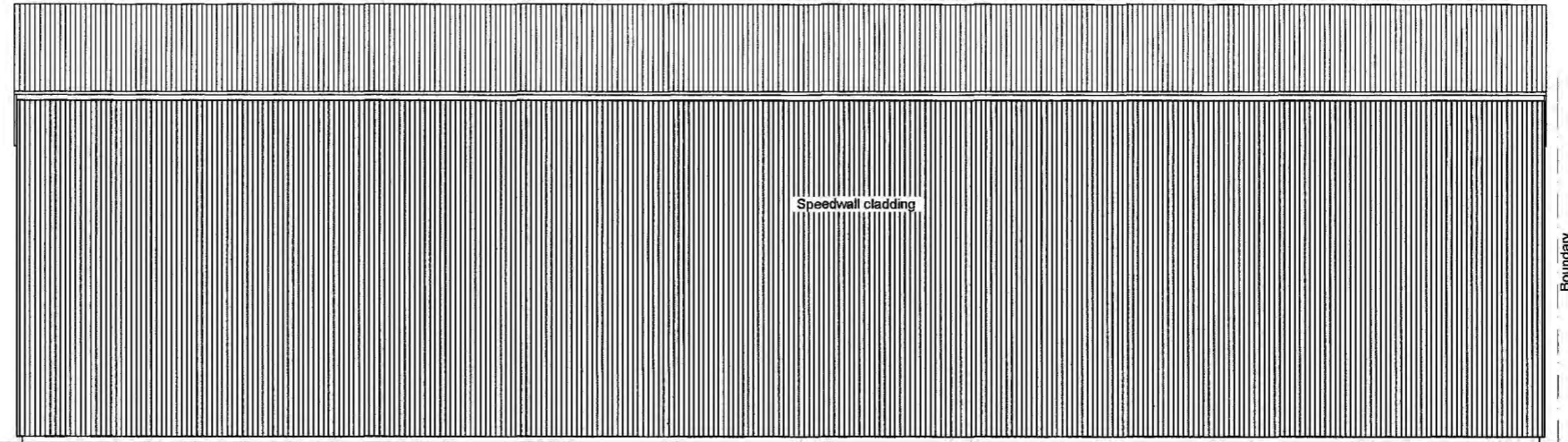
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Signed: \_\_\_\_\_ Dated: \_\_\_\_\_  
Issue: \_\_\_\_\_

No.	Date	Description	Appd.

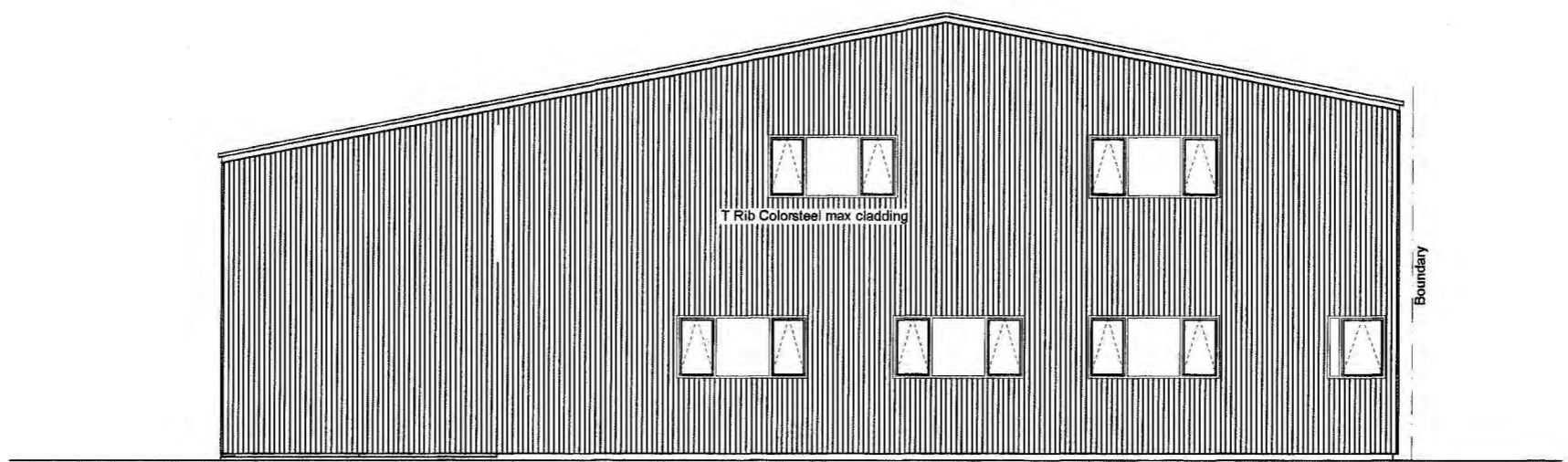
Project: **PROPOSED NEW BUILDING** Purpose: **BUILDING CONSENT**  
**40 BOUVERIE STREET**  
**LOWER HUTT**  
 Date: **9/10/2009** Drawn: **A.K.J.**  
 Scale: **1:200** Card Ref.: **A**  
 Job No.: **0928**  
 Issue: **A1-02**

BC090882



E-03

Elevation 3  
1:100



E-04

Elevation 4  
1:100

**BUILDING CONSENT**

**GRANTED**  
9/11/2009

**HUTT CITY COUNCIL**

**Aarra**  
Design and Draughting

Aaran Judd B.Des (Int)  
583 Haywards Hill Road, RD1 Porirua, 5381  
P 2377 919 F 2377 920 M 027 2345 672



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Approved for Construction: \_\_\_\_\_  
Signed: \_\_\_\_\_ Dated: \_\_\_\_\_

File	Date	Description	Appr.

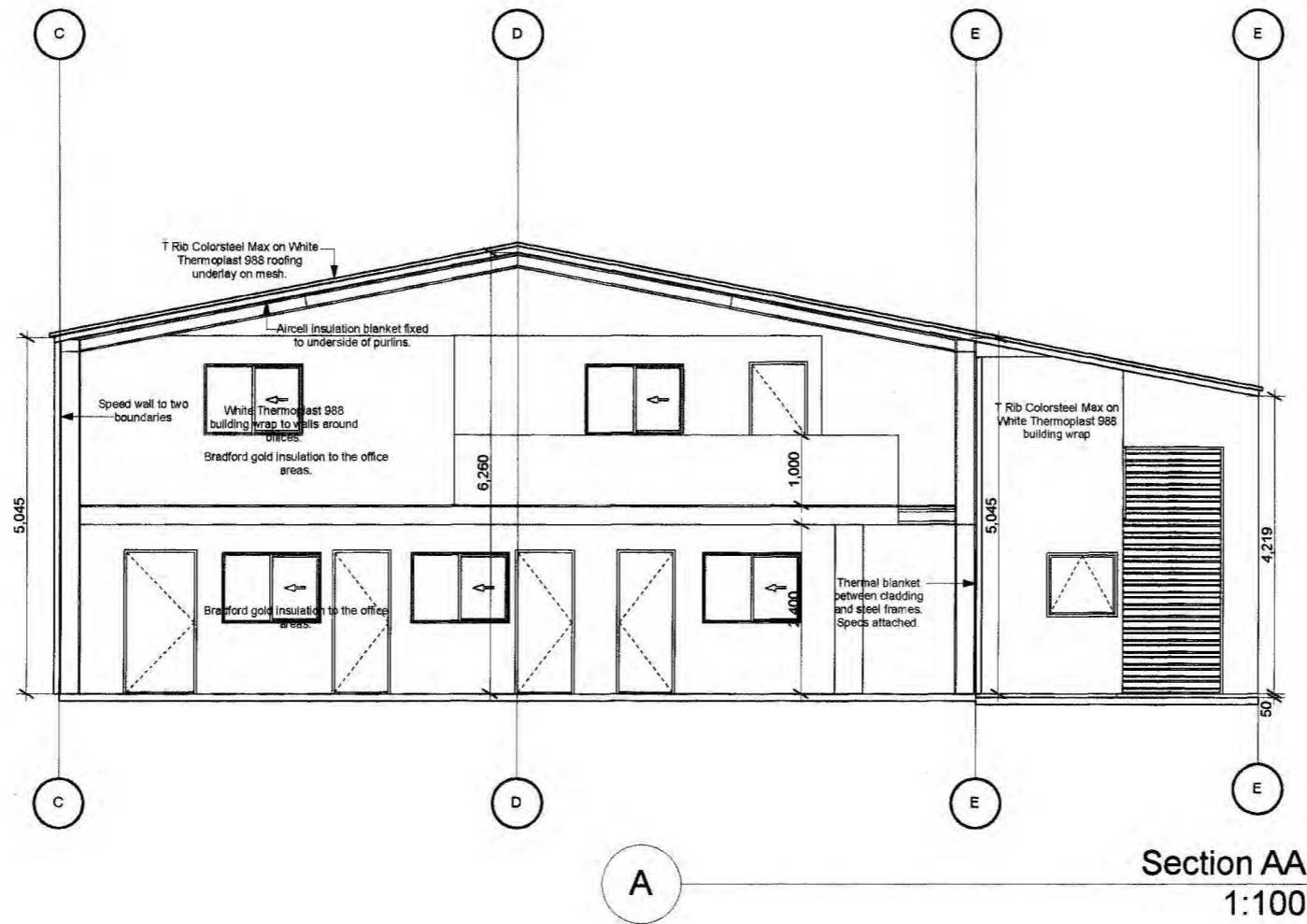
Project: PROPOSED NEW BUILDING  
40 BOUVERIE STREET  
LOWER HUTT  
ELEVATIONS

Purpose: BUILDING CONSENT

Date: 1/09/2009  
Scale: 1:100  
Job No.: 0928  
Desg No.: A1-04

Drawn: A.K.J.  
Issue: A

BC090882



**BUILDING CONSENT**

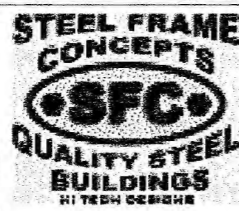
**GRANTED**  
9/11/2009

**HUTT CITY COUNCIL**



**Aartra**  
Design and Draughting

Aaran Judd B.Des (Int)  
583 Haywards Hill Road, RD1 Porirua, 5381  
P 2377 919 F 2377 920 M 027 2345 672



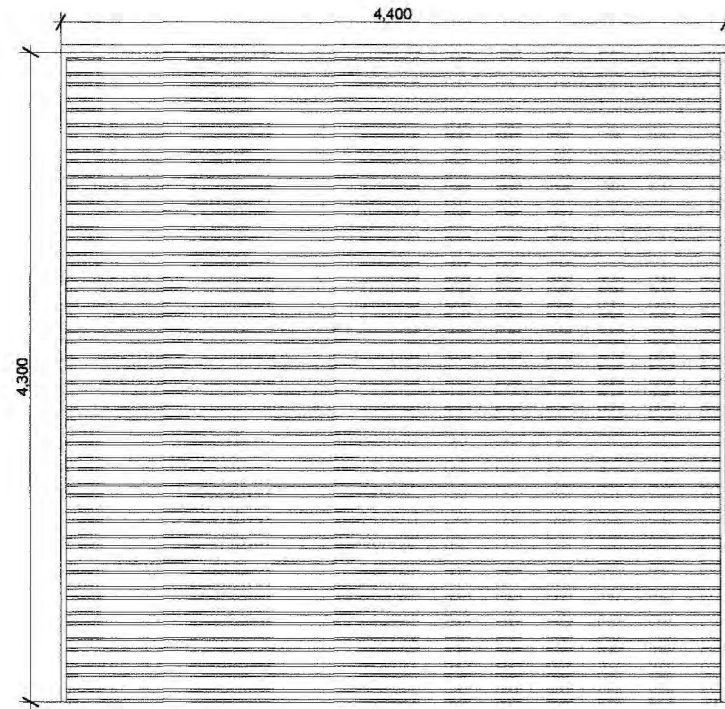
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Signed: \_\_\_\_\_ Dated: \_\_\_\_\_  
Issue: \_\_\_\_\_

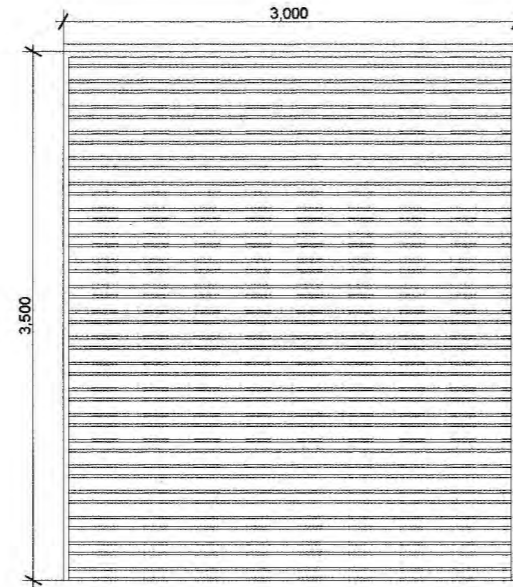
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Project	PROPOSED NEW BUILDING	Purpose	BUILDING CONSENT
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	LOWER HUTT	Drawn	A.K.J.
Day Title	CROSS SECTION AA	Scale	1:100
		Sub No.	0928
		Dep No.	A1-05
		Issue	A

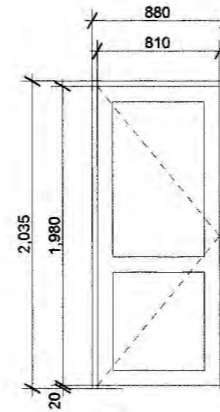
BC090882



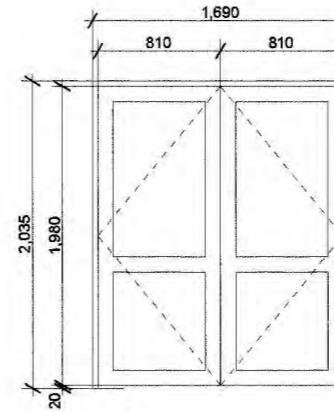
D01  
Roller Door



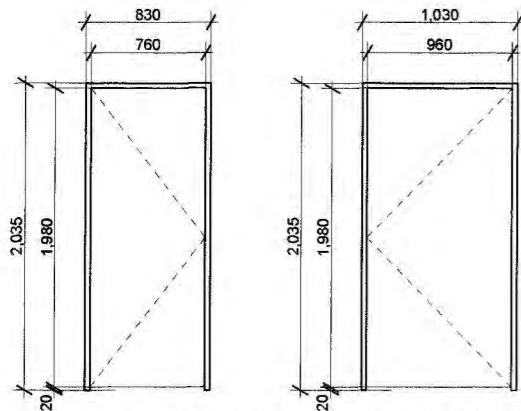
D02  
Roller Door



D03  
Aluminium  
Door



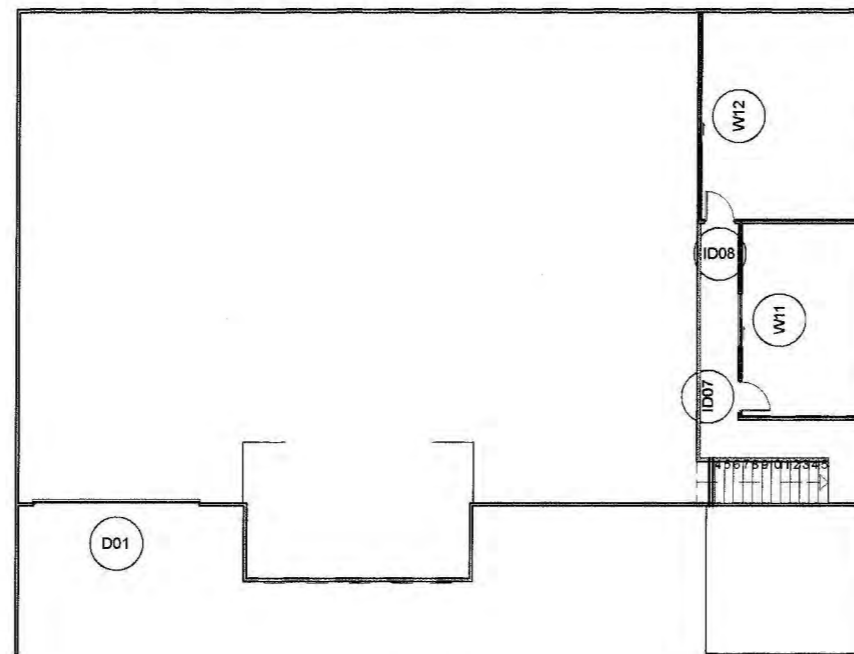
D04  
Aluminium  
Door



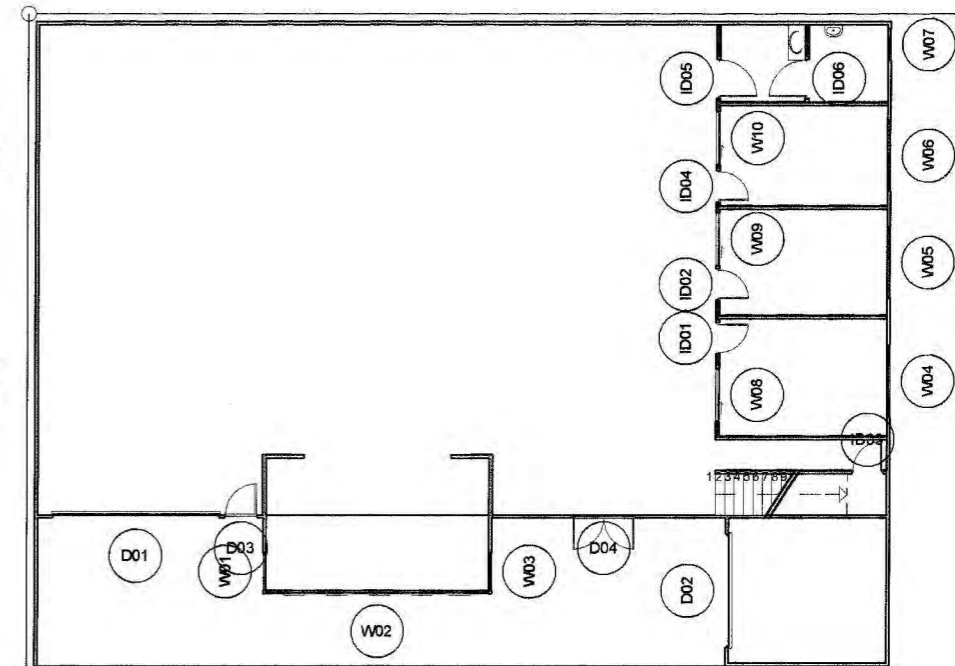
ID01, ID02, ID03, ID04, ID05, ID06  
ID07, ID08  
Hollow core  
door

Door Schedule

1:50



First Floor Plan  
1:200



Ground Floor Plan  
1:200

**Aartra**  
Design and Draughting

Aaran Judd B.Des (Int)  
583 Haywards Hill Road, RD1 Porirua, 5381  
P 2377 919 F 2377 920 M 027 2345 672

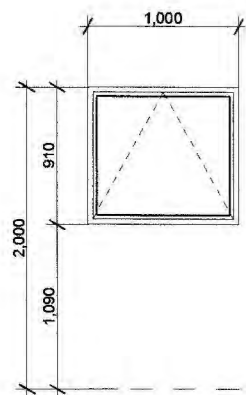


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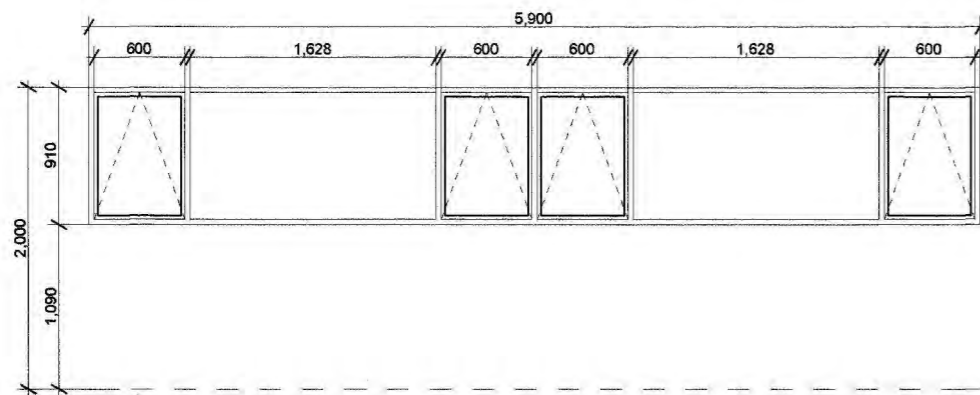
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Signed: \_\_\_\_\_ Dated: \_\_\_\_\_  
Issues: \_\_\_\_\_

No.	Date	Description	Appd.

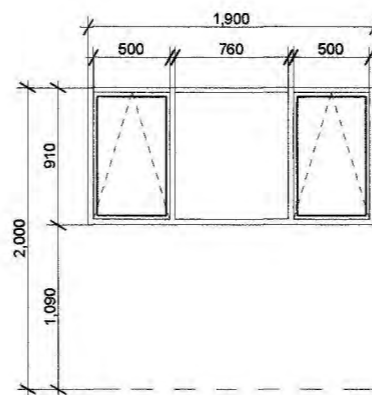
Project:	PROPOSED NEW BUILDING	Purpose:	BUILDING CONSENT
40 BOUVERIE STREET		LOWER HUTT	
Drawn:	1/09/2009	Drawn:	A.K.J.
Scale:	1:200	Scale:	1:200
Drawn No.:	0928	Drawn No.:	0928
Drawn No.:	A1-07	Drawn No.:	A1-07
Issue:	A	Issue:	A



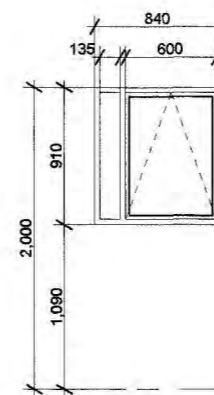
W01, W03  
Powder coated aluminium



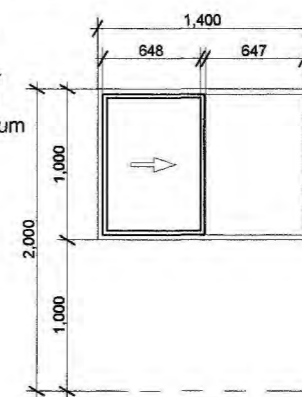
W02  
Powder coated aluminium



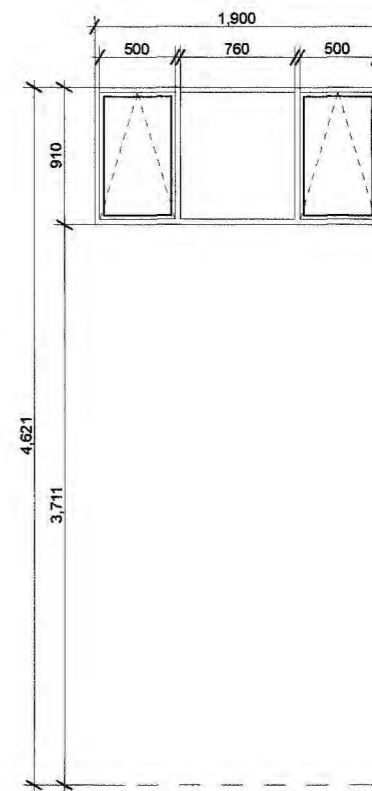
W04, W05, W06  
Powder coated aluminium



W07  
Powder coated aluminium



W11, W08, W09, W10, W12  
Powder coated aluminium



W13, W14  
Powder coated aluminium

**BUILDING CONSENT**  
  
**GRANTED**  
**9/11/2009**  
  
**HUTT CITY COUNCIL**



Window Schedule

1:50

**Aartra**  
Design and Draughting

Aaran Judd B.Des (Int)  
583 Haywards Hill Road, RD1 Porirua, 5381  
P 2377 919 F 2377 920 M 027 2345 672

**fair dinkum**  
HOMES & SHEDS

**STEEL FRAME CONCEPTS**  
**SFC**  
QUALITY STEEL BUILDINGS  
NI TESH DESIGN

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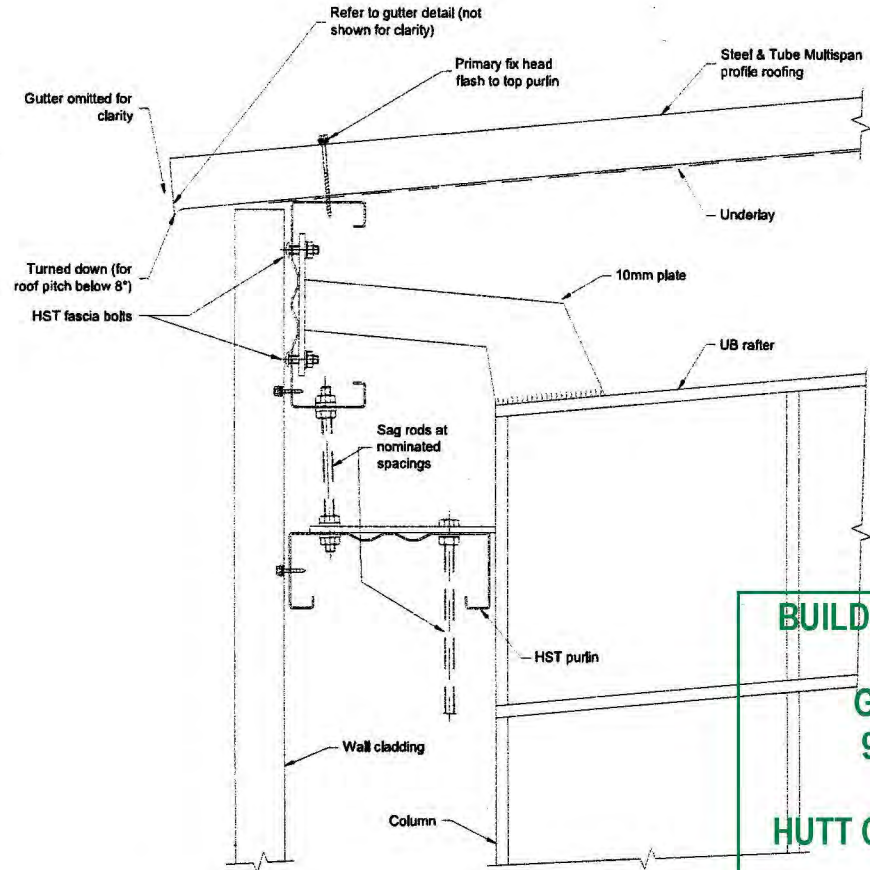
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Signed: \_\_\_\_\_ Dated: \_\_\_\_\_  
Issue: \_\_\_\_\_

No.	Date	Description	Appr.

