

Land Information Memorandum



Property address:
9 Buckleys Road

LIM number: H09570008

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Christchurch City Council
53 Hereford Street, PO Box 73015
Christchurch 8154, New Zealand
Tel 64 3 941 8999
Fax 64 3 941 8984

www.ccc.govt.nz

Application details

Date issued 16 April 2026
Date received 7 April 2026

Property details

Property address 9 Buckleys Road, North Linwood, Christchurch
Valuation roll number 22410 00600
Valuation information Capital Value: \$2,190,000
Land Value: \$1,540,000
Improvements Value: \$650,000
Please note: these values are intended for Rating purposes
Legal description Lot 2 DP 35720
Existing owner John Patrick Clyne
PO Box 19986
Woolston
Christchurch 8241

Council references

Rate account ID 73102452
LIM number H09570008
Property ID 1131869

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Document information

This Land Information Memorandum (LIM) has been prepared for the purpose of section 44A of the Local Government Official Information and Meetings Act 1987 (LGOIMA). It is a summary of the information that we hold on the property. Each heading or "clause" in this LIM corresponds to a part of section 44A.

Sections 1 to 10 contain all of the information known to the Christchurch City Council that must be included under section 44A(2) LGOIMA. Any other information concerning the land as the Council considers, at its discretion, to be relevant is included at section 11 of this LIM (section 44A(3) LGOIMA). If there are no comments or information provided in these sections this means that the Council does not hold information on the property that corresponds to that part of section 44A.

The information included in this LIM is based on a search of Council records only and there may be other information relating to the land which is unknown to the Council. Please note that other agencies may also hold information relevant to the property, or administer legislation relevant to the use of the land, for example, the Regional Council (Ecan), Heritage New Zealand Pouhere Taonga, and Land Information New Zealand.

Council records may not show illegal or unauthorised building or works on the property. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose.

A LIM is only valid at the date of issue as information is based only upon information the Council held at the time of that LIM request being made. It is essential that the applicant undertakes their own due diligence to verify the suitability of the property for their intended use.

To enable the Council to measure the accuracy of this LIM document based on our current records, we would appreciate your response should you find any information contained therein which may be considered to be incorrect or omitted. Please telephone the Customer Call Centre on (03) 941 8999.

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A search of records held by the Council has revealed the following information:

1. Special features and characteristics of the land

Section 44(A)(2)(aa) LGOIMA. This is information known to the Council but is not apparent from a district plan under the Resource Management Act 1991. It identifies each (if any) special feature or characteristic of the land concerned, including but not limited to the likely presence of hazardous contaminants.

☎ For enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Natural Hazards

Section 44A(2)(a) LGOIMA. This is information known to the Council about natural hazards that is required by section 44B LGOIMA.

Council's information has primarily been obtained from external specialists with the technical expertise to carry out research, investigation or analysis. Under the Local Government (Natural Hazard Information in Land Information Memoranda) Regulations 2025, the Council isn't required to:

- prepare a risk assessment of the land concerned.
- undertake any further analysis relating to the land.
- conduct additional searches or inquiries about the existence of natural hazard information.

It is the LIM recipient's responsibility to seek qualified advice about any identified natural hazard and/or the suitability of the land for its intended purpose.

This section may also include natural hazard information provided by Environment Canterbury. Christchurch City Council is required to include such information in LIMs where Environment Canterbury considers it meets the criteria under section 44C of LGOIMA.

The following statement has been provided by Environment Canterbury:

This Land Information Memorandum includes natural hazard information deemed by Environment Canterbury to be the most up to date, useful, and relevant, and is provided in accordance with the Local Government (Natural Hazard Information in Land Information Memoranda) Regulations 2025. All due care has been taken to ensure current information required to be provided under the regulations is presented below.

Environment Canterbury may hold superseded or less reliable natural hazards information relating to the land that has not been included in this Land Information Memorandum. Please contact Environment Canterbury if you would like to enquire about this information.

(a) Coastal Hazards

- Regional Hazard Information: Shoreline Modelling

Future shoreline modelling has not been completed for this area, however given the distance of the property from the coast, it will not be susceptible to coastal erosion for at least the next 100 years.