Project	PROPOSED NEW BUILDING	Purpose	BUILDING CONSENT
	40 BOUVERIE STREET		
	LOWER HUTT	Date	1/09/2009
Scale	1:50	Drawn	A.K.J.
Sheet No.	0928	Issued	A
Proj No.	A1-08		

BC090882

Commercial Detail  
Multispan



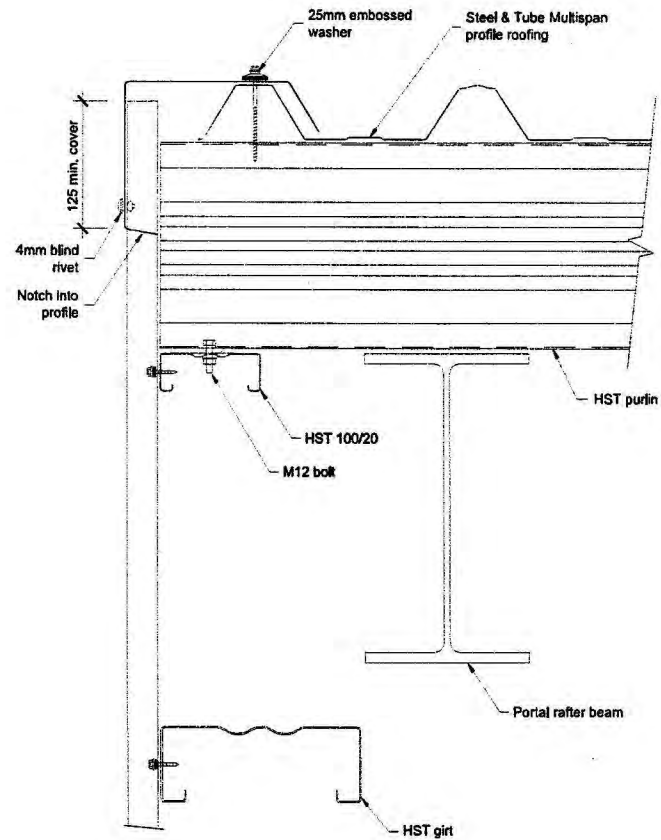
**BUILDING CONSENT  
GRANTED  
9/11/2009  
HUTT CITY COUNCIL**



Code: HB22  
Eaves Detail Girt Outside Portal Leg, Offset Cleat  
Cross Section

Legacy file: comm\_common-16\_eaves  
All dimensions in millimetres Scale 1:5  
comm\_multispan-port\_eaves  
Version: 1.00

Commercial Detail  
Multispan



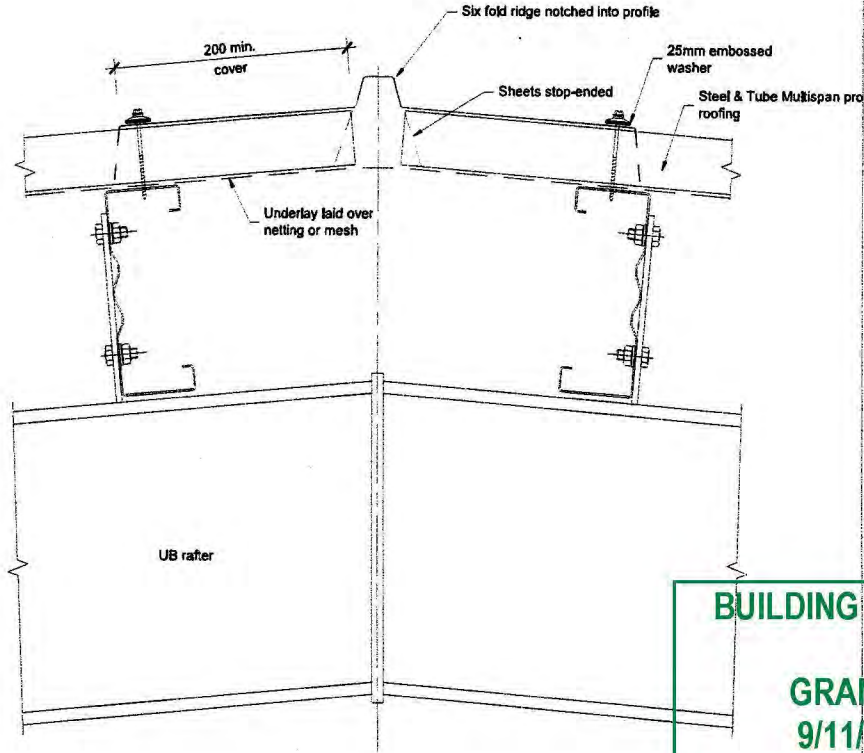
Quick Code: HB18  
Barge Flashing  
Cross Section

Legacy file: comm\_common-13\_...  
All dimensions in millimetres Sc:  
comm\_multispan-barg...  
Version:  
Page 275 of 313

A1-11

BC090882

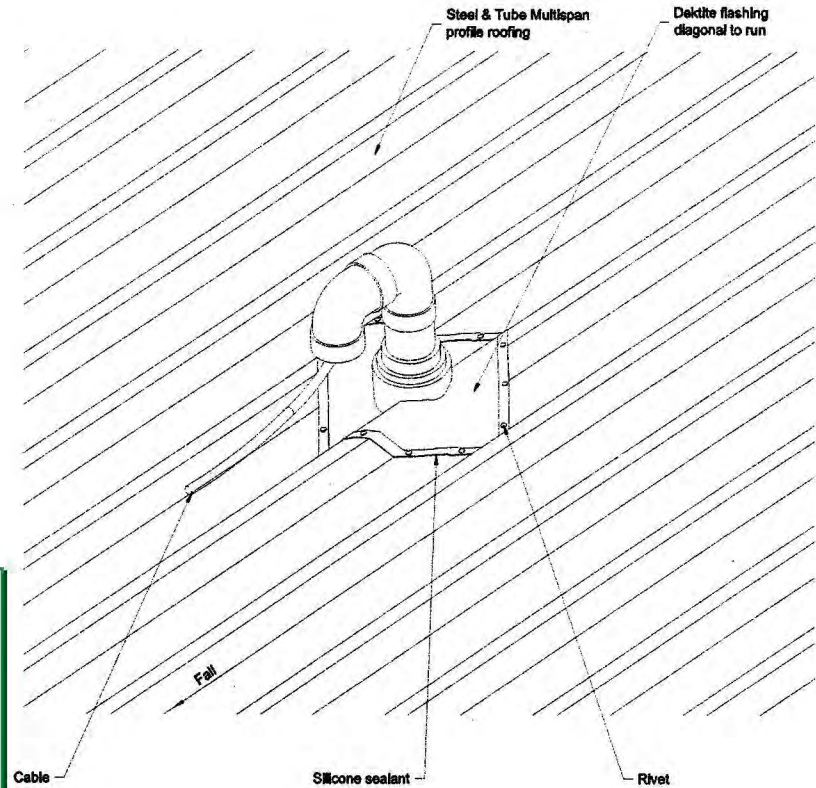
Commercial Detail  
Multispan



**BUILDING CONSENT**  
**GRANTED**  
**9/11/2009**  
**HUTT CITY COUNCIL**



Commercial Detail  
Multispan



Code: HB17

Apex

Legacy file: comm\_common-08\_ridge

All dimensions in millimetres Scale 1:5  
comm\_multispan-port\_ridge

Quick Code: HB01

Cable Entry

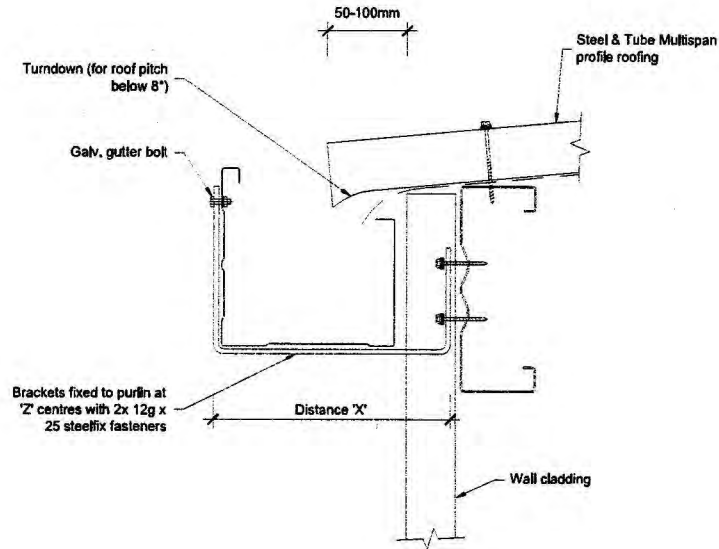
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All dimensions in millimetres Scale  
comm\_multispan-cabl

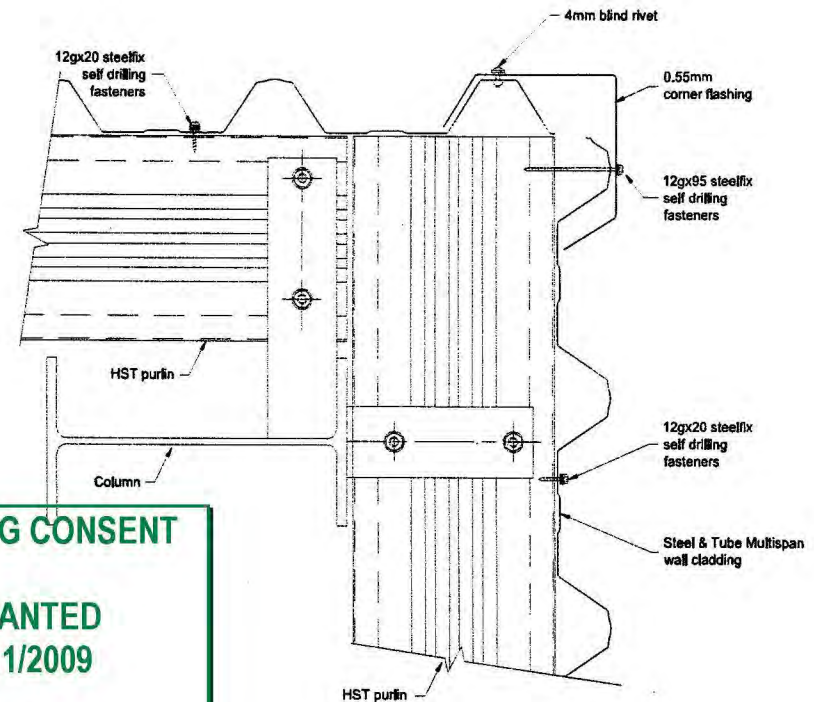
Page 276 of 313

A1-12

BC090882



Roof Area Drained	Downpipe Size	Gutter Size	Cladding Depth	Dimension "X"	Bracket Size	"Z" Centres
150	Ø100 or 100x75	ST175	Flat	180	30x5	900
			Low (28mm)	210	30x5	
			Medium (38mm)	220	30x5	
250	Ø150 or 125x100	ST175	High (55mm)	235	30x5	
			Flat	305	40x5	
350	Ø150 or 150x100	ST300	Low (28mm)	335	40x5	600
			Medium (38mm)	345	40x5	
400	Ø200 or 200x100	ST300	High (55mm)	360	40x5	

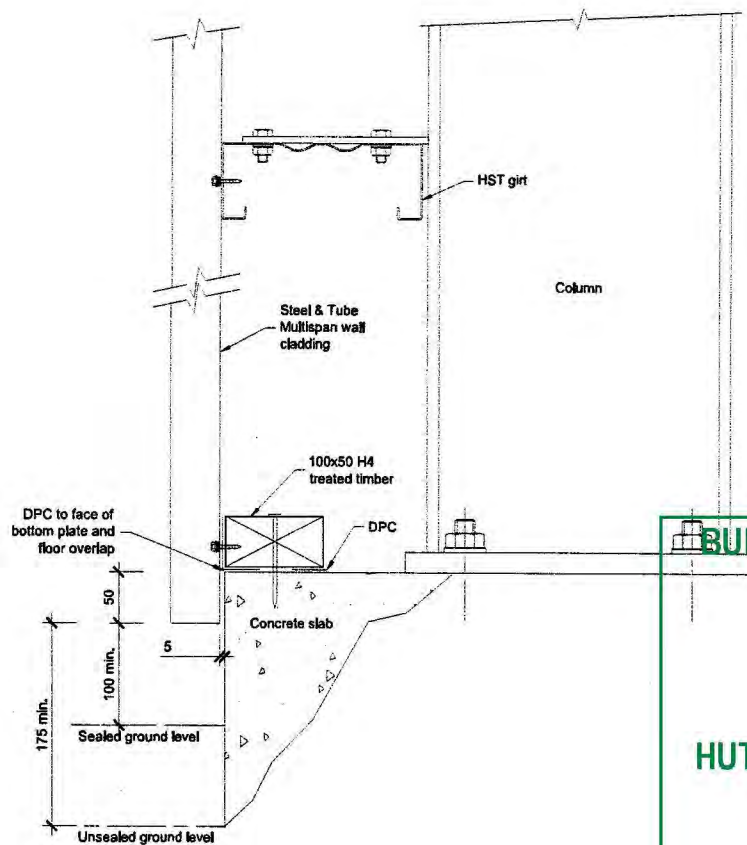


**BUILDING CONSENT**

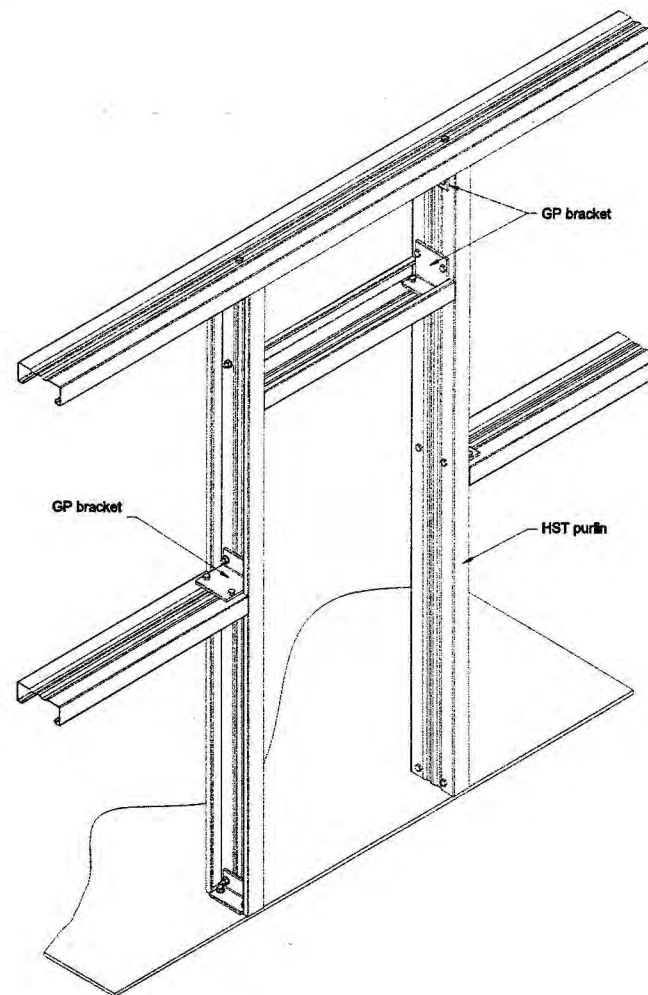
**GRANTED  
9/11/2009**

**HUTT CITY COUNCIL**





**BUILDING CONSENT**  
**GRANTED**  
**9/11/2009**  
**HUTT CITY COUNCIL**

Code: HC07

Wall Cladding - Floor Junction  
ss Section

Legacy file: comm\_common-22\_base

All dimensions in millimetres Scale 1:5  
comm\_multispan-jct\_wall\_floor  
Version: 1.00

Quick Code: HC05

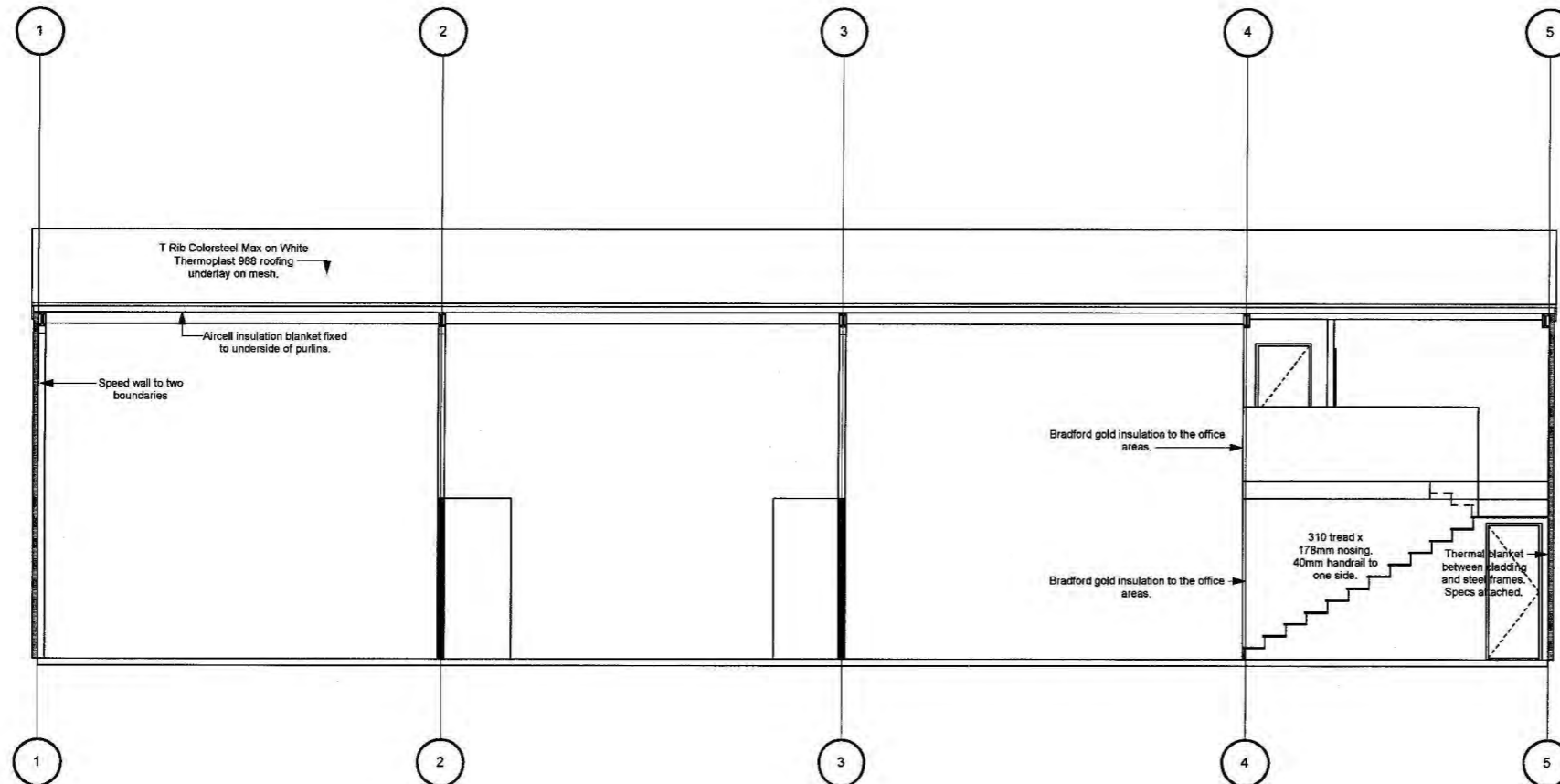
Wall Cladding - Door Opening  
Isometric View

Legacy file: comm\_common-24\_door-ope

All dimensions in millimetres Sc  
comm\_multispan-door\_ope  
Version: 1.00

A1-14.

BC090882



T Rib Colorsteel Max on White Thermoplast 988 building wrap

**BUILDING CONSENT**  
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**9/11/2009**  
**HUTT CITY COUNCIL**



**B** Section BB  
1:100

**HUTT CITY COUNCIL**  
**CONSENTS**  
09 OCT 2009  
**REVISED**

**Aarra**  
Design and Draughting

Aaran Judd B.Des (Int)  
583 Haywards Hill Road, RD1 Porirua, 5381  
P 2377 919 F 2377 920 M 027 2345 672



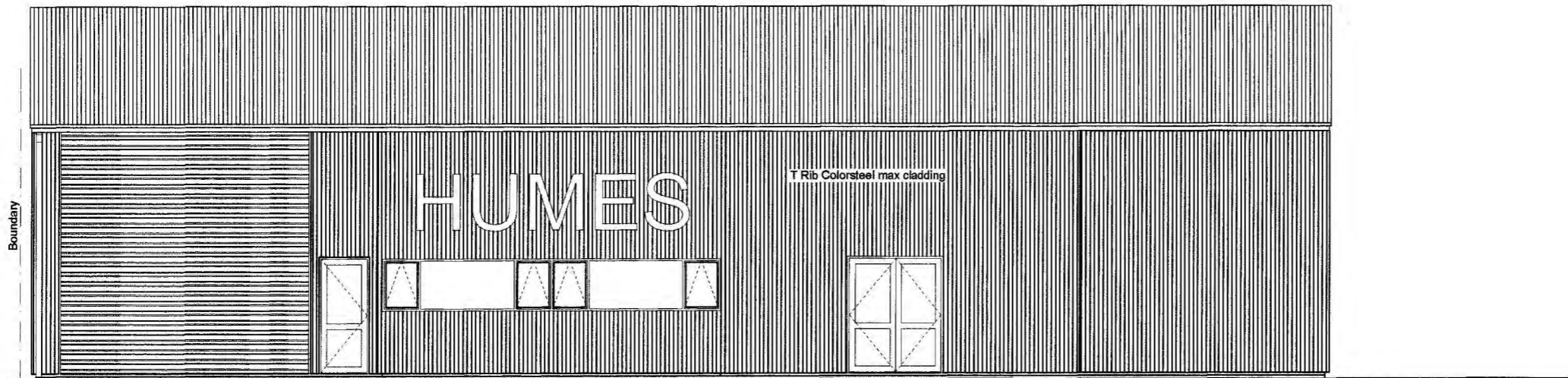
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Signed: \_\_\_\_\_ Dated: \_\_\_\_\_  
Issue: \_\_\_\_\_

Rev	Date	Description	Appd

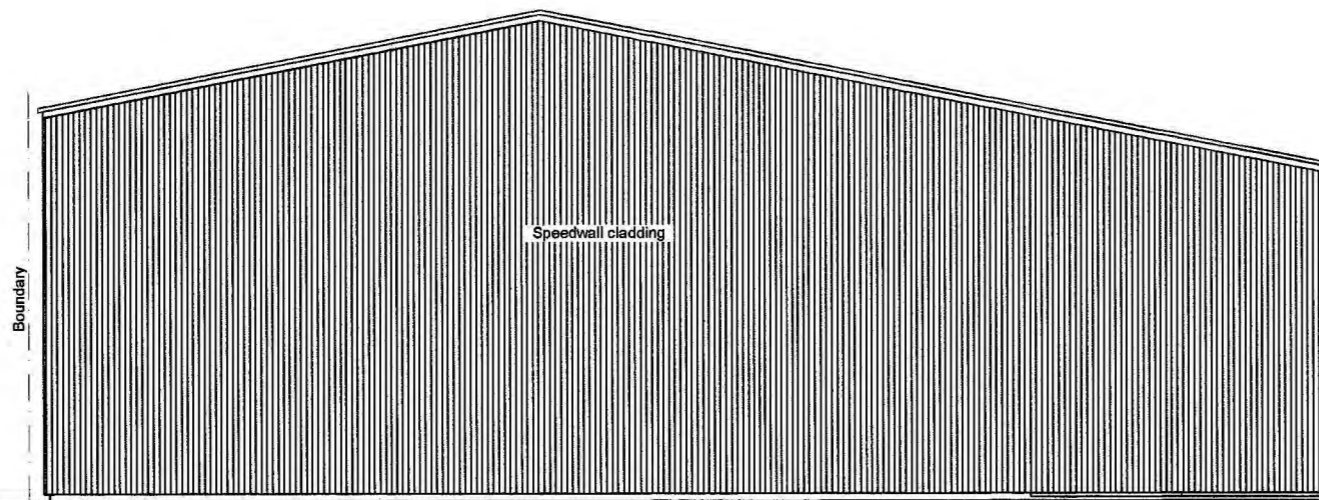
Project	PROPOSED NEW BUILDING	Purpose	BUILDING CONSENT
	40 BOUVERIE STREET		
	LOWER HUTT	Date	9/10/2009
	CROSS SECTION BB	Drawn	A.K.J.
Scale	1:100	Job No.	0928
Dep No.	A1-06	Issue	A

BC090882



E-01

Elevation 1  
1:100



E-02

Elevation 2  
1:100

**BUILDING CONSENT**

**GRANTED**  
9/11/2009

**HUTT CITY COUNCIL**

**Aarra**  
Design and Draughting

Aaran Judd B.Des (Int)  
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P 2377 919 F 2377 920 M 027 2345 672



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Approved for Construction  
Signed \_\_\_\_\_ Dated \_\_\_\_\_  
Date \_\_\_\_\_

No.	Date	Description	App.

Project	PROPOSED NEW BUILDING	Purpose	BUILDING CONSENT
	40 BOUVERIE STREET		
	LOWER HUTT	Date	19/08/2009
	ELEVATIONS	Scale	1:100
		EB No.	0928
		Drawn	A.K.J.
		Issue	A
		Draw Title	
		Draw No.	A1-03

17 May 2011

Contact: JL Symons  
Group/Division: Environmental Consents  
Telephone: 570 6910  
Facsimile: 04 570 6855  
E.Mail: jeff.symons@huttcity.govt.nz  
Our Reference: BC110026

PWMC Property Investments Limited  
P O Box 33055  
PETONE

Dear Madam / Sir

**BUILDING CONSENT BC110026 – 40 BOUVERIE STREET PETONE 5012**

Please find enclosed the Territorial Authority's Code Compliance Certificate concerning the above Building Consent.

There is a considerable emphasis on obtaining a Code Compliance Certificate under the Building Act 2004, which also places significant value on this certificate. Please ensure this is filed in a safe, retrievable archive, available for future reference.

Should you need to make a future enquiry, regarding this application, please quote the Building Consent number.

Yours faithfully



JL Symons  
SENIOR BUILDING INSPECTION OFFICER

# Code Compliance Certificate

Section 95, Building Act 2004

<b>The Building</b>	
Street address of building: <b>40 Bouverie Street Petone</b> <b>LOWER HUTT 5012</b>	Legal description of land where building is located: <b>LOT 2 DP 87775No related Land</b>
Building name:	Location of building within site/block number:
Level/unit number:	Current, lawfully established, use: <b>Warehouse/Office Showroom</b>
Year first constructed: <b>2011</b>	
<b>The Owner</b>	
Name of owner: <b>McCombie Gieck Family Trust</b> <b>No 2 Nominees Limited</b>	Contact person:
Mailing address: <b>PWMC Property Investments Limited</b> <b>P O Box 33055</b> <b>PETONE</b>	Email address:
	Website:
<b>Building Work</b>	
<b>BC110026</b>	<i>Warehouse- Alterations to existing structure to create new warehouse, showroom &amp; associated offices</i>
<b>Council Contact</b>	
First point of contact for communications with the Council: <i>Building Manager, Phone 570 6666, Private Bag 31912 Lower Hutt.</i>	

## Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that —

- (a) the building work complies with the building consent; and
- (b) the specified systems in the building are capable of performing to the performance standards set out in the building consent.