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(b) Earthquakes

- Liquefaction Assessment

Christchurch City Council holds indicative information about liquefaction hazards for Christchurch. Information, including an interactive web tool, can be found on the Council's website at ccc.govt.nz/liquefaction

Depending on the potential liquefaction hazard of an area that a property is in, the Council may require site-specific investigations before granting future subdivision or building consent for a property.

Title of report: Christchurch liquefaction vulnerability study

Purpose of report: To provide a district-wide liquefaction vulnerability assessment and to provide expected land performance for a range of potential future earthquake and groundwater scenarios. For use in land use planning, subdivision and building consenting

Scope of report: Christchurch urban area from the Waimakariri River mouth to Godley Head, and inland to the Selwyn District boundary

Where or how to access the report: <https://ccc.govt.nz/assets/Documents/Environment/Land/CCC-Liquefaction-ReportBody.pdf>

Date of report: July 2020

Name of person/entity that commissioned report: Christchurch City Council

Name of person/entity that prepared the report: Tonkin & Taylor Ltd

Title of Report: Geotechnical information on horizontal land movement due to the Canterbury earthquake sequence

Purpose of report: Background geotechnical information about shallow ground movements as a result of the earthquake sequence

Scope of Report: Christchurch City flat area, excluding Port Hills and Banks Peninsula

Where or how to access the report: <https://www.lin.govt.nz/resources/research/geotechnical-information-horizontal-land-movement-due-canterbury-earthquake-sequence>

Date of report: March 2015

Name of person/entity that commissioned report: Land Information New Zealand

The name of person/entity that prepared the report: Tonkin & Taylor Ltd

- Regional Liquefaction Information

Areas where there was evidence of liquefaction were mapped following the 2010/11 Canterbury earthquakes by Tonkin & Taylor for the Earthquake Commission (urban areas) and by a group of researchers for Environment Canterbury (rural, commercial and industrial areas). These are available in the Christchurch Liquefaction Viewer at <https://apps.canterburymaps.govt.nz/ChristchurchLiquefactionViewer/>.

Technical report information:

Title: Review of liquefaction hazard information in eastern Canterbury, including Christchurch City and parts of Selwyn, Waimakariri and Hurunui Districts.

Date: December 2012.

Author: H Brackley (compiler).

Commissioned by: Environment Canterbury.

Purpose of report: To collate liquefaction occurrence during the 2010/11 Canterbury earthquakes, and to determine liquefaction vulnerability. For use in land use planning, subdivision and building consenting.

Study area: Coastal Canterbury from the Waipara River mouth to the Rakaia River mouth, including Banks Peninsula, and inland to Rangiora, Aylesbury, Selwyn and Southbridge.

Accessible at: <https://www.ecan.govt.nz/document/download?uri=1702192>.

- Regional Hazard Information: Earthquake fault deformation

There are no known earthquake faults at the ground surface in Christchurch. However, it is possible there are some faults in Christchurch that are yet to be identified because they are not visible at the ground surface.

More information on fault deformation is available on Environment Canterbury's fault deformation map at <https://mapviewer.canterburymaps.govt.nz/?webmap=b5f859bd18ee4912828cb092bef6c449>.

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(c) Flooding

- Flooding

Flood models are used to show the probability and potential location of flooding in Christchurch. These are computer-based models, and use the data on the Council stormwater network, rainfall, topography, hydrology, soil, land-use and historic flooding. They also incorporate outputs of other modelling such as urban growth, ground water, sea level rise and climate change. Detailed reports on the modelling including its assumptions and limitations can be found at <https://ccc.govt.nz/consents-and-licences/property-information-and-lims/land-information-memorandum-lim>.

- Predicted 1 in 10 Year Flood Extent

Flood modelling shows this property, or parts of this property, is within a 1-in-10-year flood extent, not including impacts of climate change and sea level rise. You can view this on the flood extent map at <https://ccc.govt.nz/flood-and-floor-level-viewer>.

If changes such as land development or major infrastructure have occurred on this property, or in the surrounding area since the flood modelling, this may change the flood extent.

Please note: The current modelling may not fully account for the water flow into some sump inlets during smaller events, which could affect the flood extent. This will be addressed in future modelling updates. Any questions about this and how this may impact this property, please email us at floorlevels@ccc.govt.nz.

For more information, please refer to <https://ccc.govt.nz/flooding-and-floor-levels>.

- Predicted 1 in 50 Year Flood Extent

Flood modelling shows this property, or parts of this property, is within a 1-in-50-year flood extent, including impacts of climate change and sea level rise. You can view this on the flood extent map at <https://ccc.govt.nz/flood-and-floor-level-viewer>. If changes such as land development or major infrastructure have occurred on this property, or in the surrounding area since the flood modelling, this may change the flood extent. For more information, please refer to <https://ccc.govt.nz/flooding-and-floor-levels>.

- Predicted 1 in 200 Year Flood Extent

Flood modelling shows this property, or parts of this property, is within a 1-in-200-year flood extent, including impacts of climate change and sea level rise. You can view this on the flood extent map at <https://ccc.govt.nz/flood-and-floor-level-viewer>. If changes such as land development or major infrastructure have occurred on this property, or in the surrounding area since the flood modelling, this may change the flood extent. For more information, please refer to <https://ccc.govt.nz/flooding-and-floor-levels>.

- Regional Hazard Information: Flood Photographs

Photographs showing the property during or following past flood events may be available. Flood photographs are available on Environment Canterbury's flood imagery register at <https://apps.canterburymaps.govt.nz/FIR>.

- Regional Hazard Information: Site Specific Flood Assessment

A site specific flood hazard assessment may have been completed for the property by Environment Canterbury. The information contained in this assessment may now be outdated. Please contact Environment Canterbury if you would like to request a copy.

- Regional Hazard Information: Flood Assessment Request

You can request a new site-specific flood hazard assessment for the property from Environment Canterbury at: <https://www.ecan.govt.nz/do-it-online/property-information/flood-hazard-assessments>.

(d) Landslides

As at the date of this LIM, Council research found no information under this heading.

(e) Subsidence

- Consultant Report Available

Land Information New Zealand (LINZ) engaged Tonkin and Taylor to provide a Geotechnical Report on Ground Movements that occurred as a result of the Canterbury Earthquake Sequence. The report indicates this property may have been effected by a degree of earthquake induced subsidence. The report obtained by LINZ can be accessed on their website at <https://www.linz.govt.nz> and search Information for Canterbury Surveyors.

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(f) Tsunamis

As at the date of this LIM, Council research found no information under this heading.

(g) Volcanic and Geothermal Hazards

As at the date of this LIM, Council research found no information under this heading.

(h) Wind

As at the date of this LIM, Council research found no information under this heading.

(i) Any Other Natural Hazards

As at the date of this LIM, Council research found no information under this heading.

(j) District Plan Natural Hazard Information

Please refer to *Section 8. Land use and conditions* of this report for District Plan related natural hazard information.

(k) Building Notices


Please refer to *Section 5. Consents, certificates, notices, orders, or requisitions affecting the land and buildings* of this report for Building Act notice information.

Other Special Features or Characteristics of the Land

As at the date of this LIM, Council research found no information under this heading.

2. Private and public stormwater and sewerage drains

Section 44A(2)(b) LGOIMA. This is information about private and public stormwater and sewerage drains as shown in the Council's records.

 For stormwater and sewerage enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Related Information

- Attached are all drainage plans that Council hold for details of private and public drainage. Not all plans provided are verified by Council, and therefore Council cannot be liable for inaccuracies. Site investigation will be required by owners to determine exact layouts.
- This property is shown to be served by Christchurch City Council Sewer.
- The council plan shows no public stormwater lateral plotted to this site.
- Council Trade Waste Bylaw regulates the use of the sewer system for sources other than domestic sewage. A trade waste consent must be obtained by the new owner or occupier before any wastewater from an industrial or commercial processes including but not limited to wash down grease traps and cooling systems may be discharged to Council sewer system.

3. Drinking Water Supply

Section 44A(2)(ba) and (bb) LGOIMA. This is information notified to the Council about whether the land is supplied with drinking water, whether the supplier is the owner of the land or a networked supplier, any conditions that are applicable, and any information the Council has about the supply.

Please note the council does not guarantee a particular water quality to its customers. If you require information on current water quality at this property please contact the Three Waters & Waste Unit.

☎ For water supply queries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Water supply

Christchurch City Council is the networked supplier of water to this property. This property is connected to the Christchurch City Council Water Supply. The conditions of supply are set out in the Christchurch City Council Water Supply and Wastewater Bylaw (2022), refer to www.ccc.govt.nz.