Issued by Hutt City Council  
30 Laings Road Lower Hutt

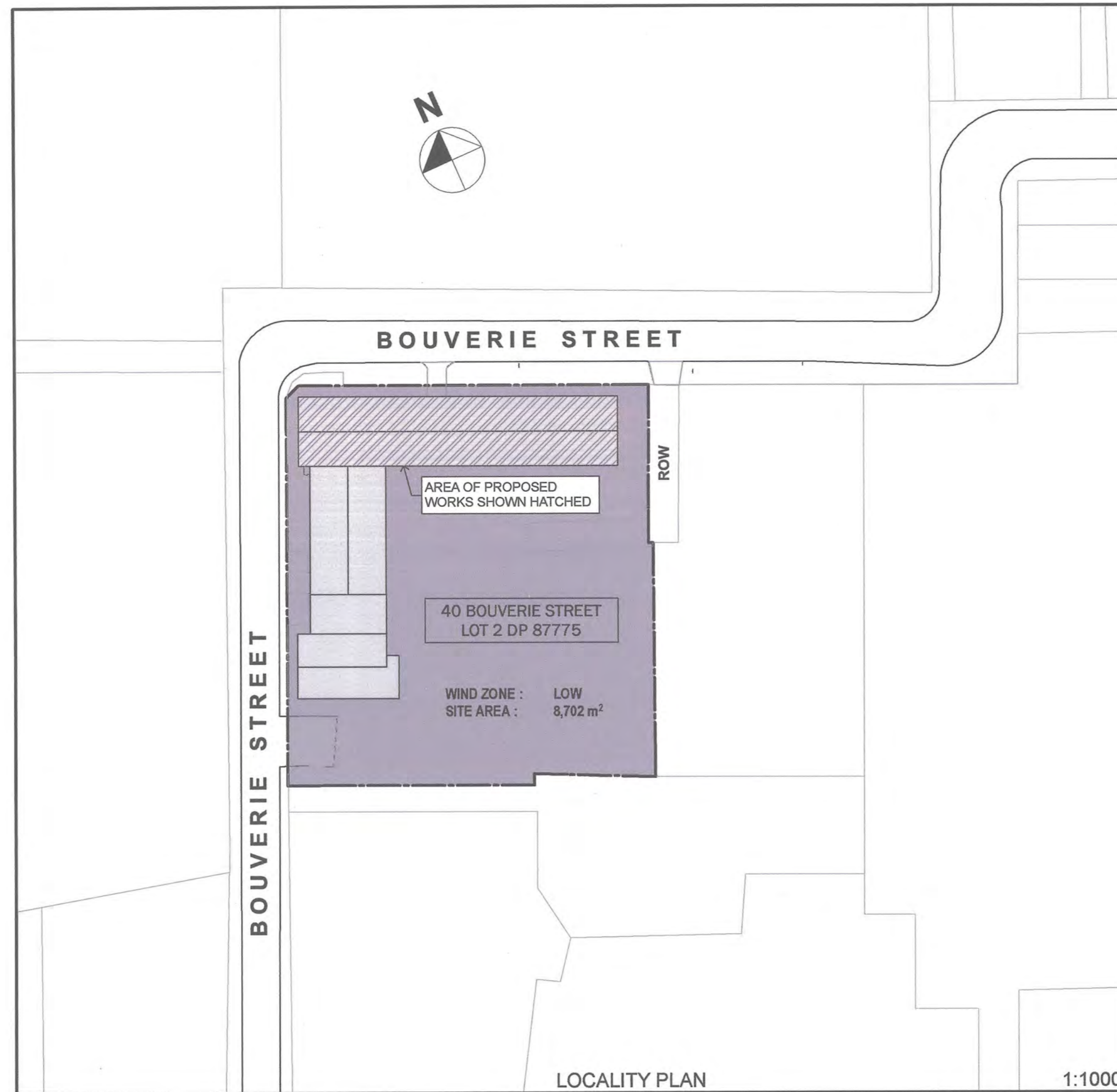


Senior Building Inspections Officer, on behalf of Hutt City Council

Date: 17 May 2011

BUILDING CONSENT

17 JANUARY 2011



BUILDING CONSENT  
 GRANTED  
 16/02/2011  
 HUTT CITY COUNCIL



BUILDING ALTERATIONS  
 AT 40 BOUVERIE STREET, PETONE  
 BALANCED INVESTMENTS CONSTRUCTION LIMITED



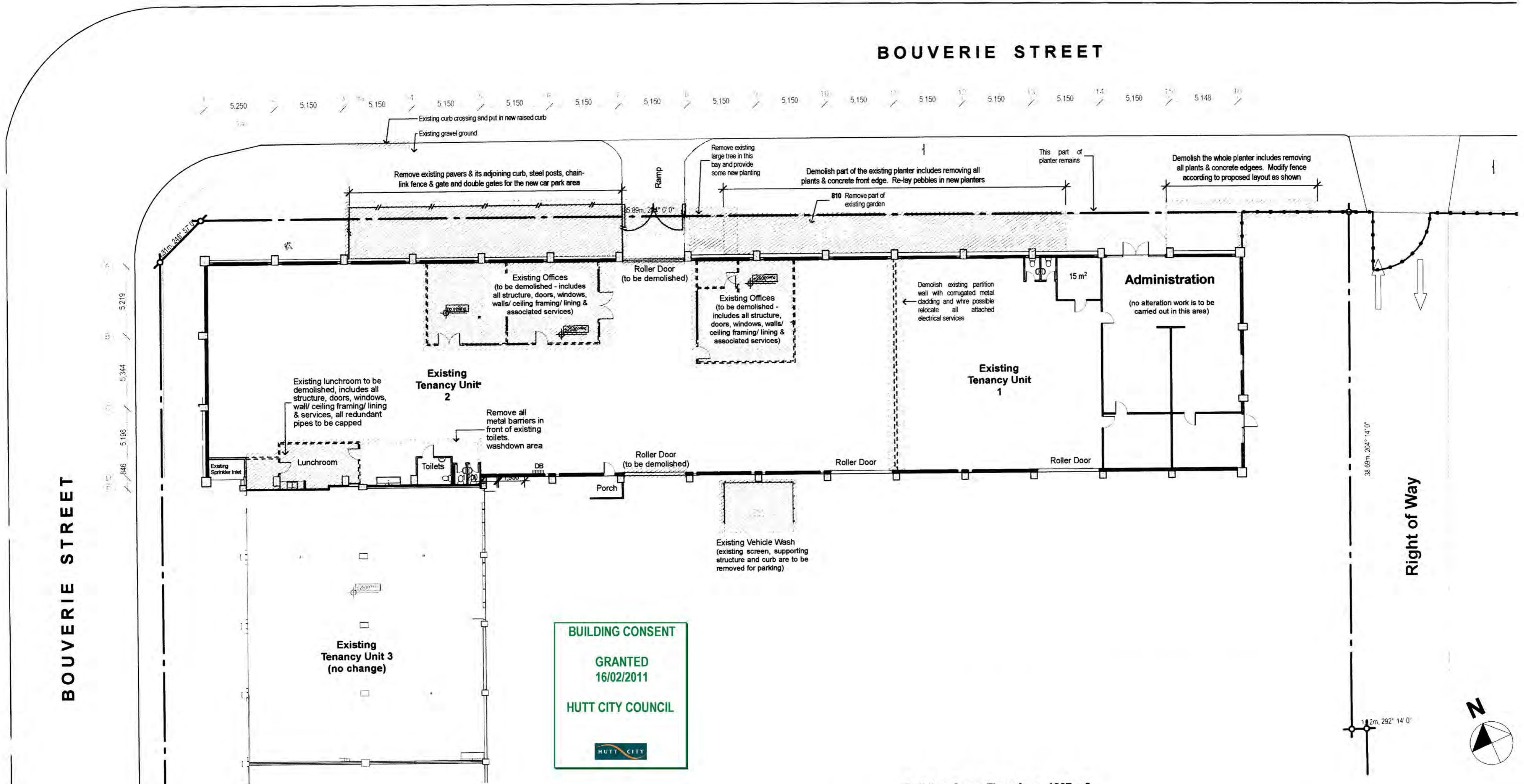
**GOODSON ARCHITECTS**  
 L I M I T E D  
 UNIT 23, 13 LEEDS STREET  
 WELLINGTON, NEW ZEALAND  
 TEL 04-381 0388 FAX 04-381 0389  
 EMAIL: mail@goodsonarchitects.co.nz

Notes

8. External

810 Remove part of existing garden  
Remove existing plants and part of planters for the new parking area. Replant flax and grass species elsewhere where possible

CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION. ALSO REFER TO ENGINEER'S DRAWINGS



BUILDING CONSENT  
 GRANTED  
 16/02/2011  
 HUTT CITY COUNCIL



Building Gross Floor Area: 1267 m2

EXISTING/ DEMOLITION PLAN

Project: BUILDING ALTERATIONS  
 Address: 40 BOUVERIE STREET, PETONE  
 Client: BALANCED INVESTMENTS CONSTRUCTION LIMITED

**GOODSON ARCHITECTS**  
 LIMITED  
 UNIT 23, 13 LEEDS STREET  
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DATE	17/01/2011	Drawing No:	Revision
JOB NO	317	BC2.01	
SCALE	1:500		
DRAWN	HL		
ORIGINAL	A2		

BUILDING CONSENT SET

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Notes

8. External

**805 New asphaltic sealed parking area**  
25mm thick asphalt over compacted base for new parking area. New surface is to fall towards the road and must have smooth transition with adjacent surfaces, ramps and pavement. Paint carpark markings for 30 parks on ground as shown including one accessible parking

**809 New yard fence with gate**  
Construct new 2m high chainlink wire fence to form a lockable secure yard area with galvanised steel tube posts at 3m centre with double hinged lockable gates. Provide suitable size posts for the installation and infill with galvanised steel chainlink wire mesh. Each gate is to be 3m wide x 2m high and are also to be constructed and braced with metal tubes and infill with chainlink wire providing a strong, robust gate. Each gate shall be fitted with galvanised fittings for hanging and locking and have at least one drop bolt. Also provide holes in the ground. Install 1.8m of chain-link netting with 3-run barbed wire to the top of the netting, including the gates. Install bracing wherever required.

**811 New asphalt ramp**  
In front of the proposed Showroom entrance, remove existing pavers and construct an asphalt ramp to create an accessible path from parking area to Showroom

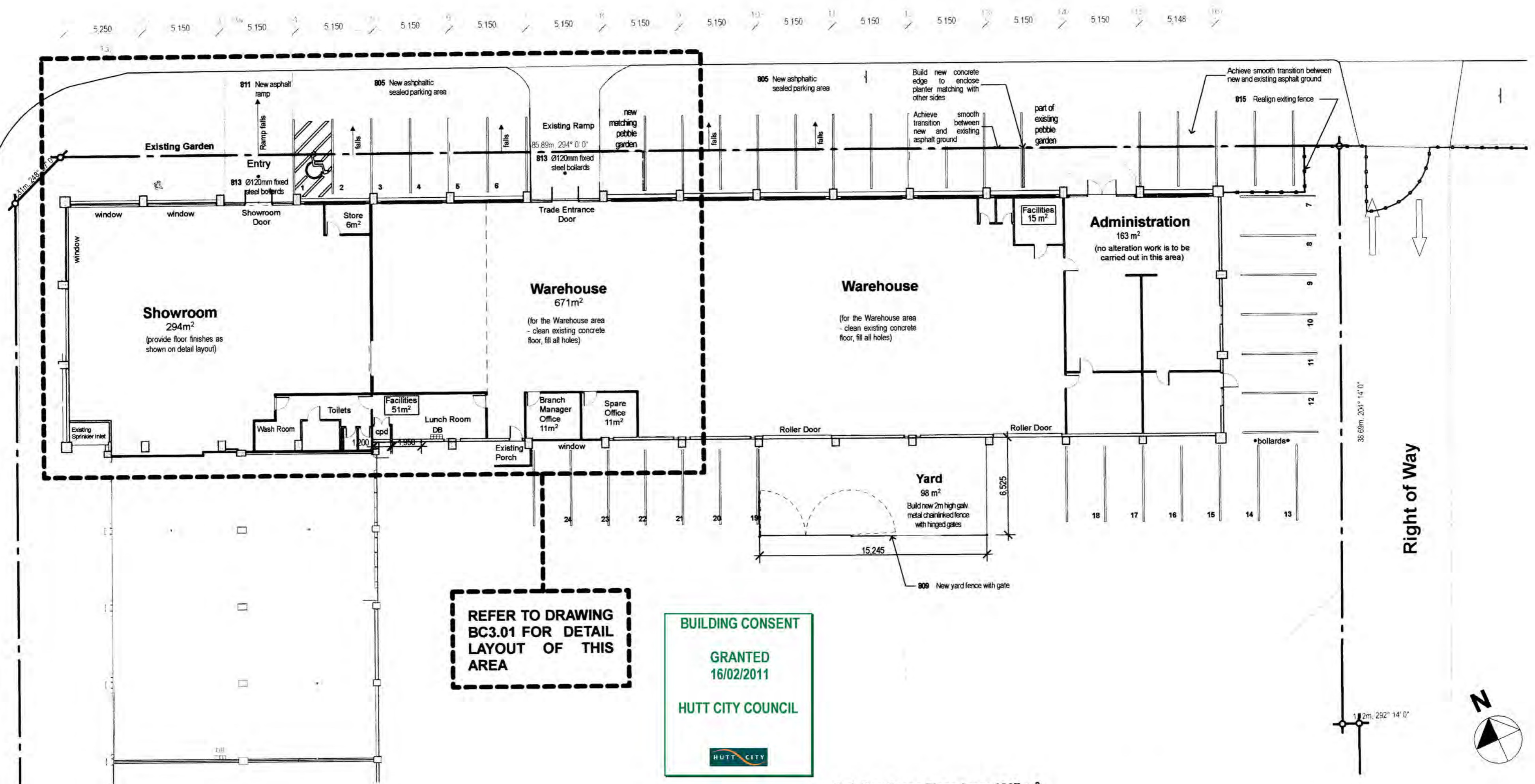
**813 Ø120mm fixed steel bollards**  
Bolt 1m high Ø120mm concrete filled & capped galvanised steel pipe to ground in front of Warehouse and Showroom entrances. Provide 1x bollard in front of each entrance

**815 Realign exiting fence**  
To northeast corner outside of the proposed Tenancy, remove part of the existing chain link fence. Provide additional posts, bracing members and chainlink mesh where necessary to suit new layout and to match with existing.

BOUVERIE STREET

BOUVERIE STREET

Right of Way



REFER TO DRAWING BC3.01 FOR DETAIL LAYOUT OF THIS AREA



Building Gross Floor Area: 1267 m²

PROPOSED SITE PLAN

Project: BUILDING ALTERATIONS  
Address: 40 BOUVERIE STREET, PETONE  
Client: BALANCED INVESTMENTS CONSTRUCTION LIMITED

**GOODSON ARCHITECTS**  
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DATE	17/01/2011	Drawing No:	Revision
JOB NO	317	BC2.02	
SCALE	1:200		
DRAWN	HL		
ORIGINAL	A2		

BUILDING CONSENT SET

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BOUVERIE STREET

HUTT CITY COUNCIL  
CONSENTS  
15 FEB 2011  
REVISED

Notes

3. Structure

301 125x9mm SHS column  
125x9mm SHS columns at 4.0 m centres fixed at the base to the concrete slab and at the top to the underside of the existing steel portal frames. To the base of the SHS column weld a 320x125x10mm MS plate fixed to the floor with 2M16 Epcan anchors embedded in concrete to 120mm minimum. Fill DPC between base plate and concrete. To the top of the SHS column weld a 320x150x10mm MS plate fixed to the portal frame with 2M16 bolts. Refer to structural engineer's details and calculations.

4. Enclosure

446 New entrance doors  
New powdercoated hinged entrance door unit installed between columns. Refer to Door & Window Schedule, Engineer's details and detail drawings. Confirm measurements on site before fabrication. Also install entrance mat in front of doorway as specified.

5. Interior

509 New kitchen joinery  
Provide and install flatpack kitchen joinery units. One unit of 900mm wide two-door cupboard suitable to install selected sink above, one unit of 600mm wide single door cupboard and a four-drawer unit. All cabinets are to be made from 16mm melamine on MDF carcasses with 18mm MDF doors finished with a tough 2mm pvc trim. All base units to come with adjustable feet and toekick panels for installation. Colour selection/Provide selected high pressure laminate benchtop

515 SF 3300  
Build internal non loadbearing wall with drywall steel stud interior partition system suitable for 3.3m suspended ceiling height. USG Drywall Steel Stud and Track system with stud size is to be 75x35mm 0.55BMT @600mm centres - unless otherwise specified by Engineer. Construct associated supporting / bracing members as specified by the Engineer. Nog for all fittings, fixtures, linings, bracing panels & trims. Screw fix 10mm thick GIB lining to framing in accordance to manufacturer's instructions (Aqualine GIB to wall adjacent to tub and sinks) and allow for paint finish. Also refer to Engineer's drawings & Ceiling Layout

516 TP 3300  
Build internal non loadbearing walls with 140x45mm MSG8 timber stud framing @ 600mm centres for 3.3m suspended ceiling height, with steel post structure and fixing details as specified by the Engineer and in accordance with NZS 3604. Nog for all fittings, fixtures, linings, bracing panels & trims. Fix 10mm thick standard GIB lining to timber framing and allow for paint finish. Also refer to Engineer's drawings & Ceiling Layout

517 TF 2400  
Build internal non loadbearing walls with 90x45mm MSG8 timber stud framing @ 600mm centres for 2.4m suspended ceiling height, in accordance with NZS 3604. Nog for all fittings, fixtures, linings, bracing panels & trims. Fix 10mm thick GIB lining to timber framing (Aqualine GIB to wall adjacent to tub and sinks) and allow for paint finish. Also refer to Engineer's drawings & Ceiling Layout

522 Ceiling joists  
Install 140x45mm MSG8 timber ceiling joists spanning between new and existing walls at height as specified on the drawings. Fix continuous 140x45mm stringer to existing concrete wall with M12 Chemset anchors @1200mm centres to support the ceiling joists. Ceiling joists over the Toilet area will be spaced @450mm centres while the remain area - including over the lunch room, wash room and new offices will be spaced @900mm centres. Install trimmer joists for ceiling openings. Line underside ceiling with GIB plasterboard.

7. Services

723 Reinstall water boiling unit  
Remove remove boiling water unit from existing lunchroom and reinstall in new lunchroom above sink. Provide water supply and power for the unit

724 Check existing Acc. WC  
Check that the existing Accessible WC complies with NZS 4121:2001. The minimum internal dimension shall be 1.9x1.6m with 760mm wide clear door opening. Also check that all fittings including toilet pan, washbasin, taps, handles, door lock, basin, grabrails, kick plate are of complying types. Provide & install or replace with complying ones where required. Also check NZS 4121 figures attached.

8. External

805 New asphaltic sealed parking area  
25mm thick asphalt over compacted base for new parking area. New surface is to fall towards the road and must have smooth transition with adjacent surfaces, ramps and pavement. Paint carpark markings for parks-on-ground as shown including one accessible parking

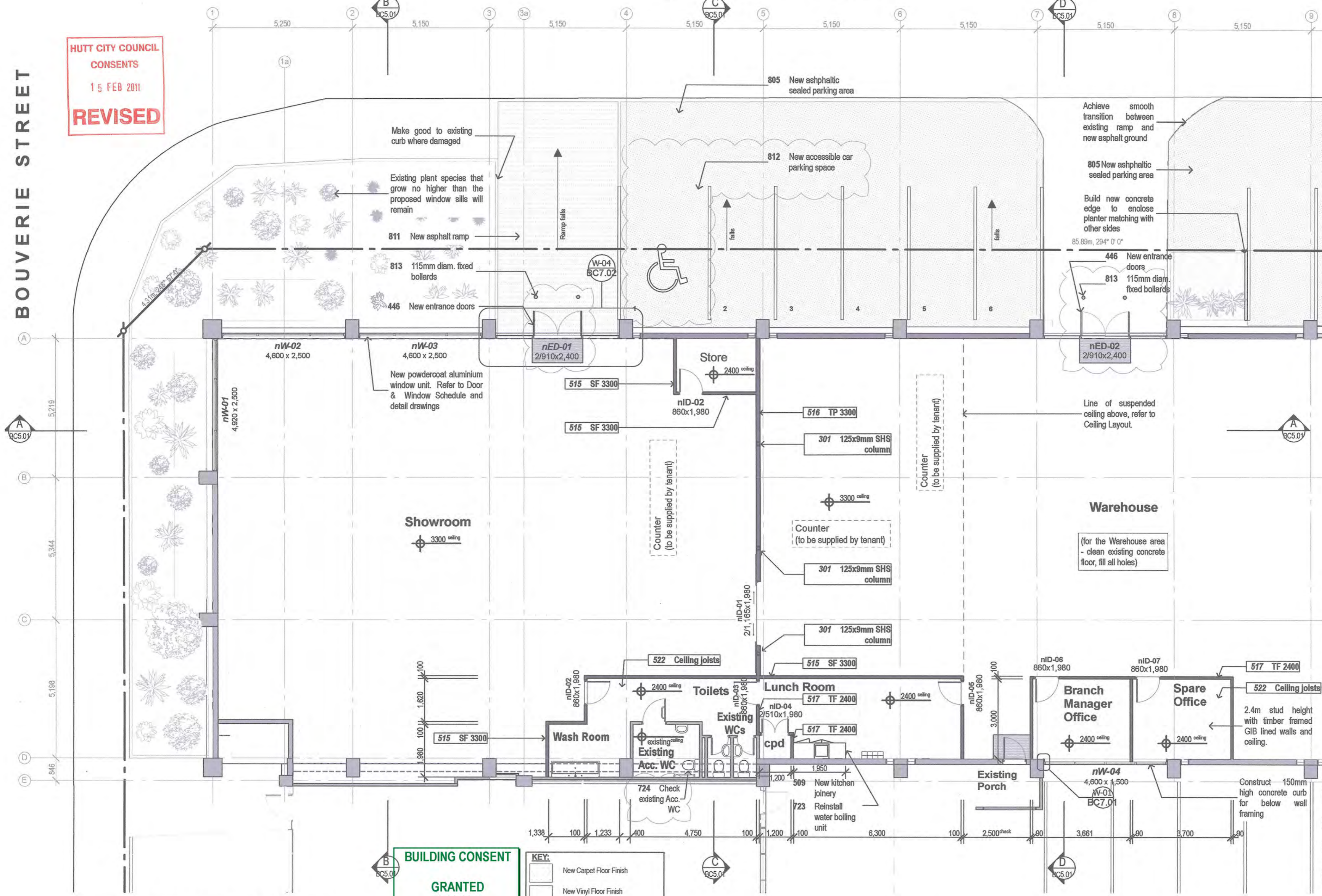
811 New asphalt ramp  
In front of the proposed Showroom entrance, remove existing pavers and construct an asphalt ramp to create an accessible path from parking area to Showroom with gradient at no steeper than 1 in 20.

812 New accessible car parking space  
The new accessible car park space shall comply with NZS4121:2001 and have the minimum dimension of 3.5m wide x 5m long. The asphalt ground should slope at no steeper than 1:50 in any direction. The space shall be marked with the international symbol of access and be marked in white colour. Make sure there is an accessible route that is free of kerbs and obstructions from the park to the showroom entrance doors.

813 114mm diam. fixed bollards  
For the bollards located in front of trade and showroom entrances, cast the 114mm diam concrete filled round galvanised steel bollards in concrete footing 400 x 400 x 400mm deep with bollard setting into concrete 300mm deep. Comply with loading codes NZS 4203 and AS/NZS 1170. Bollard caps are to be of a simple dome style to match bollard. Top of bollards are to be 0.9m high above ground

Rev. B Bollards note revised 14/02/2011  
Rev. A Bollards deleted, Acc. WC and access requirement notes added 14/02/2011

BOUVERIE STREET



BUILDING CONSENT SET

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HUTT CITY COUNCIL

KEY:

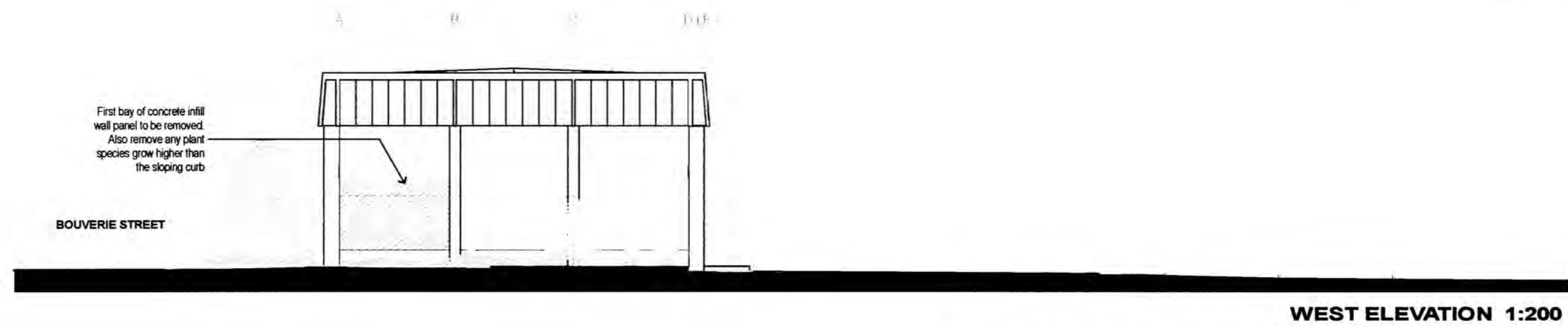
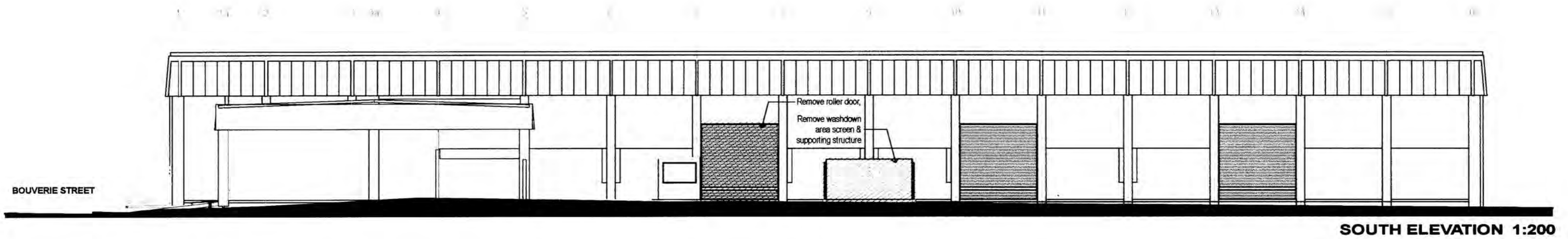
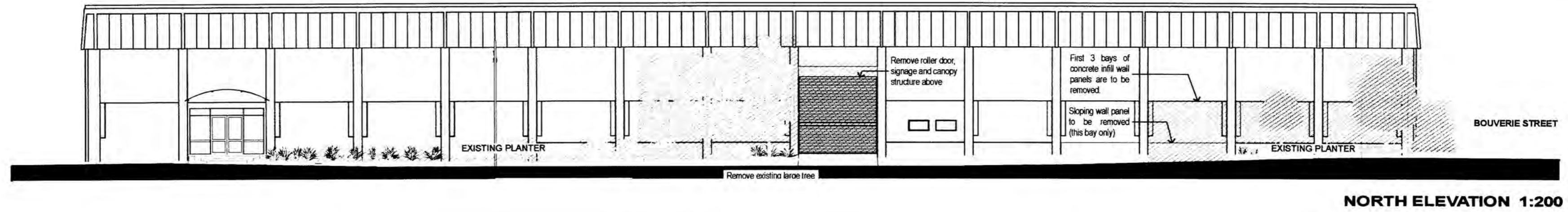
[Symbol]	New Carpet Floor Finish
[Symbol]	New Vinyl Floor Finish
[Symbol]	Existing Wall
[Symbol]	New Wall
nED-	New Exterior Door Unit (refer to Door & Window Schedule)
nID-	New Interior Door (refer to Door & Window Schedule)
nW-	New Window Unit (refer to Door & Window Schedule)