Related Information

- All Commercial and industrial properties are required to have a Reduced Pressure Zone backflow prevention device at the boundary to protect the Christchurch water supply network. The installation of this device is a condition of supply and is the responsibility of the property owner in accordance with the Christchurch City Council Water Supply and Wastewater Bylaw 2022. For more information visit our website <https://ccc.govt.nz/backflow-prevention/> or contact the backflow installation team on 03 941 8999.

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4. Rates

Section 44A(2)(c) LGOIMA. This is information on any rates owing in relation to the land.

☎ For rates enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

(a) Annual rates

Annual rates to 30/06/2026: \$20,373.16

	Instalment Amount	Date Due
Instalment 1	\$5,093.24	15/09/2025
Instalment 2	\$5,093.24	15/12/2025
Instalment 3	\$5,093.24	15/03/2026
Instalment 4	\$5,093.44	15/06/2026

Rates owing as at 16/04/2026: \$5,093.44

(b) Excess Water Rates

For excess water charge enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz/contact-us.

(c) Final water meter reading required at settlement?

Property settlements must ensure all water usage and outstanding debts are accurately accounted for.

To advise of a property settlement, please complete the request for settlement information form at www.ccc.govt.nz/services/rates-and-valuations/solicitors-request.

A settlement statement of accounts will be provided on the expected settlement date advised.

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5. Consents, certificates, notices, orders, or requisitions affecting the land and buildings

Section 44A(2)(d) LGOIMA. This is information concerning any consent, certificate, notice, order, or requisition, affecting the land or any building on the land, previously issued by the Council.

The information in this section may also cover building consent and/or code compliance information issued by building certifiers under the Building Act 1991 and building consent authorities that are not the Council under the Building Act 2004.

You can check the property file to identify whether any consent or certificate was issued by a building certifier under the Building Act 1991.

The building consents recorded in this LIM are only those that the Council has issued or been notified of by a stand-alone BCA. There may be others if a stand-alone BCA has issued consents without notifying the Council.

Section 44A(2)(da) LGOIMA. The information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004. There is currently no information required to be provided by a building contractor to a territorial authority under section 362T(2) of the Building Act 2004. The Building (Residential Consumer Rights and Remedies) Regulations 2014 only prescribed the information that must be given to the clients of a building contractor.

Sections 71 to 74 of the Building Act 2004 require the Building Consent Authority to consider natural hazards when it receives a building consent application for the construction or major alteration of a building on land that is subject to, or likely to be subject to, a natural hazard. A building consent for this property may have been issued subject to a section 72 or 73 notice. This means at the time of building consent the Building Consent Authority was not satisfied that adequate provision would be made to protect the building and land from the natural hazard and was subsequently required to notify the Registrar-General of Land to record the natural hazard on the Record of Title. The Building Act 2004 defines natural hazards as erosion (including coastal erosion, bank erosion, and sheet erosion), falling debris (including soil, rock, snow, and ice), subsidence, inundation (including flooding, overland flow, storm surge, tidal effects, and ponding), and slippage.

If your property contains a notice under s73 of the Building Act 2004, this will be identified on the building consent decision below (decision under s72 of the Building Act 2004) and on the properties' Record of Title. The Record of Title may also record this as a s36 notice under the Building Act 1991, or a s641A notice under the Local Government Act 1974.

☎ For building enquiries, please phone (03) 941 8999, email EPADutyBCO@ccc.govt.nz or visit www.ccc.govt.nz.

(a) Consents

- BCN/1971/1066 Applied: 05/03/1971 Status: Completed
9 Buckleys Road North Linwood
Permit issued 28/04/1971
STUCCO- Historical Reference PER71200675
- BCN/1974/6249 Applied: 21/10/1974 Status: Completed
9 Buckleys Road North Linwood
Permit issued 20/12/1974
SHOPPING CENTRE- Historical Reference PER74400793 - No information/plans held on property file
- BCN/1975/6526 Applied: 26/11/1975 Status: Completed
9 Buckleys Road North Linwood
Permit granted 27/11/1975
Permit issued 27/11/1975
ERECT HORIZONTAL SIGN ON FRONT OF BANK- Historical Reference PER75009275
- BCN/1976/5385 Applied: 07/10/1976 Status: Completed
9 Buckleys Road North Linwood
Permit granted 07/10/1976
Permit issued 07/10/1976
ERECT ILLUMINATED VERTICAL SIGN- Historical Reference PER76010376

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- BCN/1977/1292 Applied: 16/03/1977 Status: Completed
9 Buckleys Road North Linwood
Permit granted 16/03/1977
Permit issued 16/03/1977
ERECT A SIGN FOR SHOPPING CENTRE- Historical Reference PER77001777
- BCN/1979/6296 Applied: 28/11/1979 Status: Completed
9 Buckleys Road North Linwood
Permit granted 28/11/1979
Permit issued 28/11/1979
ERECT A FREE STANDING SIGN FOR KEYSTORES- Historical Reference PER79014079
- BCN/1981/2194 Applied: 16/04/1981 Status: Completed
9 Buckleys Road North Linwood
Permit granted 16/04/1981
Permit issued 16/04/1981
ERECT STOREROOM & ALTER INTERIOR- Historical Reference PER81040064
- BCN/1985/231 Applied: 22/01/1985 Status: Completed
9 Buckleys Road North Linwood
Permit issued 05/02/1985
ALTERATIONS- Historical Reference PER84504098
- BCN/1985/8075 Applied: 21/12/1985 Status: Completed
9 Buckleys Road North Linwood
Permit issued 19/03/1986
BUILDING ALTERATIONS- Historical Reference PER85604490
- BCN/1992/1493 Applied: 28/02/1992 Status: Completed
9 Buckleys Road North Linwood
Permit granted 28/02/1992
Permit issued 28/02/1992
DRAINAGE: LATERAL REPAIRS- Historical Reference PER91163745
- BCN/1995/8234 Applied: 16/10/1995 Status: Completed
9 Buckleys Road North Linwood
Accepted for processing 16/10/1995
Building consent granted 01/11/1995
Building consent issued 30/11/1995
Code Compliance Certificate Granted 26/01/1998
Code Compliance Certificate Issued 26/01/1998
COMMERCIAL/ INTERNAL ALTERATIONS- Historical Reference CON95008894 - - No information/plans held on property file
- BCN/1998/350 Applied: 26/01/1998 Status: Completed
9 Buckleys Road North Linwood
Accepted for processing 26/01/1998
Building consent granted 04/02/1998
Building consent issued 12/02/1998
Code Compliance Certificate Granted 29/10/2008
Code Compliance Certificate Issued 29/10/2008
COMMERCIAL/INTERNAL ALTERATIONS/COMBINE TENANCIES 1 & 2- Historical Reference CON98000381
- BCN/2002/1763 Applied: 15/03/2002 Status: Completed
9 Buckleys Road North Linwood
Accepted for processing 15/03/2002

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PIM Granted 15/03/2002

PIM Issued 15/03/2002

Building consent granted 26/03/2002

Building consent issued 10/04/2002

Code Compliance Certificate Granted 09/05/2002

Code Compliance Certificate Issued 09/05/2002

ALTERATIONS TO TENANCY FOR POSTSHOP/BANK MAX STAFF OF 5- Historical Reference ABA10022695

- BCN/2002/2507 Applied: 11/04/2002 Status: Completed
9 Buckleys Road North Linwood
Accepted for processing 11/04/2002
PIM Granted 22/04/2002
PIM Issued 22/04/2002
Building consent granted 02/05/2002
Building consent issued 09/05/2002
Code Compliance Certificate Granted 05/11/2008
Code Compliance Certificate Issued 05/11/2008
COMMERCIAL FITOUT- Historical Reference ABA10023415
- BCN/2013/11968 Applied: 09/09/2013 Status: Completed
9 Buckleys Road North Linwood
Exemption from building consent approved 02/10/2013
Application for exemption from Building Consent for Minor Interior Fitout
- Historical Reference BAE35006864
- BCN/2014/11462 Applied: 04/03/2014 Status: Completed
9 Buckleys Road North Linwood
Exemption from building consent approved 02/04/2014
Application for exemption from Building Consent for partially replacing floor slab and repairs
- Historical Reference BAE35007799
- BCN/2014/11882 Applied: 20/11/2014 Status: Completed
9 Buckleys Road North Linwood
Exemption from building consent declined 27/11/2014
Establish a Commercial Laundry
- BCN/2020/7359 Applied: 08/05/2017 Status: Completed
9 Buckleys Road North Linwood
Certificate of acceptance approved 13/09/2017
Building Act Certificate of Acceptance considered for backflow preventors installed in commercial laundry at Shop 3
- Historic Reference BAA37001348

(b) Certificates

Note: Code Compliance Certificates were only issued by the Christchurch City Council since January 1993.