Project: BUILDING ALTERATIONS  
Address: 40 BOUVERIE STREET, PETONE  
Client: BALANCED INVESTMENTS CONSTRUCTION LIMITED

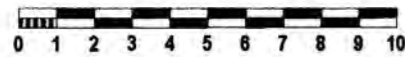
GOODSON ARCHITECTS  
LIMITED  
UNIT 23, 13 LEEDS STREET  
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TEL: 04-381 0388 FAX: 04-381 0389  
EMAIL: mail@goodsonarchitects.co.nz

DATE	17/01/2011	Drawing No:	BC3.01	Revision	B
JOB NO	317	SCALE	1:100		
DRAWN	HL				
ORIGINAL	A2				

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JOB NO	317	<b>BC4.01</b>	
SCALE	1:200		
DRAWN	HL		
ORIGINAL	A2		

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Notes

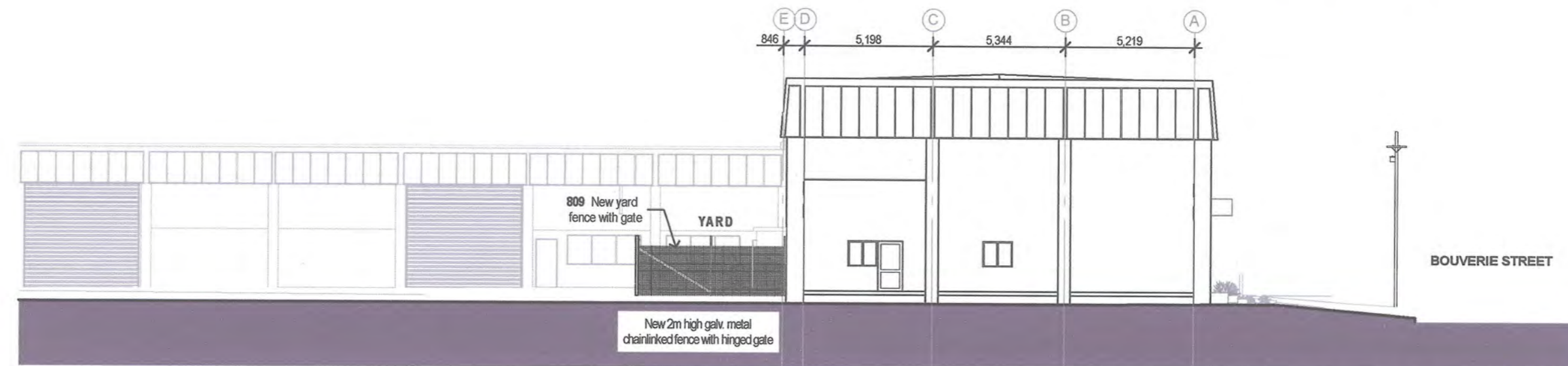
4. Enclosure
- 443 **Fill north roller door opening**  
To fill the existing north facing roller door opening, build new timber wall framing clad with Villaboard and install new aluminium hinged entrance door unit. Refer to Engineer'd drawings, section and detail drawings.
  - 445 **New window**  
New powdercoated aluminium window unit. Refer to Door & Window Schedule and detail drawings
  - 446 **New entrance doors**  
New powdercoated hinged entrance doors. Refer to Door & Window Schedule and detail drawings
8. External
- 805 **New asphaltic sealed parking area**  
25mm thick asphalt over compacted base for new parking area. New surface to fall out towards the road and must be made flush with existing adjacent surfaces and pavement
  - 806 **New entrance canopies**  
Build new metal tube frame canopies (x2) over new entrance doors clad with corrugated panel to match with existing one along the north façade. Refer to Engineer's drawings for detail of fixing



NORTH ELEVATION 1:200



SOUTH ELEVATION 1:200



EAST ELEVATION 1:200

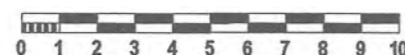


WEST ELEVATION 1:200

**BUILDING CONSENT**  
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16/02/2011  
**HUTT CITY COUNCIL**

**BUILDING CONSENT SET**

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**PROPOSED ELEVATIONS**

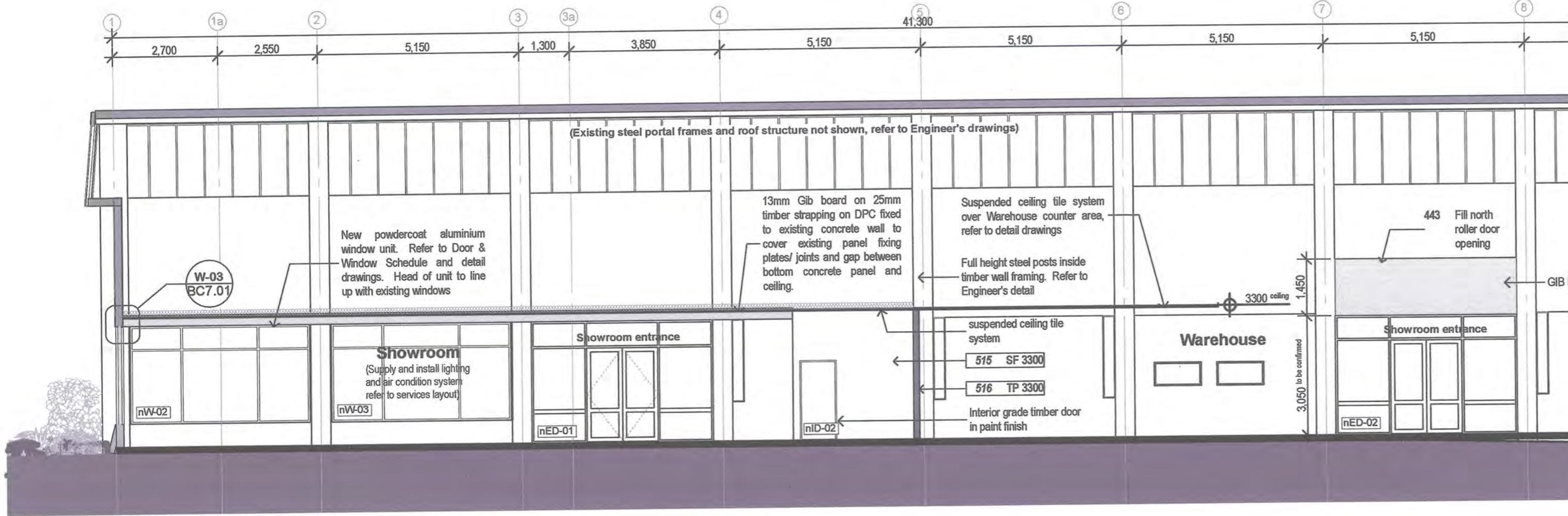
Project: **BUILDING ALTERATIONS**  
Address: **40 BOUVERIE STREET, PETONE**  
Client: **BALANCED INVESTMENTS CONSTRUCTION LIMITED**

**GOODSON ARCHITECTS**  
LIMITED  
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DATE	17/01/2011	Drawing No:	Revision
JOB NO	317	<b>BC4.02</b>	
SCALE	1:200		
DRAWN	HL		
ORIGINAL	A2		

Page 288 of 313

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A Section A 1:100 BC3.01

Notes

4. Enclosure

443 Fill north roller door opening  
To fill the existing north facing roller door opening, build new timber wall framing cladd with Villaboard and install new aluminium hinged entrance door unit. Refer to Engineer's drawings, section and detail drawings.

444 Fill south roller door opening  
To fill the existing north facing roller door opening, build new timber wall framing cladd with Villaboard and install new aluminium window unit for new Offices. Refer to Engineer's drawings, section and detail drawings.

5. Interior

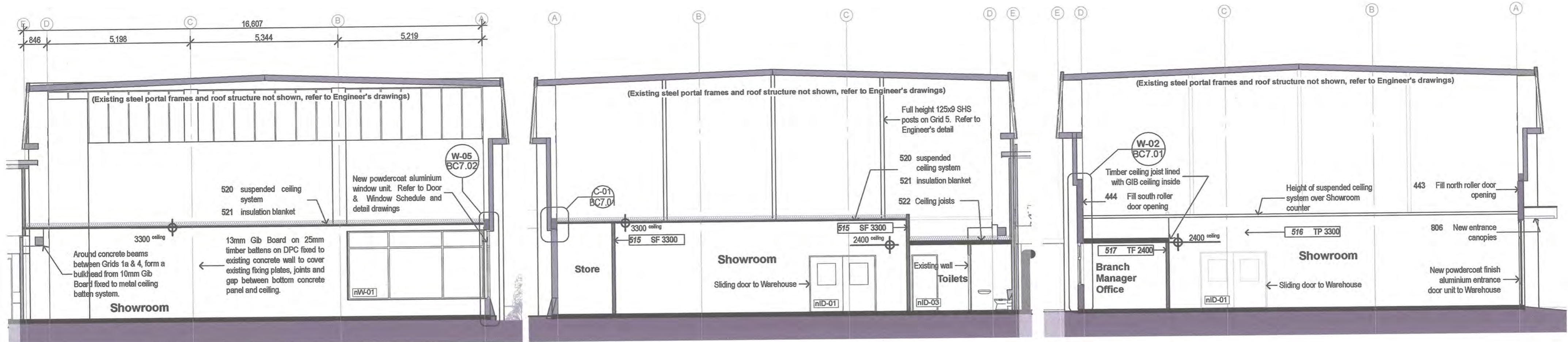
515 SF 3300  
Build internal non loadbearing wall with drywall steel stud interior partition system suitable for 3.3m suspended ceiling height. Nog for all fittings, fixtures, linings, bracing panels & trims. Screw fix 10mm thick GIB lining to framing in accordance to manufacturer's instructions (Auqaline GIB to wall adjacent to tub and sinks) and allow for paint finish. Also refer to Engineer's drawings & Ceiling Layout

516 TP 3300  
Build internal non loadbearing walls with 140x45mm MSG6 timber stud framing @ 600mm centres for 3.3m suspended ceiling height, with steel post structure and fixing details as specified by the Engineer. Nog for all fittings, fixtures, linings, bracing panels & trims. Fix 10mm thick standard GIB lining to timber framing and allow for paint finish. Also refer to Engineer's drawings & Ceiling Layout

517 TF 2400  
Build internal non loadbearing walls with 90x45mm MSG6 timber stud framing @ 600mm centres for 2.4m suspended ceiling height, with steel post structure and fixing details as specified by the Engineer. Nog for all fittings, fixtures, linings, bracing panels & trims. Fix 10mm thick GIB lining to timber framing (Auqaline GIB to wall adjacent to tub and sinks) and allow for paint finish. Also refer to Engineer's drawings & Ceiling Layout

8. External

806 New entrance canopies  
Build new metal tube frame canopies (x2) over new entrance doors cladded with corrugated panel to match with existing one along the north façade. Refer to Engineer's drawings for detail of fixing



B Section B 1:100 C SECTION C 1:100 D SECTION D 1:100 BC3.01

BUILDING CONSENT SET

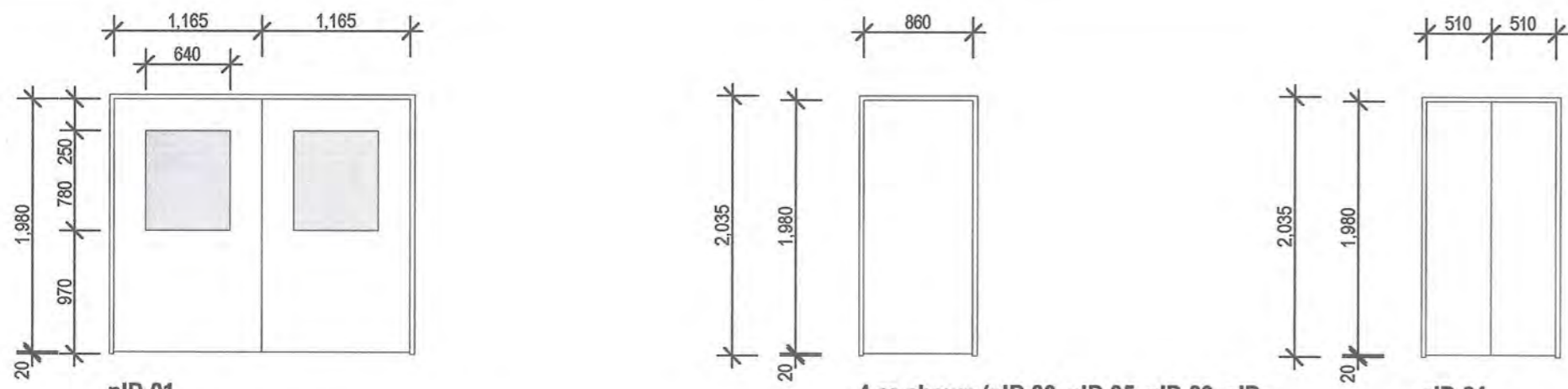
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**CROSS SECTIONS**  
BUILDING ALTERATIONS  
40 BOUVIERIE STREET, PETONE  
Client: BALANCED INVESTMENTS CONSTRUCTION LIMITED

**GOODSON ARCHITECTS**  
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UNIT 23, 13 LEEDS STREET  
WELLINGTON, NEW ZEALAND  
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DATE	17/01/2011	Drawing No:	Revision
JOB NO	317	BC5.01	
SCALE	1:100		
DRAWN	HL		
ORIGINAL	A2		

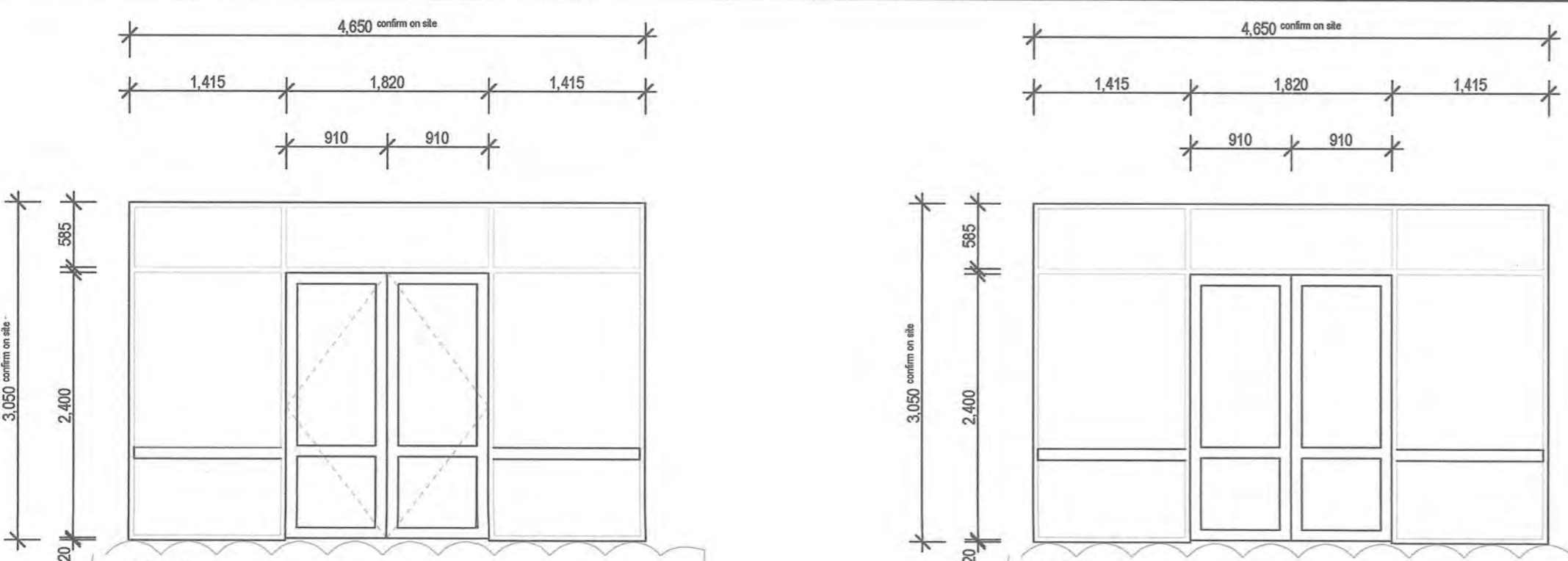
CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION. ALSO REFER TO ENGINEER'S DRAWINGS



- nID-01**
- solid core timber bi-parting sliding door with vision panels as shown and flush meeting stile
  - provide and install commercial grade sliding door track system as specified
  - glazing to be 5mm thick annealed glass complying with NZS4223 table 3.2
- 4 as shown (nID-03, nID-05, nID-06, nID-07); 2 handed (nID-02, nID-02)**
- solid core timber interior grade single hinged door in paint finish
- nID-04**
- solid core timber interior grade double hinged door in paint finish
  - provide heavy duty door hinges and handles
  - colour and locks are to be confirmed later

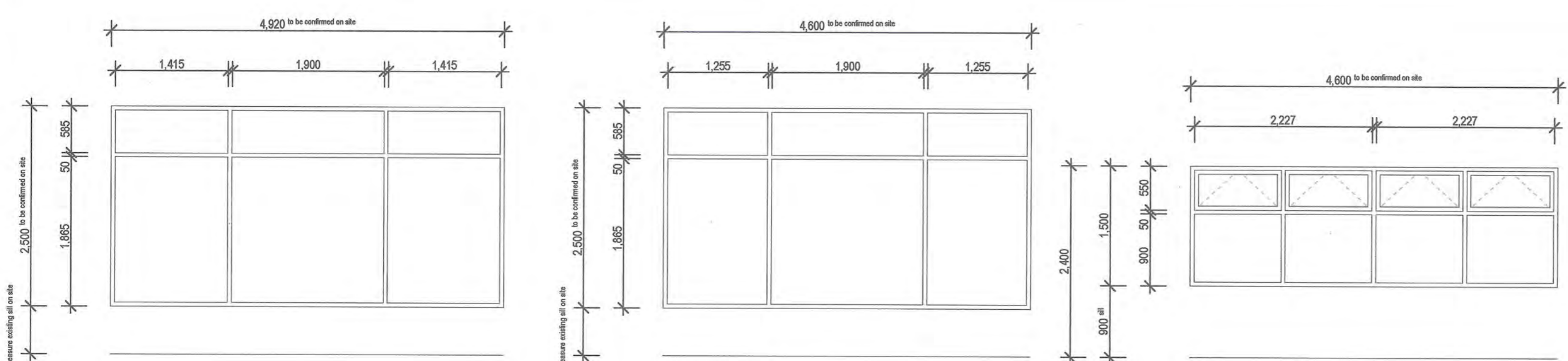
INTERIOR DOORS

HUTT CITY COUNCIL  
 CONSENTS  
 14 FEB 2011  
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- nED-01**
- check opening and confirm dimensions on site before fabrication
  - powdercoat finish aluminium section door unit
  - hinged doors, swing out
  - glazing to be toughened glass with thickness complying with NZS4223 table 3.1
- nED-02**
- check opening and confirm dimensions on site before fabrication
  - powdercoat finish aluminium section door unit
  - hinged doors, swing out
  - glazing to be toughened glass with thickness complying with NZS4223 table 3.1

EXTERIOR DOORS



- nW-01**
- check opening and confirm dimensions on site and also refer to detail drawings
  - powdercoat aluminium section window
  - glazing to be toughened glass with thickness complying with NZS4223 table 3.1
- nW-02, nW-03**
- check opening and confirm dimensions on site and also refer to detail drawings
  - powdercoat aluminium section window
  - glazing to be toughened glass with thickness complying with NZS4223 table 3.1
- nW-04**
- check opening and confirm dimensions on site and also refer to detail drawings
  - powdercoat aluminium section window
  - glazing to be toughened glass with thickness complying with NZS4223 table 3.1

WINDOWS

BUILDING CONSENT  
 GRANTED  
 16/02/2011  
 HUTT CITY COUNCIL

BUILDING CONSENT SET  
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WINDOW AND DOOR SCHEDULE

Project: BUILDING ALTERATIONS  
 Address: 40 BOUVERIE STREET, PETONE  
 Client: BALANCED INVESTMENTS CONSTRUCTION LIMITED

GOODSON ARCHITECTS  
 LIMITED  
 UNIT 23, 13 LEEDS STREET  
 WELLINGTON, NEW ZEALAND  
 TEL 04-381 0388 FAX 04-381 0389  
 EMAIL: mail@goodsonarchitects.co.nz

DATE	17/01/2011	Drawing No:	BC6.01	Revision	A
JOBNO	317				
SCALE	1:50				
DRAWN	HL				
ORIGINAL	A2				

**SERVICES DRAWINGS**

**FOR**

**PLUMBING WORLD SHOWROOM**

**AT**

**40 BOUVERIE STREET**  
**PETONE**

**FOR**

**BALANCED INVESTMENTS LIMITED**

*Spencer Holmes Limited*  
8 Willis Street  
P O Box 588  
**WELLINGTON**  
Phone: (04) 472 2261 Fax: (04) 471 2372



*Reference 100839B04*  
*January 2011*

BC110026

NO	REVISION	BY	DATE
A		PWL	

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The Contractor shall verify all dimensions on site.

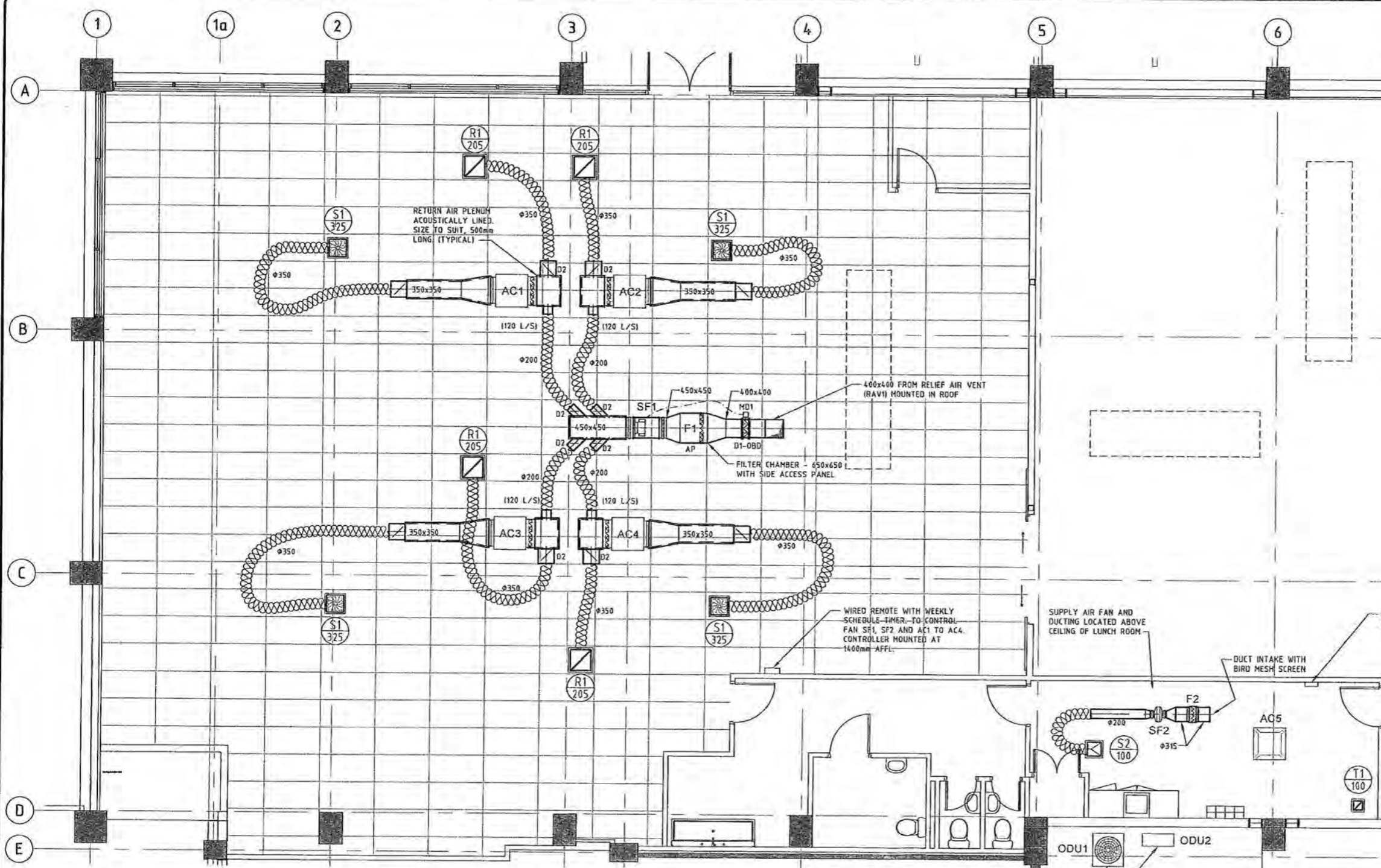
**GENERAL NOTES:**

- DRAWINGS TO BE READ IN CONJUNCTION WITH THE SERVICES SPECIFICATION
- FLEXIBLE DUCTING TO BE SECURIMAX LIMITED 'UNLOK' FRI INSULATED QUADROFLEX DUCTING
- FLEXIBLE CONNECTIONS EACH SIDE OF DUCT MOUNTED FANS AND AIR HANDLING UNITS TO BE ACOUSTIC TYPE.
- CEILING GRILLES TO HAVE SIDE ENTRY CUSHION HEADS
- MOTORISED PARALLEL BLADE DAMPER (MD1) TO BE OPEN / CLOSED CONTROL. DAMPERS TO BE CLOSED WHEN THE FRESH AIR SUPPLY FAN (SF1) IS NOT OPERATIONAL. ON STARTUP OF VENTILATION FAN, ALLOW A DELAY ON FAN RUNNING TO ALLOW DAMPERS TO BE DRIVEN OPEN.
- WIRED REMOTE CONTROL FOR AC5 TO BE LOCATED ON THE WALL OF THE LUNCH ROOM.
- ON/OFF CONTROL OF AC1 TO AC4 AND SUPPLY FANS (SF1) & (SF2) TO BE LINKED TO DAIKIN WIRED REMOTE CONTROLLER WITH WEEKLY SCHEDULE TIMER. OPERATING TIMES OF BUSINESS TO BE SCHEDULED INTO TIMER.
- LUNCH ROOM CEILING CASSETTE UNIT TO BE CONTROLLED BY DAIKIN SIMPLE REMOTE CONTROLLER MOUNTED ON WALL IN LUNCH ROOM.