(c) Notices

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- Placards issued under the Civil Defence Emergency Management Act 2002 as a result of the 4 September 2010 and 22 February 2011 earthquakes have now expired (by 12 July 2011 if not before). Some civil defence placards were replaced with dangerous building notices issued under section 124 Building Act 2004, and where this has happened the section 124 notice is separately recorded. Many other buildings, although not issued with a section 124 notice, may require structural work or other repairs before they can be occupied again. It is the building owners responsibility to make sure the building is safe for any occupier or visitor. Detailed structural engineering assessments may still be required to be carried out.
- CDB75046819 02/03/2011 9 Buckleys Road
Building Evaluation Switched on gardening : Building Inspected Under Civil Defence Emergency , Green Placard Issued (a deemed Building Act notice)
- WOF/2020/1641 Expires: 01/06/2026
Compliance schedule form 11 issued 19/08/2024

(d) Orders

(e) Requisitions

Related Information

- Attached is a copy of the form 9 for a certificate of acceptance (BAA) that has been issued for building work at this property. There will be items that have been accepted by Council and some that may have been excluded acceptance.
- In the property file there is an electrical and/or gas fitters certificate relating to works that have been carried out on the current building at this address.

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6. Certificates issued by a building certifier

Section 44A(2)(e) LGOIMA. This is information notified to the Council concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004.

☎ For building enquiries, please phone (03) 941 8999, email EPADutyBCO@ccc.govt.nz or visit www.ccc.govt.nz.

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7. Weathertightness

Section 44A(2)(ea) LGOIMA. This is information notified to the Council under section 124 of the Weathertight Homes Resolution Services Act 2006.

 For weathertight homes enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

If there is no information below this means Council is unaware of any formal Weathertight Homes Resolution Services claim lodged against this property.

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8. Land use and conditions

Section 44A(2)(f) LGOIMA. This is information relating to the use to which the land may be put and conditions attached to that use. The planning information provided below is not exhaustive and reference to the Christchurch District Plan and any notified proposed changes to that plan is recommended: <https://ccc.govt.nz/the-council/plans-strategies-policies-and-bylaws/plans/christchurch-district-plan/>.

There may be some provisions of the Christchurch City Plan or Banks Peninsula District Plan that affect this property that are still operative.

☎ For planning queries, please phone (03) 941 8999, email DutyPlanner@ccc.govt.nz or visit www.ccc.govt.nz.

- **Regional plan or bylaw**

There may be objectives, policies or rules in a regional plan or a regional bylaw that regulate land use and activities on this site. Please direct enquiries to Canterbury Regional Council (Environment Canterbury).

(a)(i) Christchurch City Plan & Banks Peninsula District Plan

(ii) Christchurch District Plan

- **Liquefaction Management Area (LMA)**

Property or part of property within the Liquefaction Management Area (LMA) Overlay, which is operative.

- **District Plan Zone**

Property or part of property within the Town centre zone, which is operative.

- **Flood Management Area**

Property or part of property within the Flood Management Area (FMA) Overlay which is operative.

(b) Resource consents

If there are any land use resource consents issued for this property the Council recommends that you check those resource consents on the property file. There may be conditions attached to those resource consents for the property that are still required to be complied with.

- RMA/1976/316 - Resource consents

9 Buckleys Road North Linwood

Sign above the bank of new south Wales Linwood Branch. - Historical Reference RES9219276