**BUILDING CONSENT**

**GRANTED**  
16/02/2011

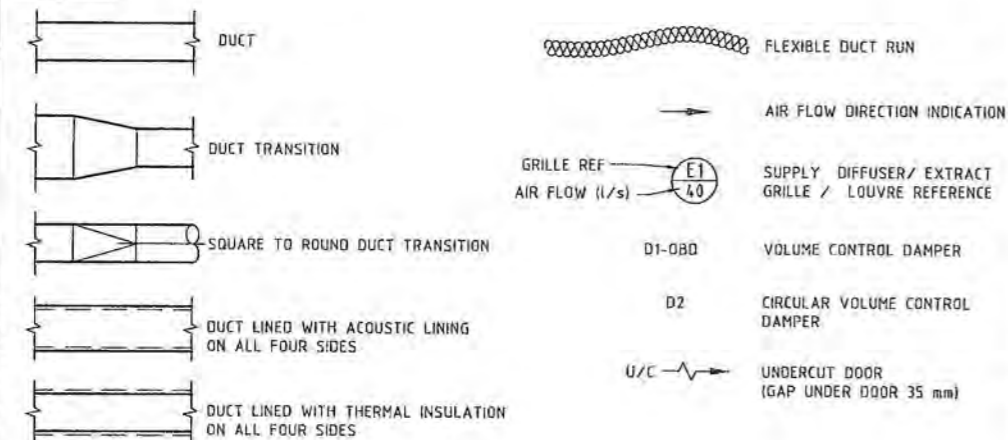
**HUTT CITY COUNCIL**



**PLAN - SHOWROOM**  
150 AT A1 (1:100 AT A3)

LOCATION OF OUTDOOR UNITS. UNITS TO BE MOUNTED 500mm ABOVE GROUND ON BRACKETS FIXED TO WALL

**LEGEND:**



REF	ITEM	DUTY	SUITABLE TYPE
RAV1	ROOF MOUNTED INTAKE COWL	450 L/S	FANTECH - RELIEF AIR VENT RV1
SF1	FRESH AIR SUPPLY FAN	450 L/S AT 360 Pa	FANTECH - POWERLINE SERIES MODEL PCEEC35/29
SF2	TOILET EXTRACT FAN	100 L/S AT 275 Pa	FANTECH - VENTAJOR INLINE CENTRIFUGAL FAN VM-150L
AC1-4	INDOOR AIR CONDITIONER UNITS (4 OFF)	325 L/S COOLING 9 kW TOTAL HEATING 10 kW	DAIKIN VRV III MODEL FXH2080HAYE
ODU1	AIR CONDITIONING OUTDOOR UNIT	MATCHED TO SERVE UNITS AC1, AC2, AC3 & AC4	DAIKIN
AC5	CEILING MOUNTED AIR CONDITIONING UNIT	150 L/S COOLING 2.8 kW TOTAL HEATING 3.2 kW	DAIKIN CEILING MOUNTED CASSETTE MODEL FXZ025SHV1B
ODU2	AIR CONDITIONING OUTDOOR UNIT	MATCHED TO SERVE UNIT AC5	DAIKIN
F1	FILTER IN FILTER CHAMBER	FILTER HOLDING FRAME S/S 610x610	IPSCO - VILEDON P15/3505
F2	FILTER IN FILTER CHAMBER	DUCT MOUNTED FILTER UNIT COMPLETE WITH FILTER MEDIA	FANTECH FILTER FGR315

REF	ITEM	DUTY	SUITABLE TYPE
S1	SUPPLY DIFFUSER	450x450mm NOMINAL NECK CEILING RADIAL SWIRL DIFFUSER	HOLYOAKE SERIES CRS450 DUCT SIZE Ø350
S2	SUPPLY DIFFUSER	300x300 mm 3 WAY BLOW	HOLYOAKE SERIES CMP TYPE 3A
R1	RETURN GRILLE	450x450 mm	HOLYOAKE SERIES HI-35
T1	TRANSFER GRILLE	200x200 mm	HOLYOAKE SERIES HI-35

**SpencerHolmes**  
engineers · surveyors · planners

Level 6  
PO Box 588  
Phone (04) 472-2261  
Email admin@spencerholmes.co.nz

8 Willis Street  
Wellington, NZ  
Fax (04) 471-2372

CLIENT  
**BALANCED INVESTMENTS LIMITED**

PRINCIPAL CONSULTANT  
**GOODSON ARCHITECTS LIMITED**

PROJECT  
**PLUMBING WORLD  
40 BOUVERIE STREET  
PETONE**

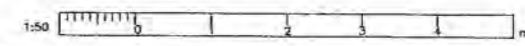
DRAWING TITLE  
**MECHANICAL SERVICES  
SHOWROOM  
AIRCONDITIONING**

DESIGNED: PWN  
DRAWN: PWN  
CHECKED: PWN

DATE FILE: E10-0839-50  
FIELD BOOK: -  
DATE: JAN11

SCALE: 1:50 AT A1  
DRAWING NUMBER: E10-0839-50

SIZE: A1  
REV: -



PLOT DATE: 12/07/2011 2:41:10 P.M.

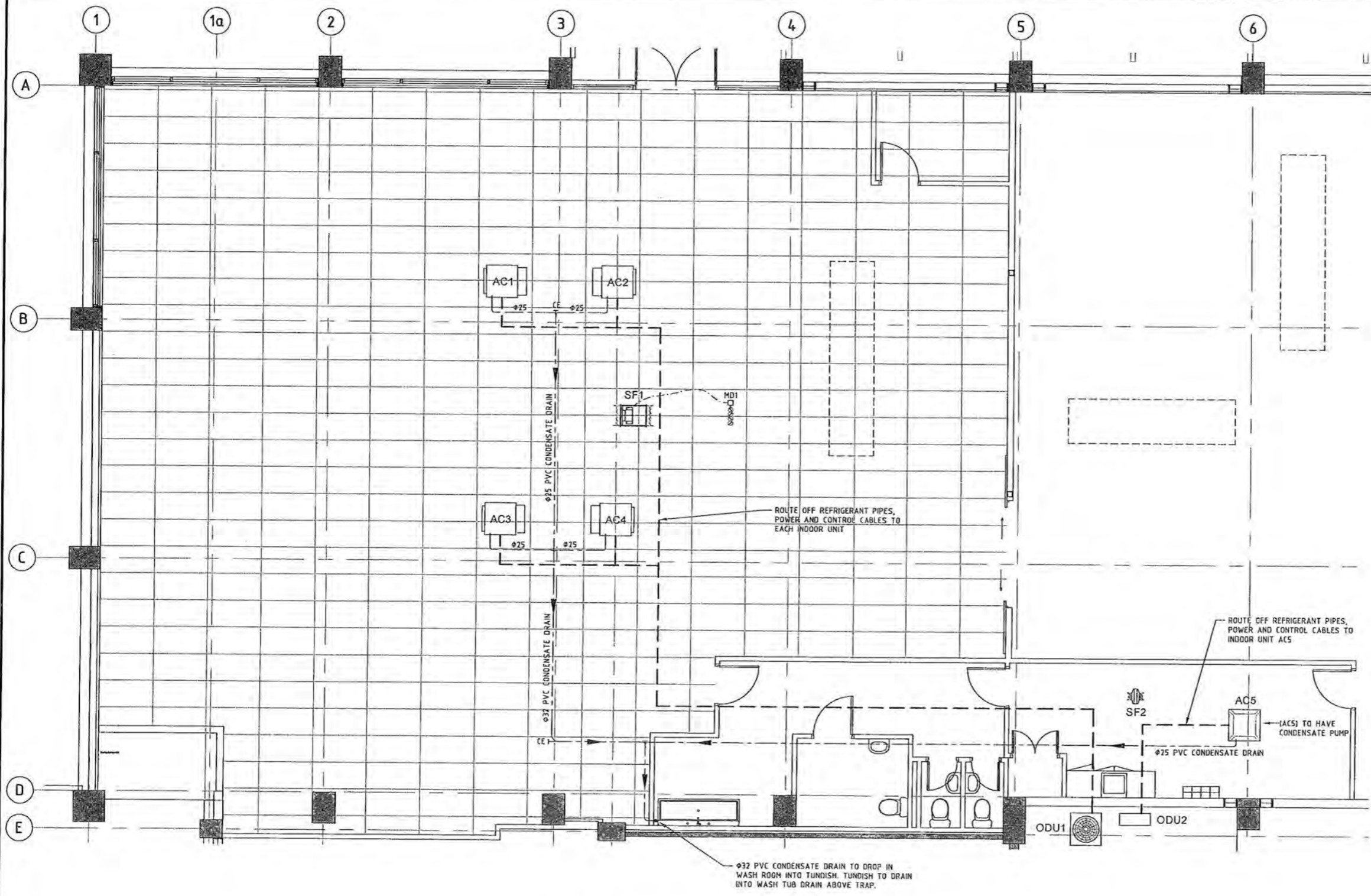
ATTACHED XREF:

RESOURCE MANAGEMENT · LAND PLANNING · SURVEYING · STRUCTURAL · CIVIL · FIRE

BC110026

NO	REVISION	BY	DATE
A		PWL	

Copyright of this drawing is vested in Spencer Holmes Ltd. The Contractor shall verify all dimensions on site.

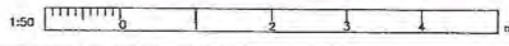


PLAN - SHOWROOM  
1:50 AT A1 (1:100 AT A3)

**BUILDING CONSENT**

**GRANTED**  
**16/02/2011**

**HUTT CITY COUNCIL**

**SpencerHolmes**  
engineers · surveyors · planners

Level 6  
PO Box 588  
Wellington, NZ  
Phone (04) 472-2261  
Email admin@spencerholmes.co.nz

CLIENT  
**BALANCED INVESTMENTS LIMITED**

PRINCIPAL CONSULTANT  
**GOODSON ARCHITECTS LIMITED**

PROJECT  
**PLUMBING WORLD  
40 BOUVERIE STREET  
PETONE**

DRAWING TITLE  
**MECHANICAL SERVICES  
SHOWROOM  
AIRCONDITIONING**

DESIGNED PJM  
DRAWN PWL  
CHECKED PJM

SCALE  
1:50 AT A1

DRAWING NUMBER  
**E10-0839-51**

SIZE  
A1

REV  
-

PLOT DATE: 12/01/2011 2:41:18 p.m.

ATTACHED XREF

RESOURCE MANAGEMENT · LAND PLANNING · SURVEYING · STRUCTURAL · CIVIL · FIRE

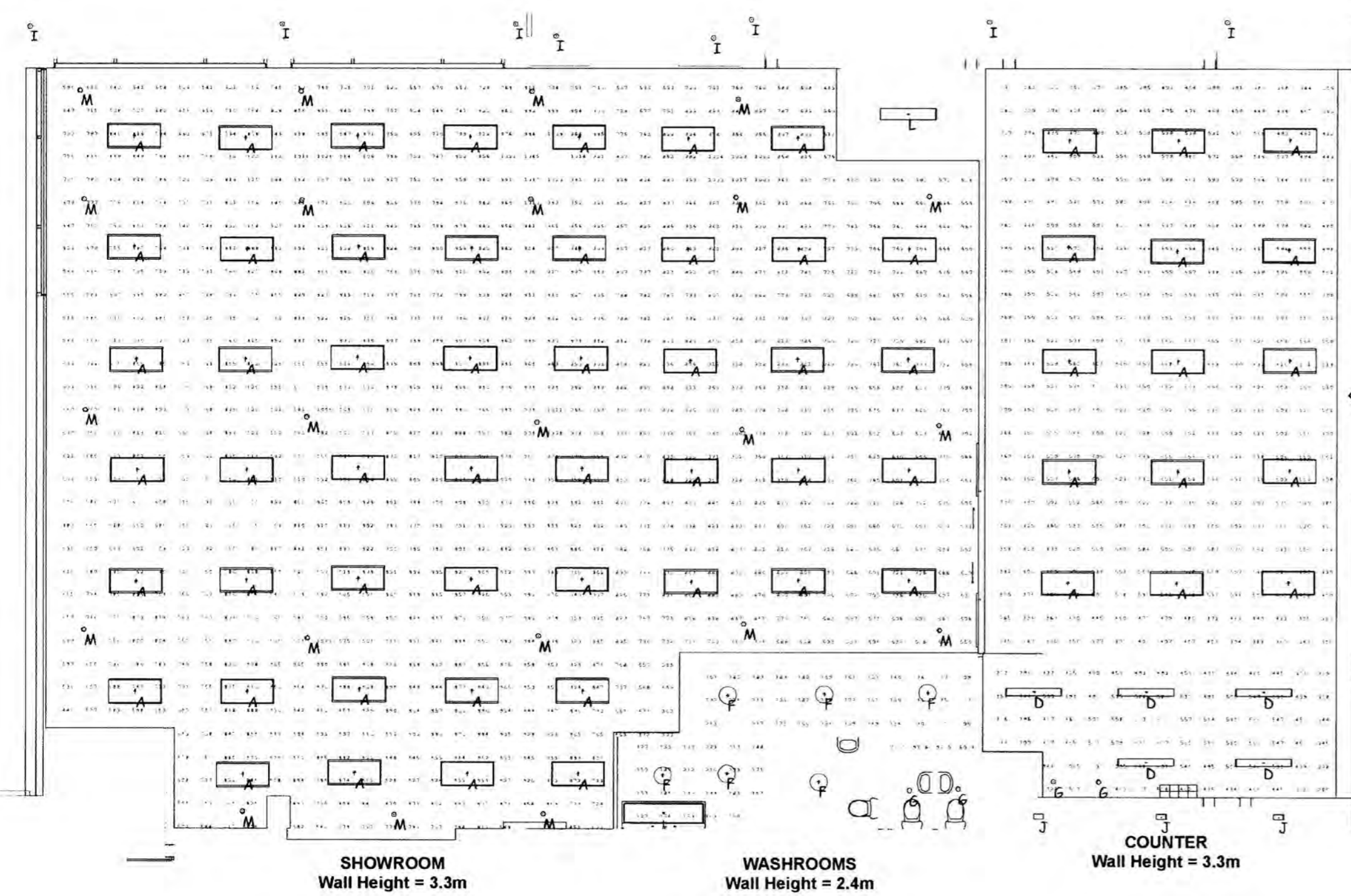
CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION. ALSO REFER TO ENGINEER'S DRAWINGS

Please Note Emergency Design by other to be approved

Please allow for Control of Lights for Daylight Contribution  
This is to be discussed with Architect and Principal as more information on Daylight Factor is required

Label	CalcType	Units	Avg	Max	Min	Min/Avg	Min/Max
Branch_Manager_Workplane	Illuminance	Lux	342.54	462	202	0.59	0.44
Counter_Workplane	Illuminance	Lux	526.45	670	242	0.46	0.36
Lunch_Workplane	Illuminance	Lux	548.24	1575	244	0.45	0.15
Showroom_Workplane	Illuminance	Lux	812.40	1051	300	0.37	0.29
Spare Office_Floor	Illuminance	Lux	235.31	297	159	0.67	0.53
Toilet_1_Floor	Illuminance	Lux	448.08	552	353	0.79	0.64
Toilet_Floor_1	Illuminance	Lux	447.60	539	345	0.77	0.64
Warehouse_Workplane	Illuminance	Lux	496.68	616	211	0.42	0.34
Wash_Floor	Illuminance	Lux	163.95	224	75.2	0.46	0.34

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
[Symbol]	63	A	SINGLE	7392	0.720	ADV 32BY12
[Symbol]	24	B	SINGLE	20520	0.720	4x54w Hi Bay
[Symbol]	2	C1	SINGLE	5400	1.000	Kurve 2 x42w
[Symbol]	9	D	SINGLE	6400	0.720	ADV Decorative Batten
[Symbol]	6	F	SINGLE	2400	1.000	ADV Petra opale 380 2x26w
[Symbol]	6	G	SINGLE	1465.8	1.000	LED Downlight
[Symbol]	22	I	SINGLE	4700	1.000	LED Inground Uplighter
[Symbol]	4	J	SINGLE	1130	1.000	60w Bulkhead
[Symbol]	2	K	SINGLE	27500	0.980	LED Flood
[Symbol]	22	M	SINGLE	5900	0.720	ADV 70w Metal Halide Adjustable
[Symbol]	2	L	SINGLE	6700	1.000	ADV 228 Batten



SHOWROOM  
Wall Height = 3.3m

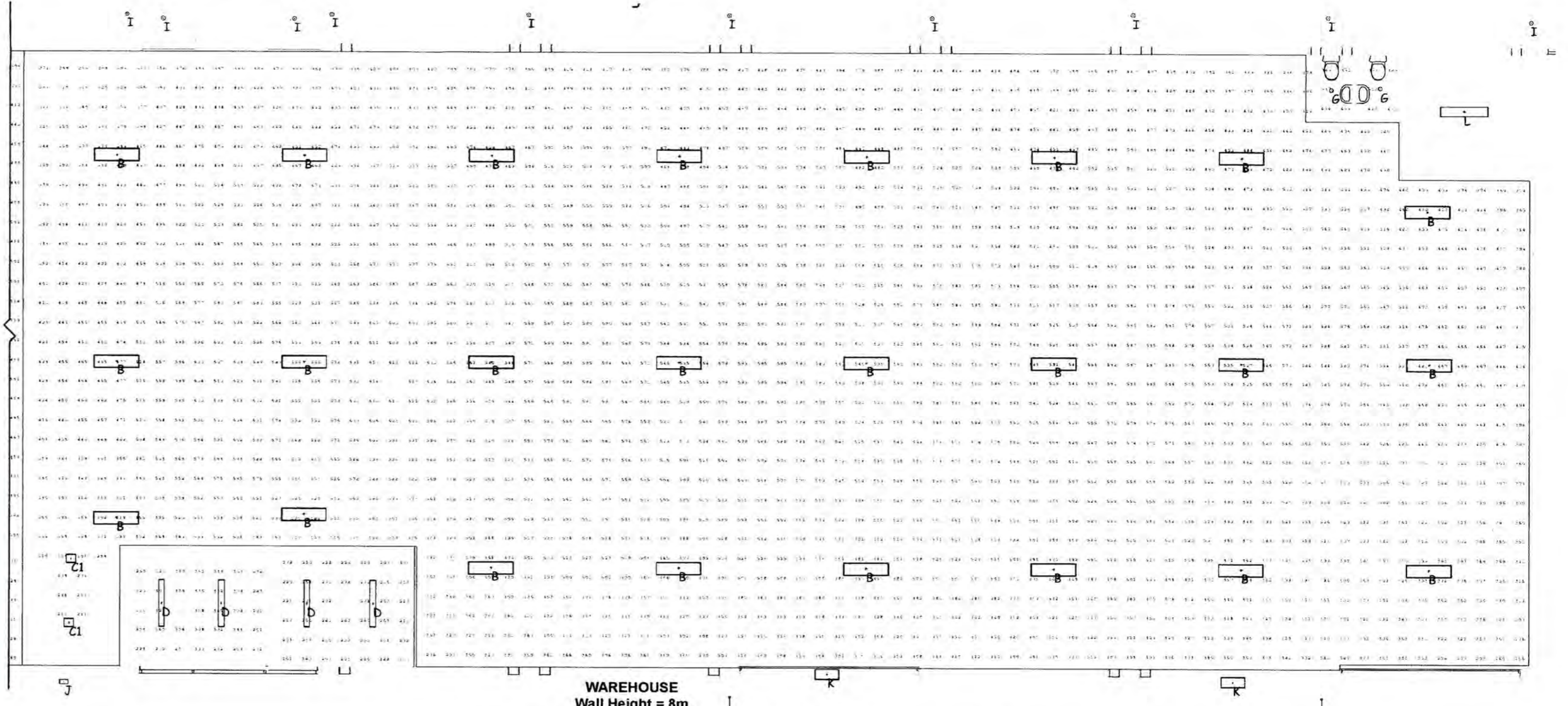
WASHROOMS  
Wall Height = 2.4m

COUNTER  
Wall Height = 3.3m

Warehouse  
Area = 571.71 SqM  
Total Watts = 5518  
Lighting Power Density = 9.652 Watts/SqM

Counter  
Area = 119.60 SqM  
Total Watts = 1720  
Lighting Power Density = 14.381 Watts/SqM

Showroom  
Area = 293.86 SqM  
Total Watts = 5572  
Lighting Power Density = 18.961 Watts/SqM



WAREHOUSE  
Wall Height = 8m

BUILDING CONSENT SET  
© Copyright Goodson Architects Ltd 2011

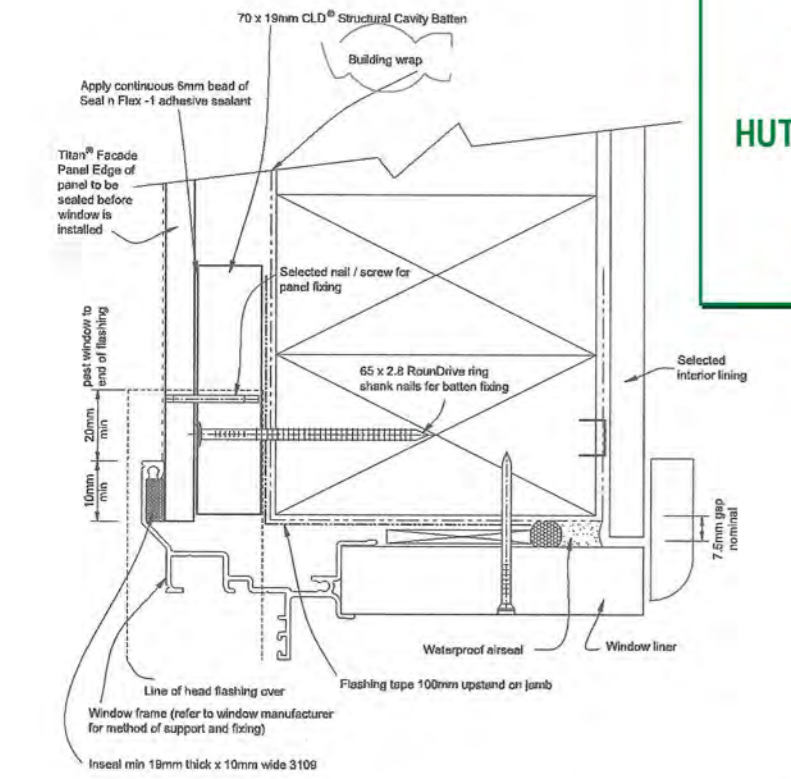
Project: BUILDING ALTERATIONS  
Address: 40 BOUVERIE STREET, PETONE  
Client: BALANCED INVESTMENTS CONSTRUCTION LIMITED

GOODSON ARCHITECTS LIMITED  
UNIT 23, 13 LEEDS STREET  
WELLINGTON, NEW ZEALAND  
TEL 04-381 0388 FAX 04-381 0389  
EMAIL: mail@goodsonarchitects.co.nz

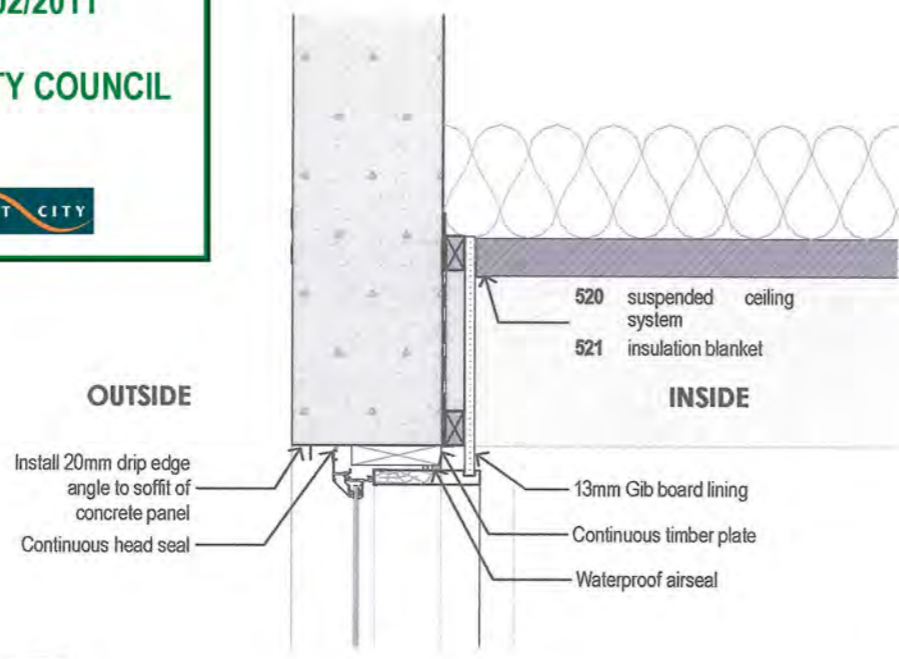
DATE	17/01/2011	Drawing No:	Revision
JOBNO	317	BC6.06	
SCALE	1:100		
DRAWN	HL		
ORIGINAL	A2		



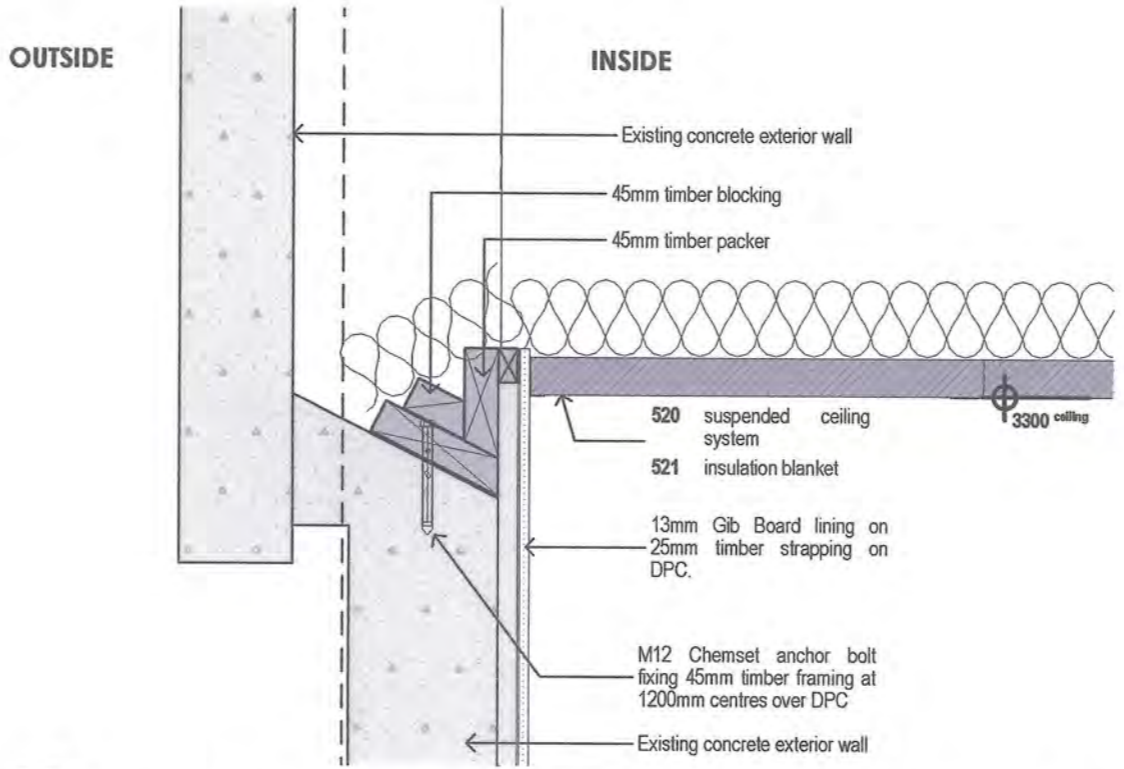
**BUILDING CONSENT**  
**GRANTED**  
 16/02/2011  
**HUTT CITY COUNCIL**



**Titan Board Window Jamb Detail** NTS



**W-03 BC5.01** Window Detail 03 1:10



**C-01 BC5.01** Concrete Panel and Ceiling Junction Detail 1:10

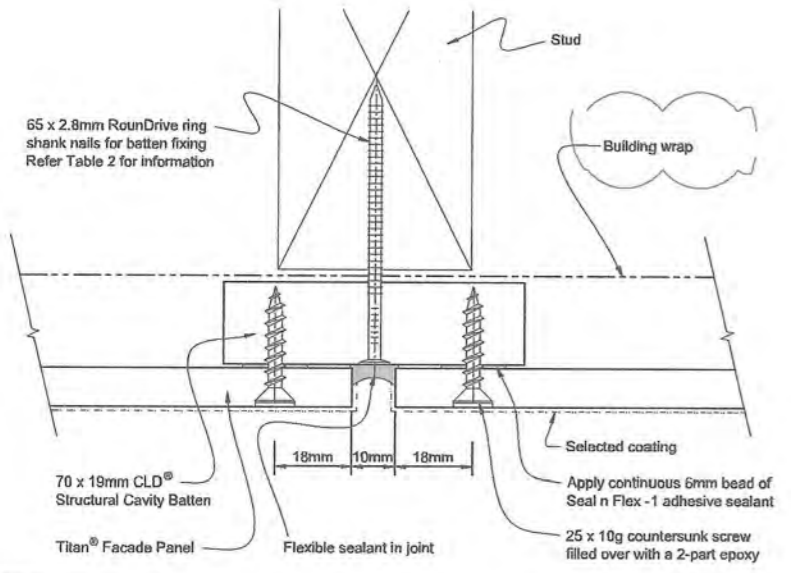
**Notes**

5. Interior

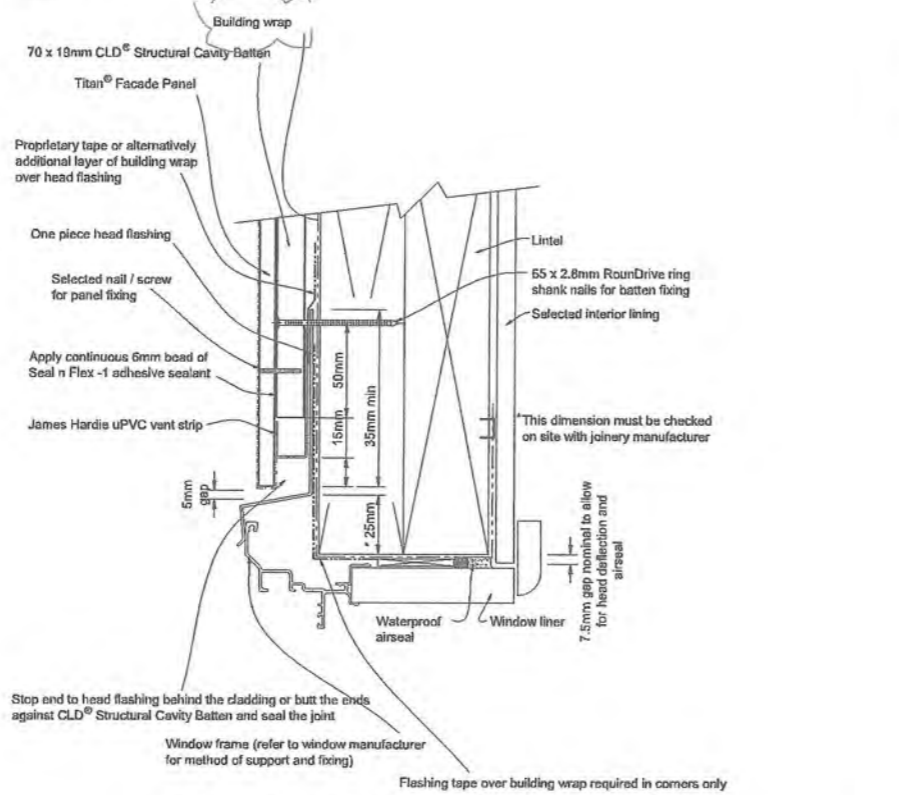
520 *suspended ceiling system*  
 install suspended ceiling grids with 1200x600mm ceiling tiles. Put a layer of R2.4 insulation blanket above the ceiling tiles of the showroom area

521 *insulation blanket*  
 install insulation blanket with a min. R2.4 above the suspended ceiling tiles of the showroom area

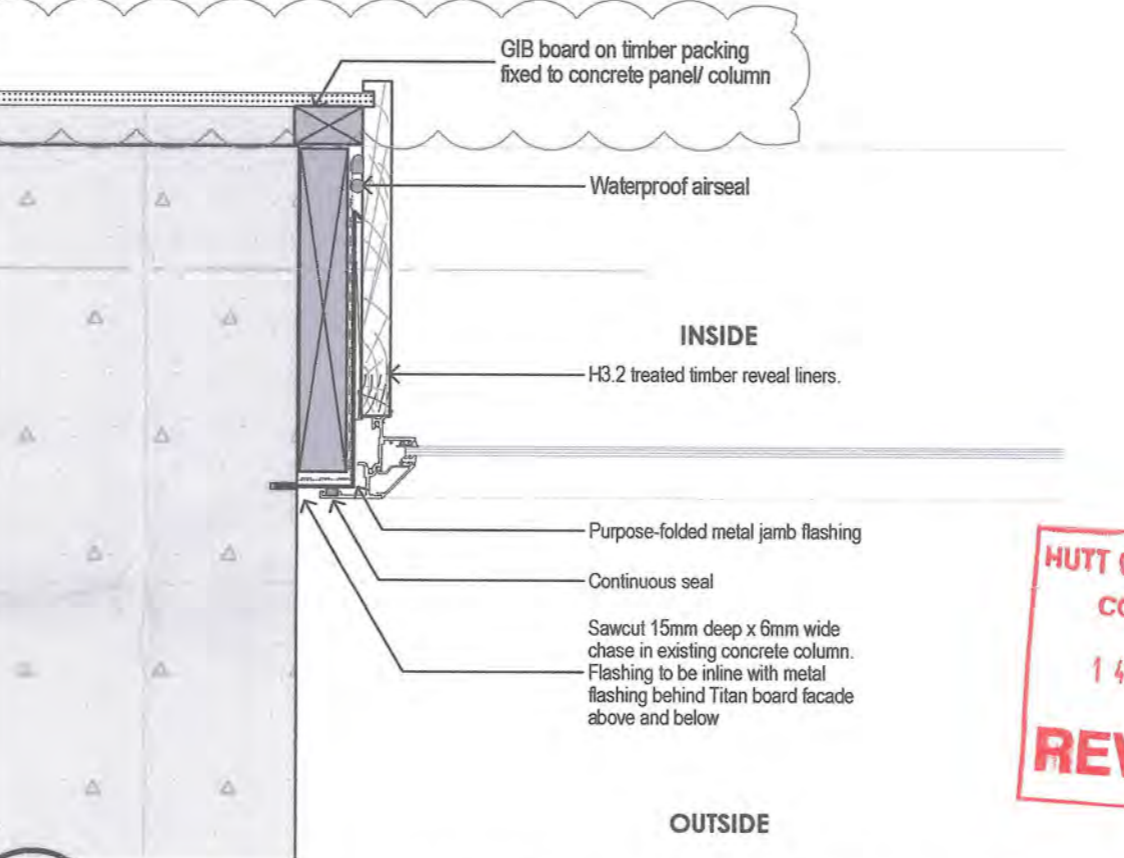
**CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION. ALSO REFER TO ENGINEER'S DRAWINGS**



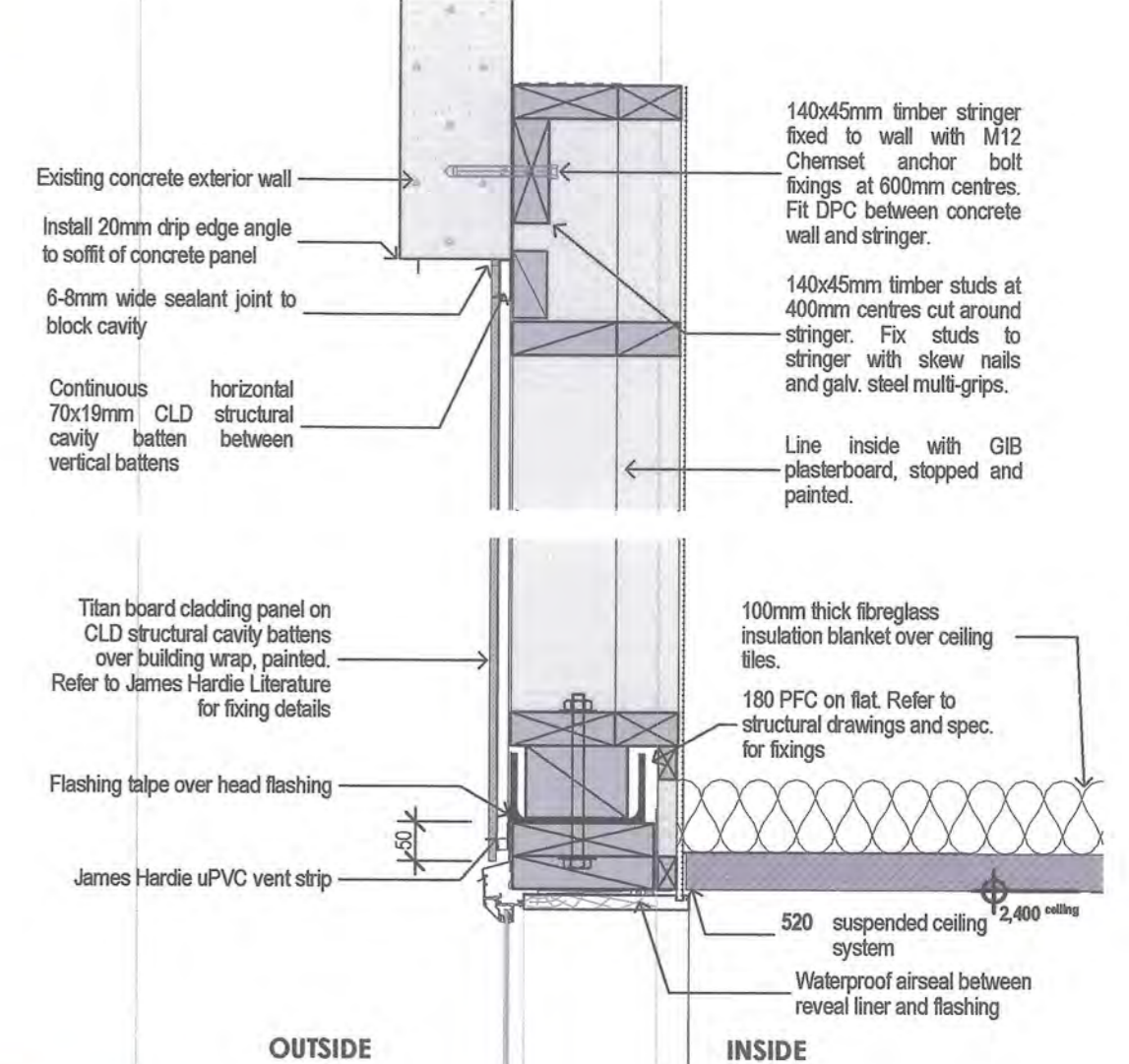
**Titan Board Vertical Joint** NTS



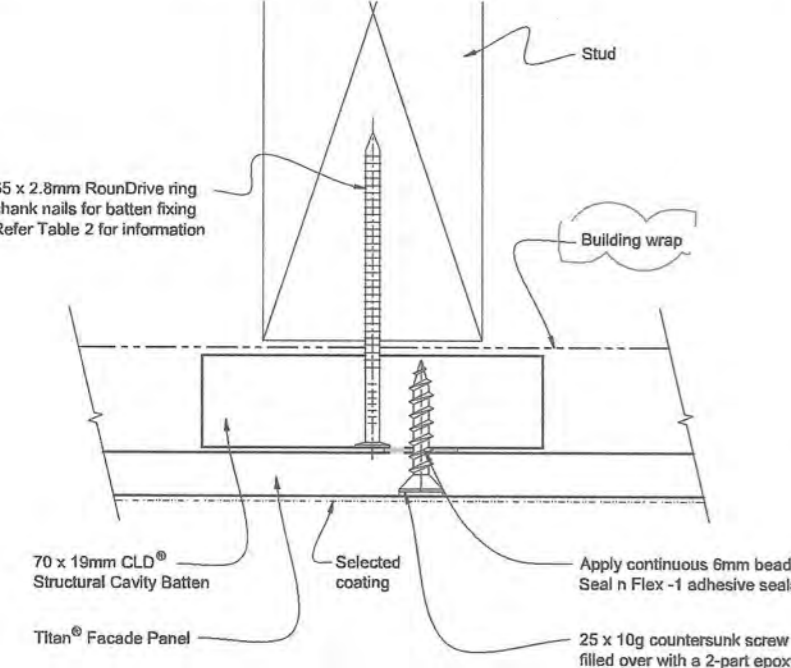
**Titan Board Window Head Detail** NTS



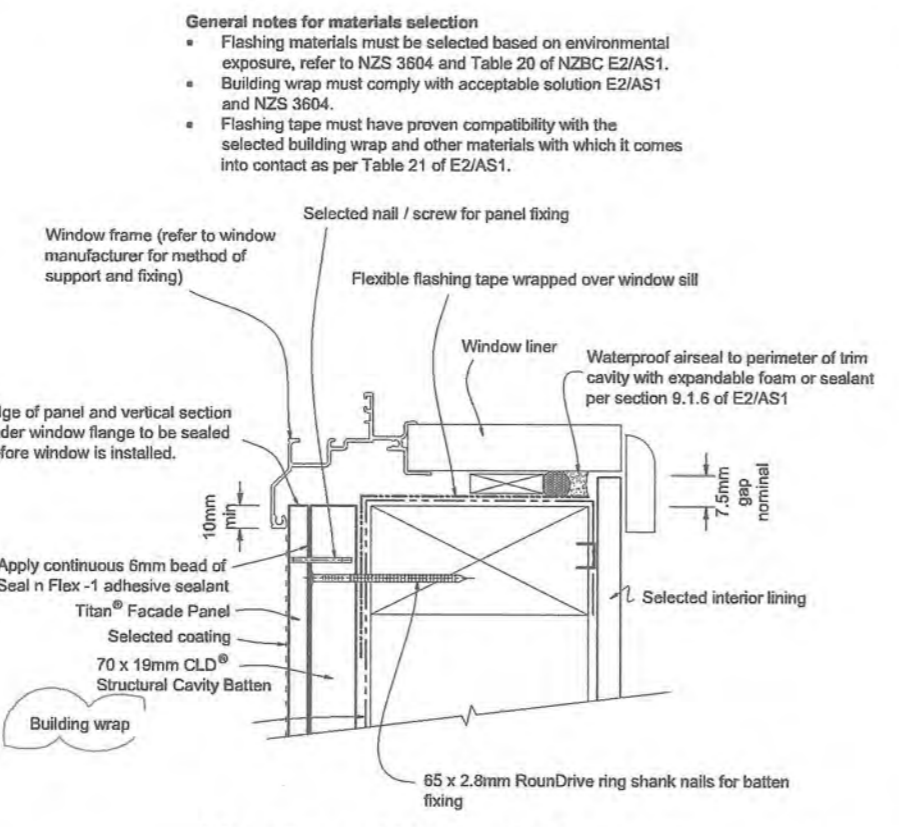
**W-01 BC3.01** Window Jamb Junction Detail with Concrete Column 1:5  
**WINDOW nW-04 JAMB DETAIL**



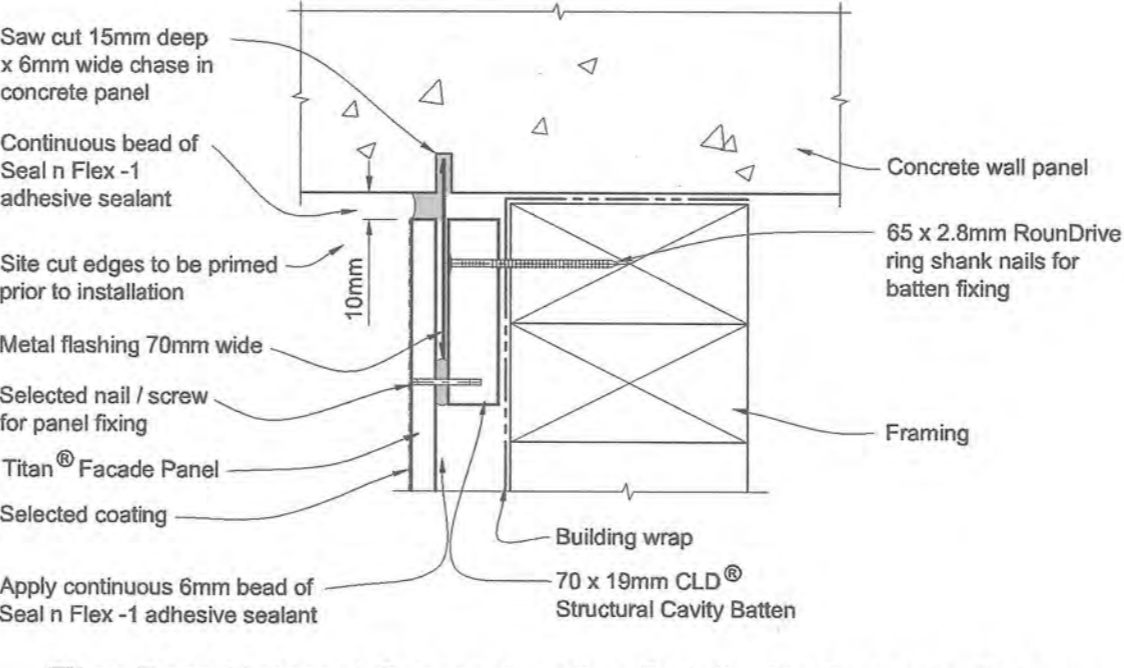
**WINDOW nW-04 HEAD DETAIL**



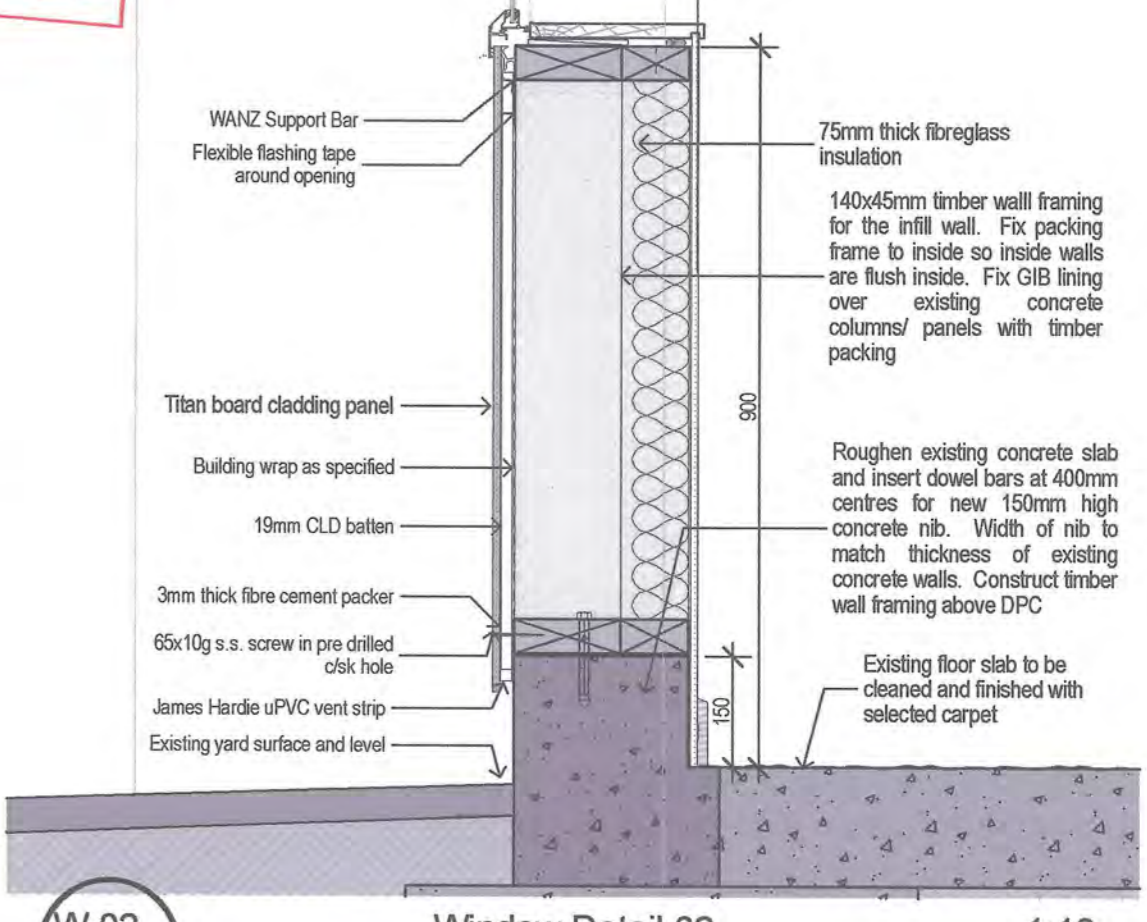
**Titan Board Intermediate Stud Fixing** NTS



**Titan Board Window Sill Detail** NTS



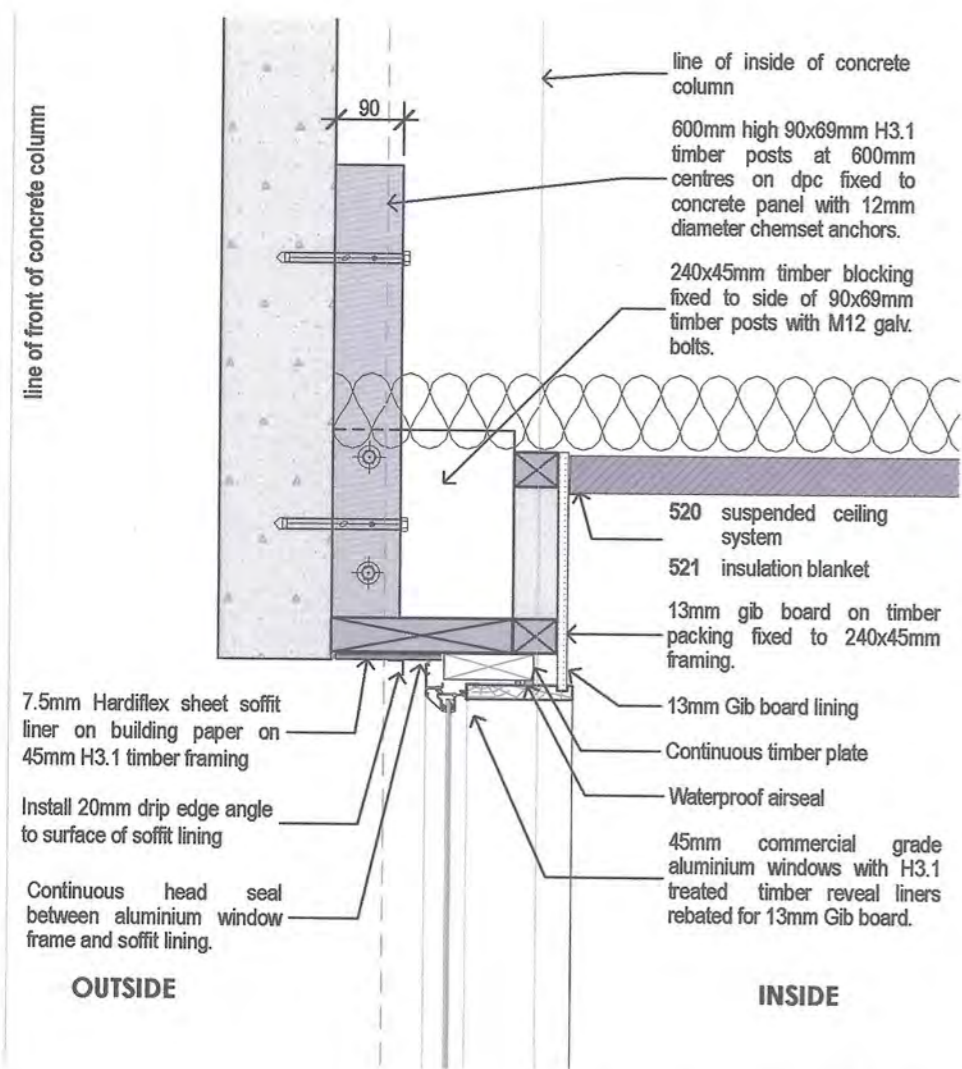
**Titan Board Internal Corner Junction Detail with Concrete Column**



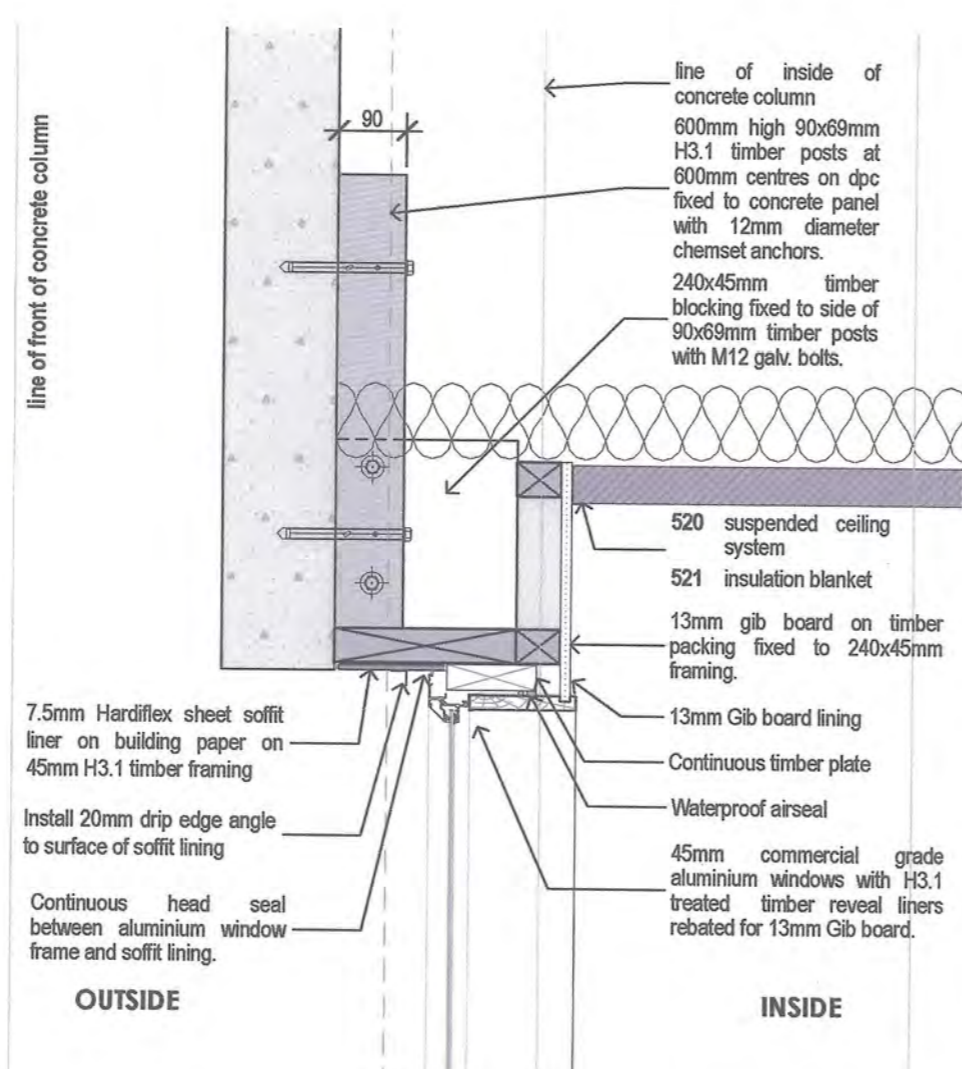
**W-02 BC5.01** Window Detail 02 1:10  
**WINDOW nW-04 SILL DETAIL**

**HUTT CITY COUNCIL**  
**CONSENTS**  
 14 FEB 2011  
**REVISED**

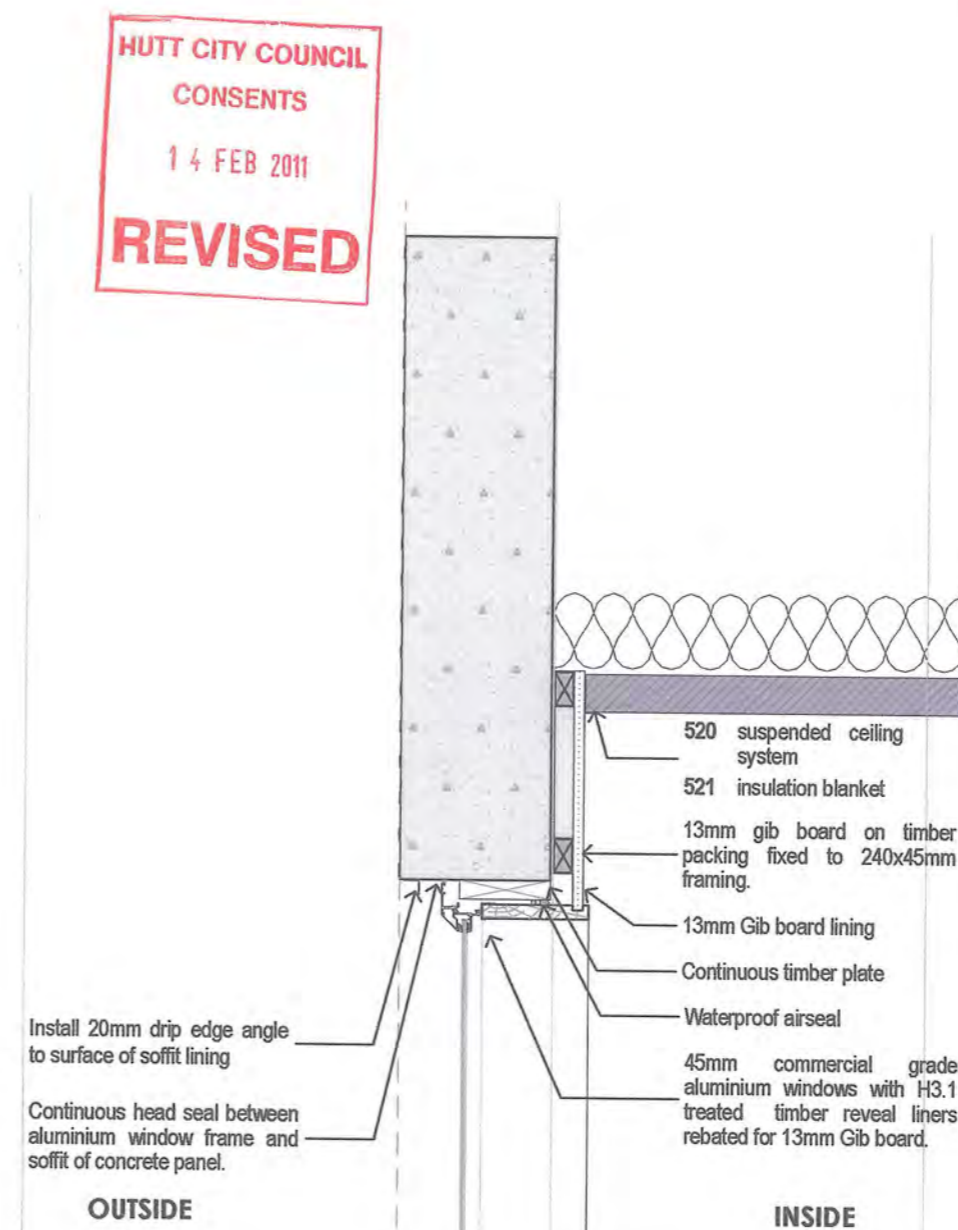
CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION. ALSO REFER TO ENGINEER'S DRAWINGS



DOOR nED-01 HEAD DETAIL



WINDOW nW-03 HEAD DETAIL



WINDOW nW-01 HEAD DETAIL

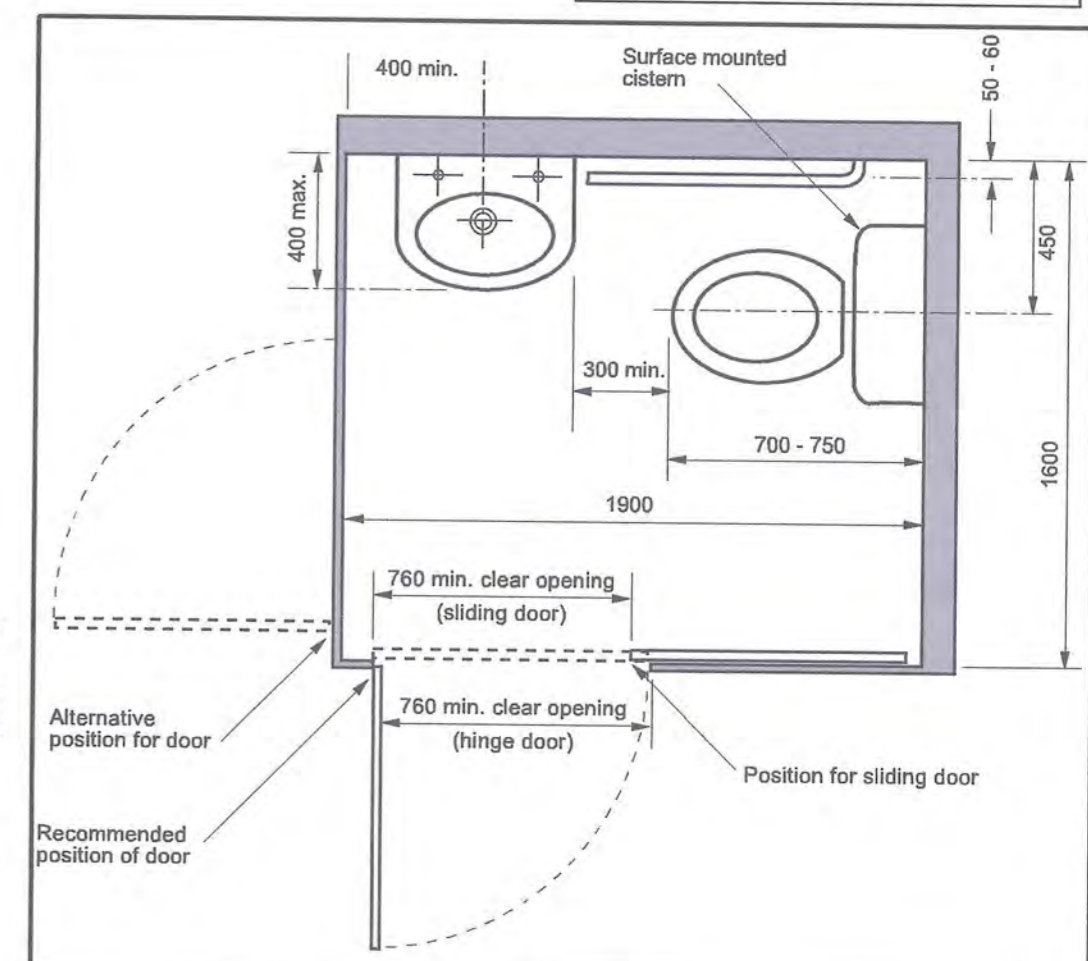


Figure 27 - Accessible toilet units

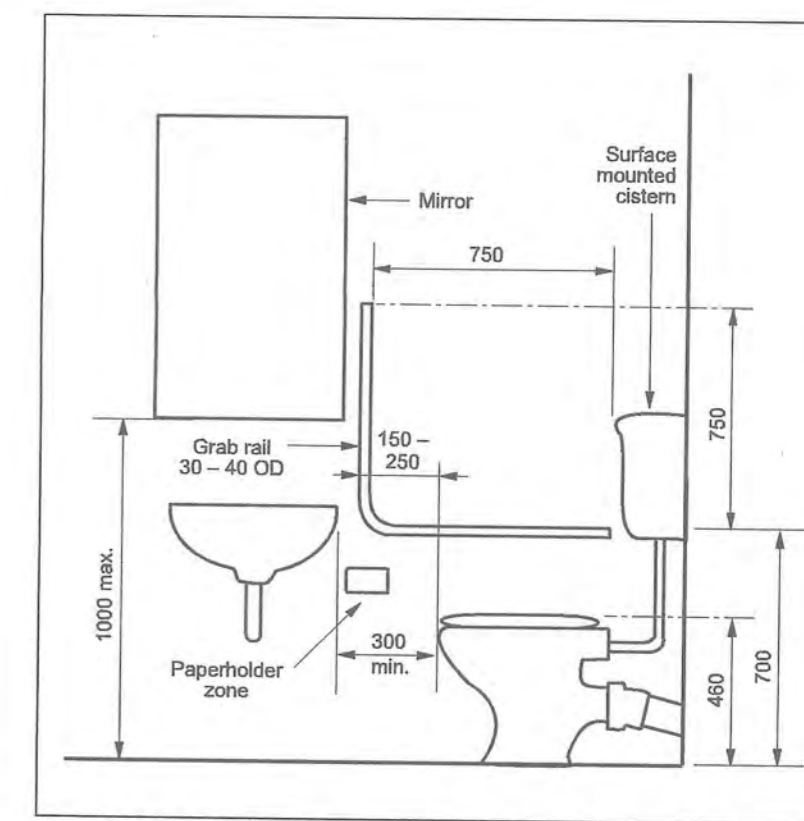
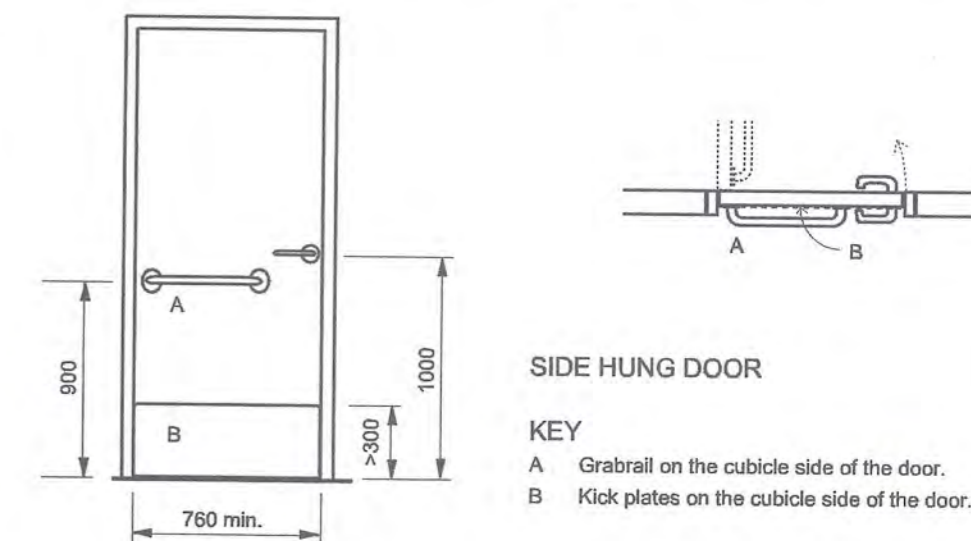
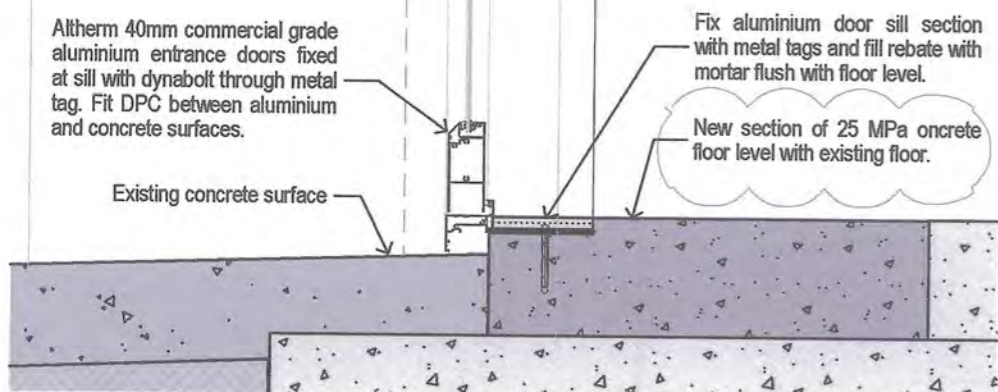


Figure 31 - Toilet unit fittings - positioning of grab rail and paper roll holder

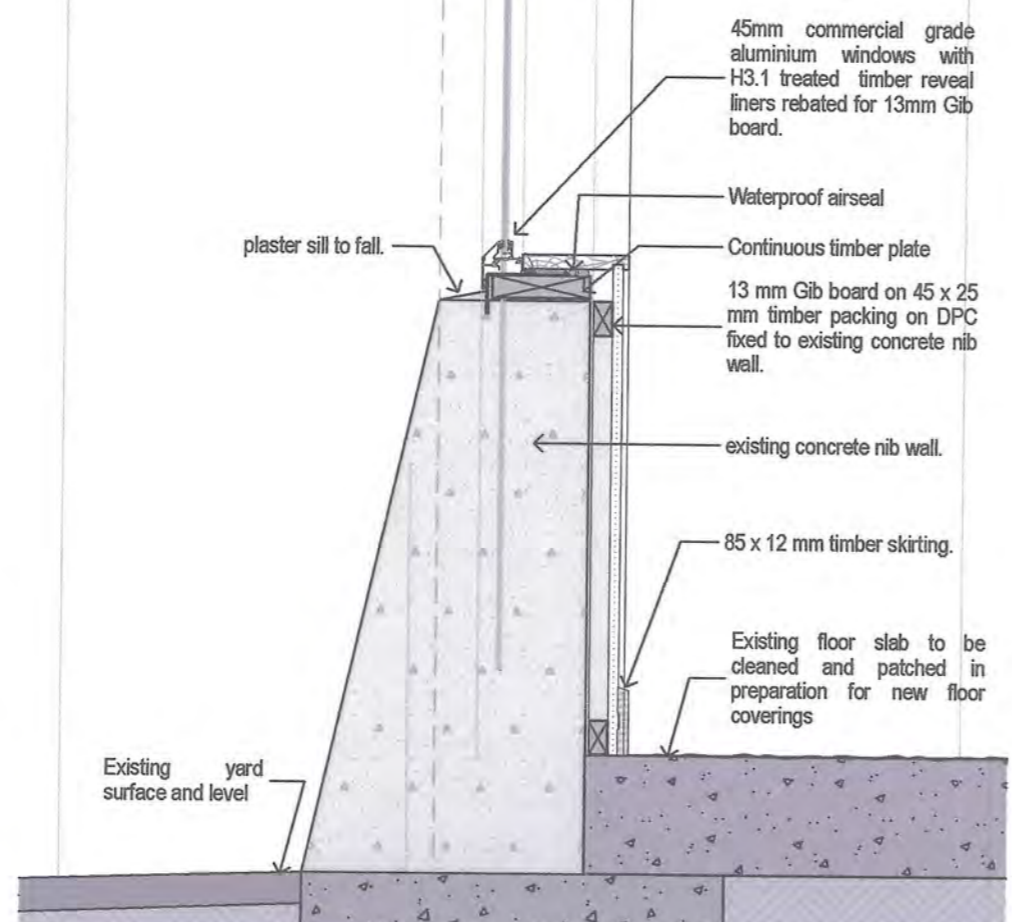


NZS 4121:2001 Design for Access and Mobility Requirements

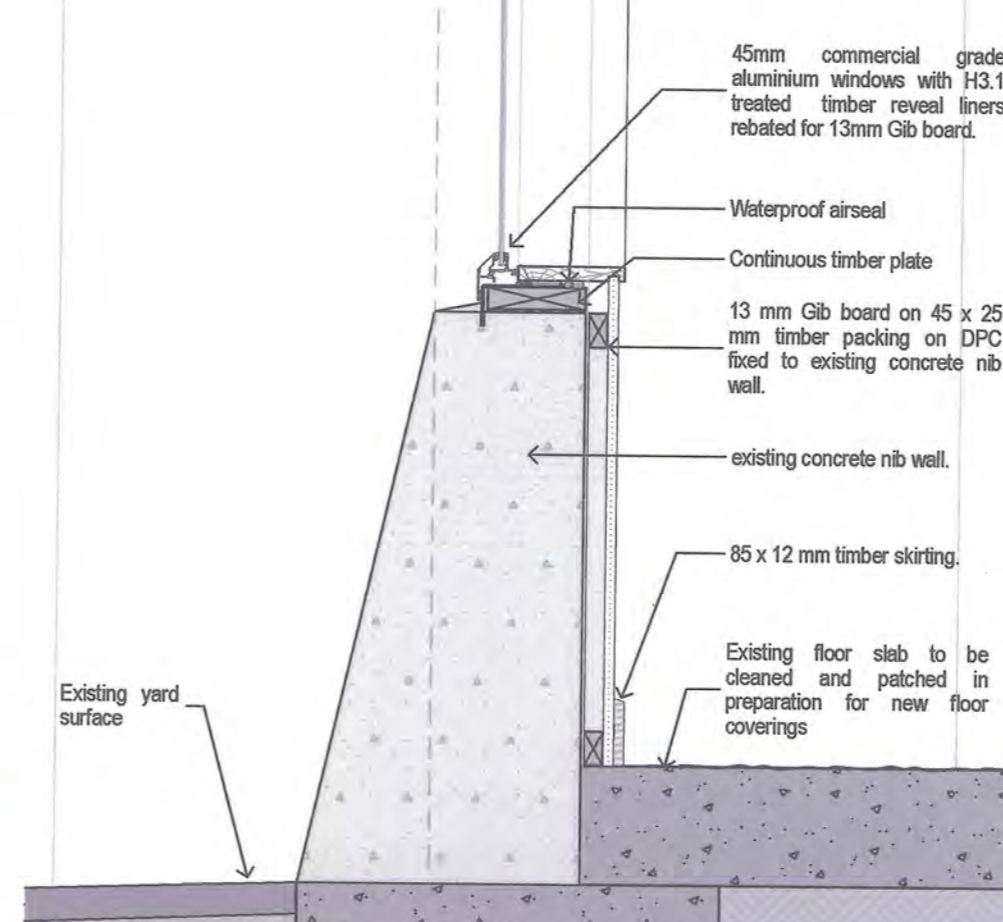
**BUILDING CONSENT**  
**GRANTED**  
**16/02/2011**  
**HUTT CITY COUNCIL**



W-04 Window Detail 04 1:10  
DOOR nED-01, nED-02 SILL DETAIL



W-05 Window Detail 05 1:10  
WINDOW nW-02, nW-03 SILL DETAIL



W-03 Window Detail 03 1:10  
WINDOW nW-01 SILL DETAIL

**WINDOW & DOOR DETAILS**

Project: BUILDING ALTERATIONS  
Address: 40 BOUVERIE STREET, PETONE  
Client: BALANCED INVESTMENTS CONSTRUCTION LIMITED

**GOODSON ARCHITECTS**  
LIMITED  
UNIT 23, 13 LEEDS STREET  
WELLINGTON, NEW ZEALAND  
TEL 04-381 0388 FAX 04-381 0389  
EMAIL: mail@goodsonarchitects.co.nz

DATE	17/01/2011	Drawing No:	Revision
JOB NO	317		
SCALE	AS SHOWN	<b>BC7.02</b>	<b>A</b>
DRAWN	HL		
ORIGINAL	A2		

Rev. A Concrete strength added 11/02/2011



Building Regulation Clause(s) ...B1...

## PRODUCER STATEMENT – PS4 – CONSTRUCTION REVIEW

ISSUED BY: **Spencer Holmes Limited**

TO: **Balanced Investments Limited**

TO BE SUPPLIED TO: **Hutt City Council**

IN RESPECT OF: **Plumbing World Fit Out and Entrance Canopy**

AT: **40 Bouverie Street, Petone, LOWER HUTT  
Lot 2 DP 87775**

*Spencer Holmes Limited* has been engaged by *the owner/ developer referred to above* to provide *construction monitoring CM3* observation services in respect of Clause(s) *NZBC B1* of the Building Code for the building work described in documents relating to Building Consent No. *BC110026* and those relating to Building Consent Amendment(s) No. *n/a* issued during the course of works. We have sighted these Building Consents and the conditions of attached to them.

Authorised Variations dated 2<sup>nd</sup> March 2011 and 8<sup>th</sup> March 2011 (copies attached) have been issued during the course of the works.

On the basis of this/these review(s) and information supplied by the contractor during the course of the works,

I believe on reasonable grounds  All  Part only of the building works (as noted below) that

Structural aspects of the works as shown on the drawings and specifications prepared by *Spencer Holmes Limited* titled *Plumbing World Fit Out and Plumbing World Entrance Canopy at 40 Bouverie Street, Petone* and numbered *100839B03 and B05 (details 01 to 04 and SK01 inclusive)* and dated *February 2011*; together with the specification reference *100839S01* and dated *January 2011* as monitored on site (refer site reports attached) have been completed in accordance with the relevant requirements of the Building Consents and Building Consent Amendments identified above, with respect to Clause(s) *NZBC B1* of the Building Regulations.

**(Note: construction to NZS3604 is to be inspected and confirmed by the Territorial Authority and is not included)**

I, *Carl Vernon Ashby* am registered as:  CPEng Number: *178762*

I am a Member of:  IPENZ and hold the following qualifications: *BE, MIPENZ*

The Construction Review Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$500,000\*. The Construction Review firm is a member of ACENZ.

SIGNED BY *Carl Vernon Ashby* ON BEHALF OF *Spencer Holmes Limited*

DATE *12<sup>th</sup> May 2011*.....(Signature)

*Note: This statement shall only be relied upon by the Building Control Authority named above. Liability under this statement accrues to the Construction Review Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$500,000\*.*

This form to accompany **Forms 6 or 8 of the Building (Forms) Regulations 2004** for the issue of a Code Compliance Certificate.

17 July 2014

PWMC Property Investments Limited  
c/o Wilson Building Wgtn Ltd  
45 Rugby Street  
Mount Cook Wellington 6021

J Belworthy  
Environmental Consents  
T 04 570 6959  
john.belworthy@huttcity.govt.nz  
Our reference: BC131225

Dear PWMC Property Investments Limited,

**Code compliance certificate for 40 Bouverie Street, Petone, Lower Hutt (BC131225)**

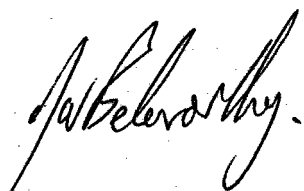
Please find enclosed a code compliance certificate for your work at the above address.

The certificate is a formal statement, issued under section 95 of the Building Act 2004 that the work you carried out complies with the building consent granted by the council.

It is a useful document to retain and should be kept in a safe place.

Do not hesitate to contact me on 04 570 6959 or at john.belworthy@huttcity.govt.nz if you have any questions. Remember to quote your building consent number, which is BC131225.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'J Belworthy'.

J Belworthy  
Building Officer

# CODE COMPLIANCE CERTIFICATE

Section 95, Building Act 2004



## THE BUILDING:

---

Street address: 40 Bouverie Street, Petone, Lower Hutt 5012  
Legal description of land where building is located: LOT 2 DP 87775  
Building name:  
Location of building within site/block number:  
Level/unit number:  
Current lawfully established use: Commercial  
Year first constructed:

## THE OWNER:

---

Name of owner: PPMC Property Investments Limited  
Contact person:  
Mailing address:  
PPMC Property Investments Limited  
P O Box 33055  
Petone  
Lower Hutt

Street address/registered office:  
Landline:  
Daytime: 04 568 5404  
Fax: 04 568 8588      Email: ceo@ppmc.co.nz  
Website:  
First point of contact for communications with Hutt City Council:

Mobile:  
After-hours:

## BUILDING WORK:

---

Building consent number: **BC131225**  
Issued by Hutt City Council  
Commercial - Seismic work to section of building used for offices

## CODE COMPLIANCE:

---

The Hutt City Council is satisfied, on reasonable grounds, that the building work complies with the building consent and the specified systems in the building are capable of performing to the performance standards set out in the building consent.

J Belworthy  
Building Officer, Environmental Consents

On behalf of Hutt City Council

Date: 17 July 2014

# Memorandum from licensed building practitioner: Certificate of design work

## Section 45 and section 30c, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING	
Street address:	40 Bouverie Street,
Suburb:	Petone
Town/City:	Hutt City
Postcode:	5012

THE OWNER(S)	
Name(s):	PWMC Property Investments Ltd
Mailing address:	47 Udy Street
Suburb:	Petone
PO Box/Private Bag:	
Town/City:	LOWER HUTT
Postcode:	
Phone number:	04 568 5404
Email address:	

**IDENTIFICATION OF DESIGN WORK THAT IS RESTRICTED BUILDING WORK**

I Joo Cho carried out/supervised the following design work that is restricted building work

**PRIMARY STRUCTURE**

Design work that is restricted building work	Description of restricted building work	Carried out or supervised	Reference to plans and specifications
Tick <input checked="" type="checkbox"/>	If appropriate, provide details of the restricted building work	Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
Foundations and subfloor framing <input type="checkbox"/>	NA	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Walls <input checked="" type="checkbox"/>	Structural seismic upgrade of selected shear walls	<input type="checkbox"/> Carried out <input checked="" type="checkbox"/> Supervised	refer HG drawings ref B3194-ST100, 101
Roof <input type="checkbox"/>	NA	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Columns and beams <input checked="" type="checkbox"/>	Structural seismic upgrade of 'short column' effect	<input type="checkbox"/> Carried out <input checked="" type="checkbox"/> Supervised	refer HG drawing ref B3194-ST100 WALL 1
Bracing <input type="checkbox"/>	NA	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Other <input type="checkbox"/>	NA	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	

EXTERNAL MOISTURE MANAGEMENT SYSTEMS			
Design work that is restricted building work	Description of restricted building work	Carried out or supervised	Reference to plans and specifications
Tick <input checked="" type="checkbox"/>	If appropriate, provide details of the restricted building work	Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
Damp proofing <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Roof cladding or roof cladding system <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Ventilation system (for example, subfloor or cavity) <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Wall cladding or wall cladding system <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Waterproofing <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Other <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	

FIRE SAFETY SYSTEMS			
Design work that is restricted building work	Description of restricted building work	Carried out or supervised	Reference to plans and specifications
Tick <input checked="" type="checkbox"/> if appropriate	If appropriate, provide details of the restricted building work	Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
Emergency warning systems <input type="checkbox"/>  Evacuation and fire-service operation systems  Suppression or control systems  Other		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
<b>Note:</b> The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.			

**WAIVERS AND MODIFICATIONS**

Waivers or modifications of the Building Code are required.  Yes  No

If Yes, provide details of the waivers or modifications below:

<b>Clause</b>	<b>Waiver/modification required</b>
List relevant clause numbers of building code	Specify nature of waiver or modification of building code required

ISSUED BY	
Name and contact details of the licensed building practitioner who is licensed to carry out or supervise design work that is restricted building work.	
Name: <u>Joo Cho</u>	LBP or Registration number: <u>249320</u>
The practitioner is a: <input type="radio"/> Design LBP <input type="radio"/> Registered architect <input checked="" type="radio"/> Chartered professional engineer	
Mailing address (if different from below):	
Street address/Registered office: <u>Level 1, 3M Building, 84 Peterborough St</u>	
Suburb:	Town/City: <u>Christchurch</u>
PO Box/Private Bag:	Postcode: <u>8140</u>
Phone number: <u>03 962 9770</u>	Mobile:
After hours:	Fax:
Email address: <u>J.cho@harrisonjensen.com</u>	Website:

DECLARATION	
I <u>Joo Cho</u> certify that the design work that is restricted building work identified on this form:	
<input checked="" type="checkbox"/> Complies with the building code, or <input type="checkbox"/> Complies with the building code subject to any waiver or modification of the building code recorded on this form	
Signature: _____	
Date: <u>17/7/13</u>	

05 April 2022

PWMC Property Investments Limited  
P O Box 33055  
PETONE

J MacNee  
Environmental Consents  
T 5706666  
jason.macnee@huttcity.govt.nz  
Our reference: BC201071

Dear PWMC Property Investments Limited,

**Code compliance certificate for 40 Bouverie Street PETONE 5012 (BC201071)**

Please find enclosed a code compliance certificate for your work at the above address.

The certificate is a formal statement, issued under section 95 of the Building Act 2004 that the work you carried out complies with the building consent granted by the council.

It is a useful document to retain and should be kept in a safe place.

If you have any questions feel free to email me at [jason.macnee@huttcity.govt.nz](mailto:jason.macnee@huttcity.govt.nz). Please remember to quote your building consent number, which is BC201071.

Yours sincerely,



J MacNee  
Building Officer

# CODE COMPLIANCE CERTIFICATE

Section 95, Building Act 2004



## THE BUILDING:

---

Street address: 40 Bouverie Street PETONE 5012  
Legal description of land where building is located: LOT 2 DP 87775  
Building name: Plumbing World  
Location of building within site/block number: N/A  
Level/unit number: N/A  
Current lawfully established use: Commercial – Retail and warehouse  
Year first constructed: Circa 1975

## THE OWNER:

---

Name of owner: PWMC Property Investments Limited  
Contact person: Iain Craw  
Mailing address:  
PWMC Property Investments Limited  
P O Box 33055  
PETONE

Street address/registered office:

Landline:

Daytime: 04 568 5404

Fax:

Email: [generalmanager@petoneclub.co.nz](mailto:generalmanager@petoneclub.co.nz)

Website:

First point of contact for communications with Hutt City Council:

Mobile:

After-hours:

## BUILDING WORK:

---

Building consent number: **BC201071**  
Issued by Hutt City Council  
Plumbing World - Seismic strengthening

## CODE COMPLIANCE:

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The Hutt City Council is satisfied, on reasonable grounds, that the building work complies with the building consent.

J MacNee  
Building Officer, Environmental Consents

On behalf of Hutt City Council

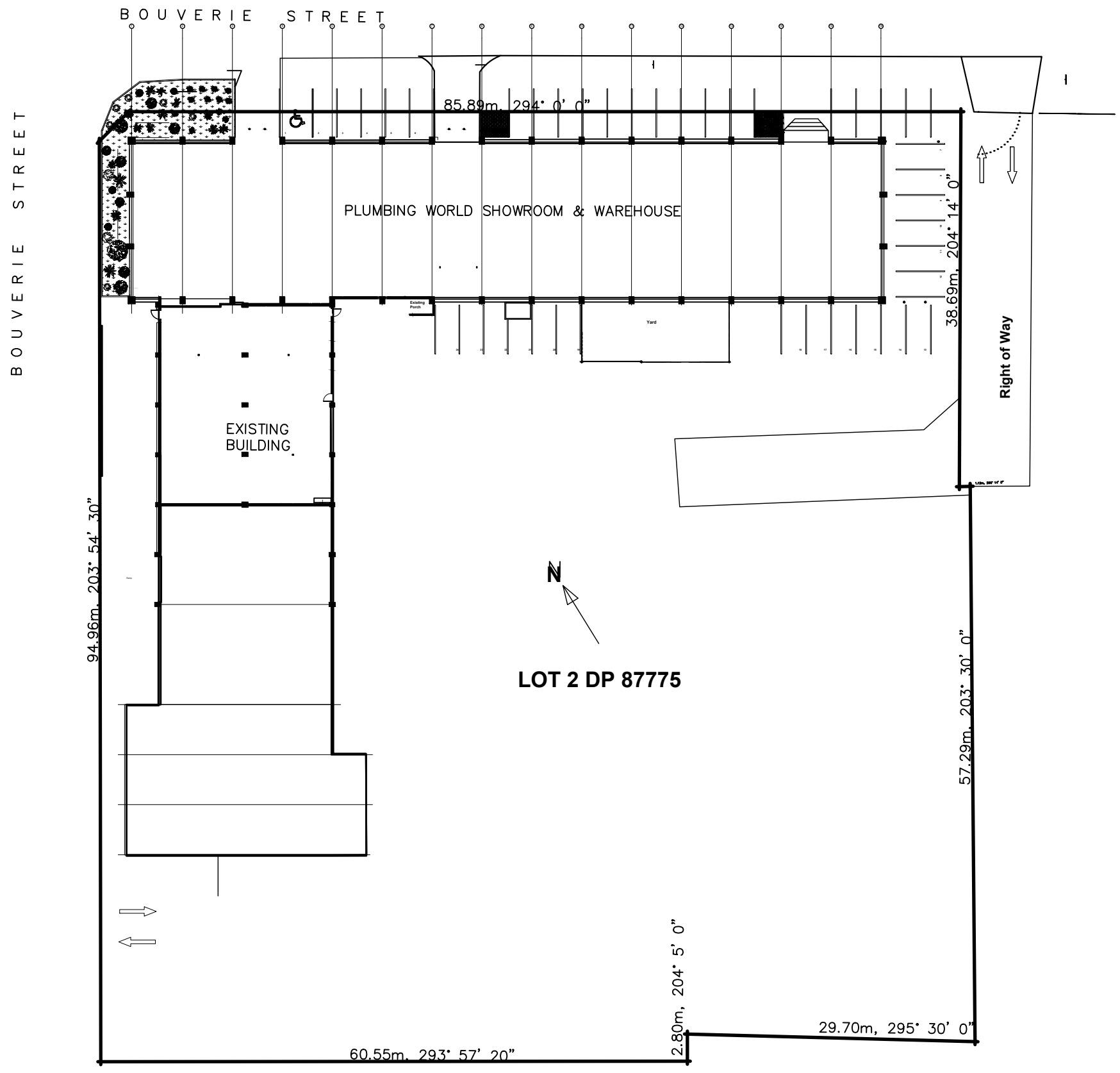
Date: 05 April 2022

DO NOT SCALE — IF IN DOUBT ASK  
CONTRACTOR TO CONFIRM ALL DIMENSIONS  
ON SITE BEFORE COMMENCING CONSTRUCTION

**BUILDING CONSENT**  
**GRANTED**  
**20/01/2021**  
**HUTT CITY COUNCIL**



These documents must be retained on site. Inspections may not be carried out if they are not.



SIITE PLAN

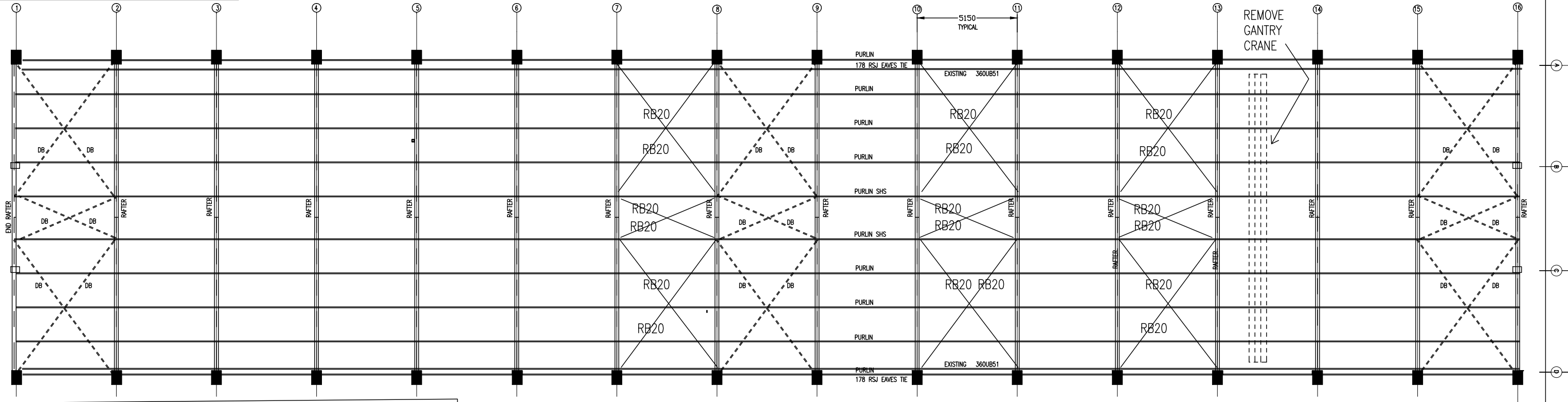
**PETRENKO CONSULTANTS LTD**  
Consulting Structural Engineers  
Telephone (09) 600-1200

NEW ROOF BRACING & SHS POST  
FOR PPMC PROPERTY INVESTMENTS LTD  
40 BOUVERIE STREET LOWER HUTT

ISSUE		scale	A3 1:500
A	24-8-2020	FOR BUILDING CONSENT	date 24 AUG 2020
SHEET		S1 A	DF 4
Page 309 of 313			

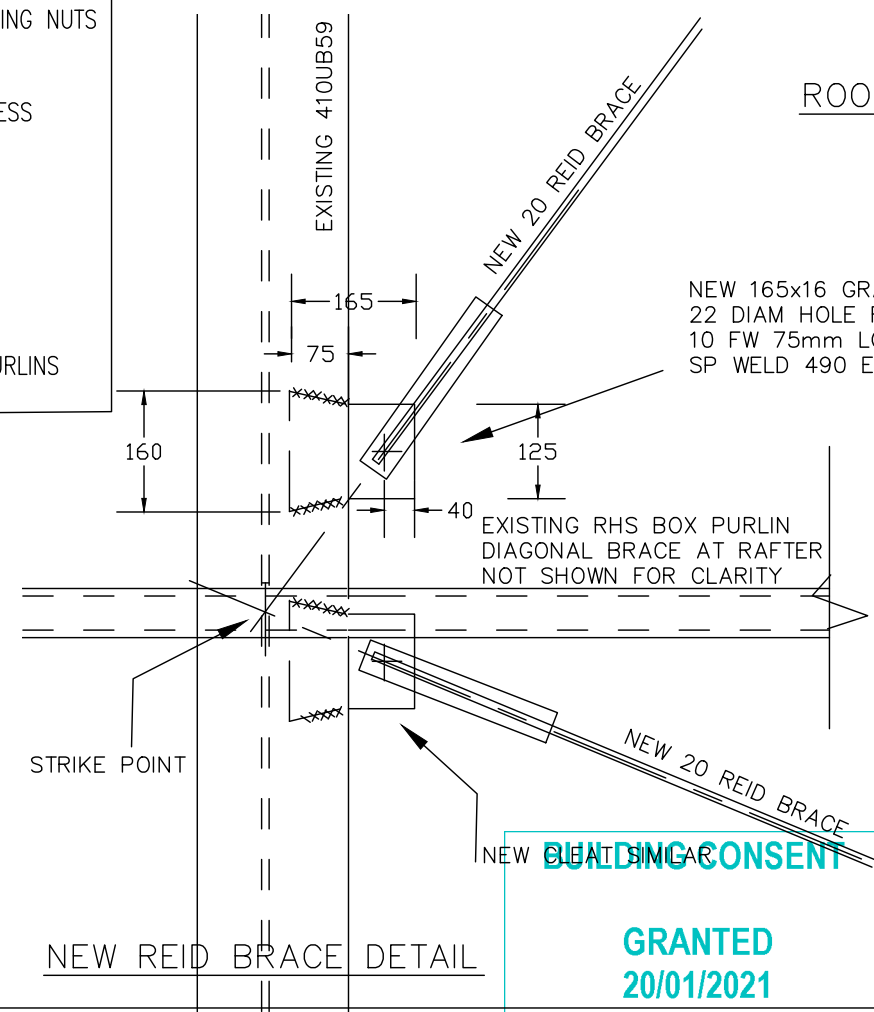
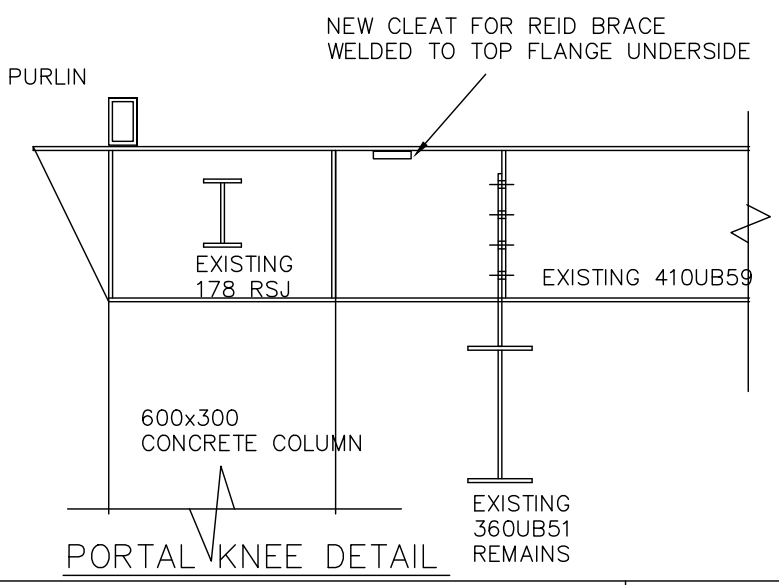


DO NOT SCALE - IF IN DOUBT ASK CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION

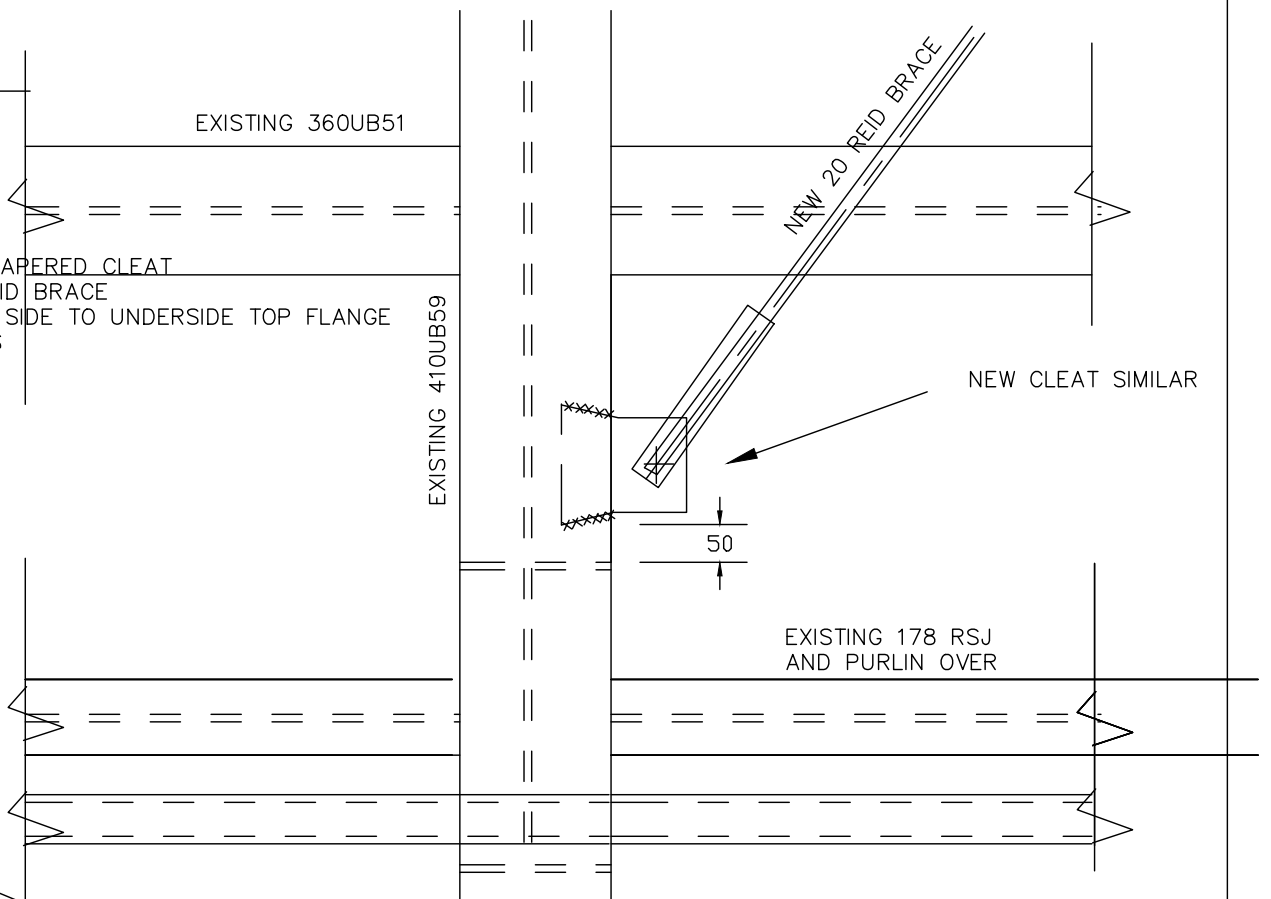


RB20 MEANS NEW 20MM DIAM GALVANISED REID BRACE SYSTEM WITH LOCKING NUTS INSTALL TO MANUFACTURERS RECOMMENDATIONS  
 TENSION REID BRACE TO ACHIEVE MAX SPAN/100 SAG  
 PROP RAFTERS DURING WELDING NEW BRACING CLEATS AT APEX TO DESTRESS RAFTER FOR WELDING BRACING CLEATS.  
 MAKE GOOD RAFTER PAINT AFTER WELDING. NEW CLEATS PAINT TO MATCH.

"PURLIN" MEANS EXISTING 127x64x4 RHS  
 "PURLIN SHS" MEANS EXISTING 127x127x4.9 SHS  
 "RAFTER" MEANS EXISTING 406x178x60 UB  
 "END RAFTER" MEANS EXISTING 256x146x37 UB  
 "DB" MEANS EXISTING DIAGONAL BRACE 76x76x4 SHS WELDED BETWEEN PURLINS



ROOF PLAN



GRANTED 20/01/2021 HUTT CITY COUNCIL

REVISED 30/10/2020 HUTT CITY COUNCIL

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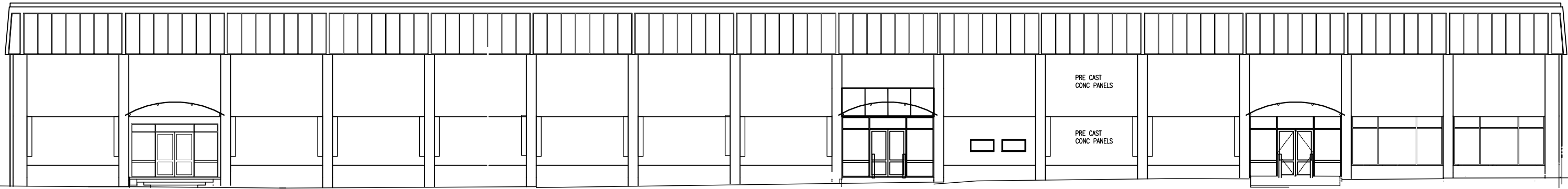
NEW ROOF BRACING & SHS POST FOR PPMC PROPERTY INVESTMENTS LTD  
 40 BOUVERIE STREET LOWER HUTT

HUTT CITY COUNCIL

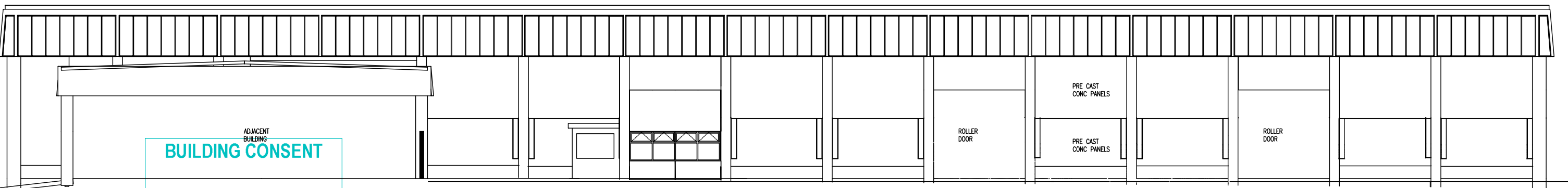


ISSUE		scale	A3	1:200	1:20	1:20
A	24-8-2020	FOR BUILDING CONSENT				
B	27-10-2020	RB20 THRUOUT & 16 RB CLEAT				
SHEET S3 B		DF 4				

DO NOT SCALE - IF IN DOUBT ASK  
CONTRACTOR TO CONFIRM ALL DIMENSIONS  
ON SITE BEFORE COMMENCING CONSTRUCTION

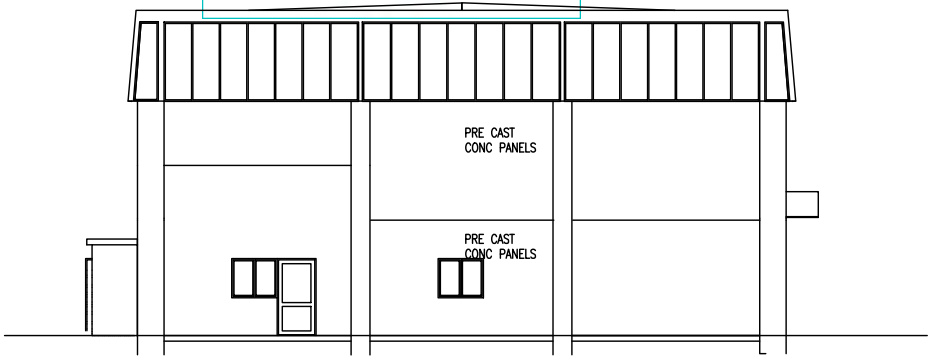


NORTH ELEVATION

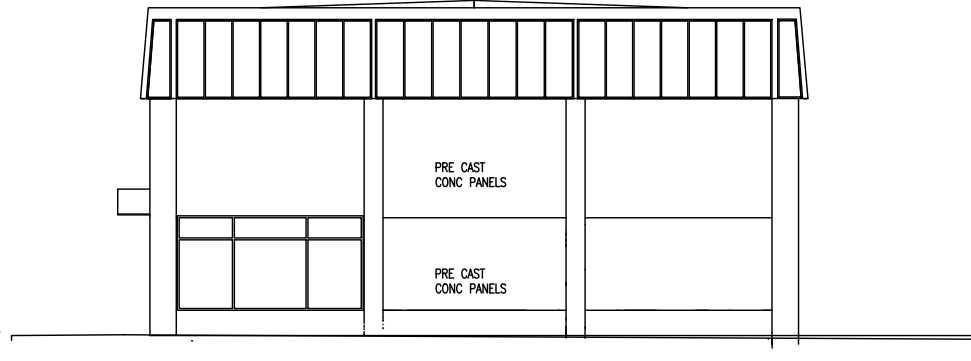


ADJACENT BUILDING  
**BUILDING CONSENT**  
**GRANTED**  
**20/01/2021**  
**HUTT CITY COUNCIL**  

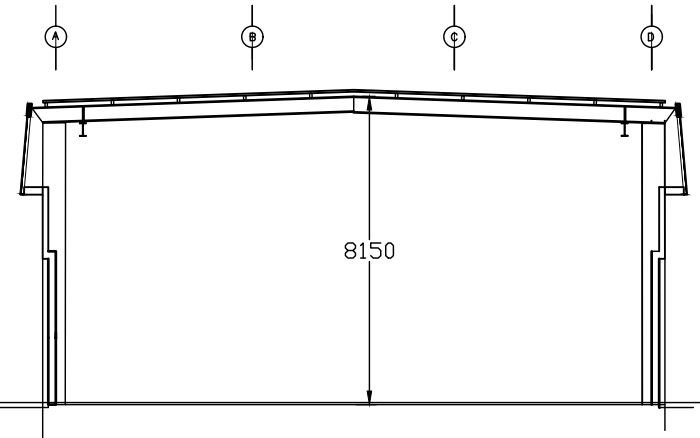

SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SECTION

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FOR PPMC PROPERTY INVESTMENTS LTD  
40 BOUVERIE STREET LOWER HUTT

		ISSUE	scale	A3	1:200
A	24-8-2020	FOR BUILDING CONSENT	date	24 AUG 2020	
			SHEET	S4 A	DF 4
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## ELECTRICAL SAFETY CERTIFICATE

REFERENCE/CERTIFICATE ID NO.: #3501C1

This Electrical Safety Certificate provides a legally recognisable statement that the connected installation or part installation, or any fitting that supplies an installation or a part of an installation, is safe to use following prescribed electrical work.

**Location Details:** 40 Bouverie Street Plumbing World Petone, Petone, Lower Hutt

**Contact Details:** 40 Bouverie Street Plumbing World Petone, Petone, Lower Hutt  
(Name and address)

**Details of work:**  The whole installation  Part of the installation

**Description of work:**

- Isolate and disconnect gantry crane power supply from isolator switch located by main switchboard and label.  
- Test and check there is no power supply to gantry crane rails and crane is safe to be de-commissioned.

**Date of connection:** 21/12/2021

By signing this document I certify that the installation, or part of the installation, to which the Electrical Safety Certificate applies is connected to a power supply and is safe to use.

**Certifier's name:** Conrad Smith

**Registration/Practising licence number:** E267469

**Certifier's signature:**

**Certificate Issue Date:** 21/12/2021

**Email:**

hello@tungstenelectrical.com

**Organisation/ Company:**

Tungsten Electrical Ltd

**CUSTOMER COPY – THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED FOR A MINIMUM OF 7 YEARS**

This electrical safety certificate also confirms that the electrical work complies with the building code for the purposes of Section 19(1)(e) of the Building Act 2004.

The logo for Bayleys, featuring the word "BAYLEYS" in a bold, white, sans-serif font, centered within a dark blue rectangular box with a thin white border.

## **DISCLOSURE STATEMENT**

1. The following information has been supplied to Capital Commercial (2013) Limited ("Bayleys") to be made available for distribution on the vendor's behalf to potential purchasers to assist purchasers with their due diligence and to use at the purchaser's discretion.
2. Bayleys and the Vendor do not warrant the accuracy or completeness of the information and recommends that all recipients undertake their own due diligence, obtain their own reports to their satisfaction and seek independent advice prior to committing to purchaser.