Status: Processing complete

Applied 06/10/1976

Granted 06/10/1976

Decision issued 06/10/1976

- RMA/1980/634 - Resource consents

9 Buckleys Road North Linwood

Reduction in parking standards. - Historical Reference RES9219277

Status: Processing complete

Applied 08/02/1980

Declined 03/03/1980

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Tel 64 3 941 8999

Fax 64 3 941 8984

www.ccc.govt.nz

Decision issued 03/03/1980

- RMA/1980/635 - Resource consents
9 Buckleys Road North Linwood
Dispensation from the off street carparking requirements of the publically notified District scheme. - Historical Reference RES9219278
Status: Processing complete
Applied 29/04/1980
Granted 15/05/1980
Decision issued 15/05/1980
- RMA/2002/1088 - Land Use Consent
9 Buckleys Road North Linwood
New pylon sign and facade signage for the individual tenants. - Historical Reference RMA20010079
Status: Processing complete
Applied 07/08/2002
Granted 09/09/2002
Decision issued 10/09/2002
- RMA/2008/1827 - Certificate of compliance
9 Buckleys Road North Linwood
NZ Communications. Installation of a 20m monopole, four microwave dish antennas, 3 panel antennas, 3 equipment cabinets and associated hardware - Historical Reference RMA92012710
Status: Processing complete
Applied 01/09/2008
Certificate issued 18/09/2008
- RMA/2015/2601 - Land Use Consent
7 Livingstone Street Linwood
Upgrade seven existing telecommunications facilities - Historical Reference RMA92030946
Status: Processing complete
Applied 18/09/2015
Granted 14/10/2015
Decision issued 15/10/2015

Property address:

9 Buckleys Road

LIM number: H09570008

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9. Other land and building classifications

Section 44A(2)(g) LGOIMA. This is information notified to the Council by any statutory organisation having the power to classify land or buildings for any purpose.

 For land and building enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Please refer to Section 1 for details

Property address:

9 Buckleys Road

LIM number: H09570008

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10. Network utility information

Section 44A(2)(h) LGOIMA. This is information notified to the Council by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004.

 For network enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

- **None recorded for this property**

11. Other information

Section 44A(3) LGOIMA. This is information concerning the land that the Council has the discretion to include if it considers it to be relevant.

☎ For any enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

(a) Kerbside waste collection

- Your organics are collected Weekly on Wednesday. Please leave your organics at the Kerbside by 6:00 a.m.
- Your recycling is collected Fortnightly on the Week 1 collection cycle on a Wednesday. Please leave your recycling at the Kerbside by 6:00 a.m. Your nearest recycling depot is the Metro Place EcoDrop.
- Your refuse is collected Fortnightly on the Week 1 collection cycle on a Wednesday. Please leave your rubbish at the Kerbside by 6:00 a.m. Your nearest rubbish depot is the Metro Place EcoDrop.

(b) Other

• Floor Levels Information

Council holds a variety of information on requirements for building or property development. This includes:

- required minimum finished floor levels, which need to be set to meet the surface water requirements in clause E1.3.2 of the Building Code (where this applies); and
- the requirements of the Christchurch District Plan (where a property is in the Flood Management Area).

Where this information has been processed for your property, you can view it online at <https://ccc.govt.nz/flooding-and-floor-levels>.

Otherwise, if you are building or developing on this land, you can request a calculation on required finished floor levels for your proposed building by emailing us at floorlevels@ccc.govt.nz.

• Community Board

Property located in Coastal-Burwood-Linwood Community Board.

• Tsunami Evacuation Zone

This property is not in a tsunami evacuation zone. It is not necessary to evacuate in a long or strong earthquake or during an official Civil Defence tsunami warning. Residents may wish to offer to open their home to family or friends who need to evacuate from a tsunami zone, and should plan with potential guests to do so in advance. More information can be found at <https://ccc.govt.nz/services/civil-defence/hazards/tsunami-evacuation-zones-and-routes/>

• Electoral Ward

Property located in Linwood Electoral Ward

• Listed Land Use Register

Hazardous activities and industries involve the use, storage or disposal of hazardous substances. These substances can sometimes contaminate the soil. Environment Canterbury identifies land that is used or has been used for hazardous activities and industries. This information is held on a publically available database called the Listed Land Use Register (LLUR). The Christchurch City Council may not hold information that is held on the LLUR. Therefore, it is recommended that you check Environment Canterbury's online database at www.llur.ecan.govt.nz

• Spatial Query Report

A copy of the spatial query report is attached at the end of this LIM. The spatial query report lists land use resource consents that have been granted within 100 metres of this property.

Property address:

9 Buckleys Road

LIM number: H09570008

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Related Information

- Dangerous Goods Licences have been replaced with Location Test Certificates/ Location Compliance Certificates administered by Worksafe. You can contact a local Test Certifier to advise you or to issue the type of test certificate you need.
- Please see attached a copy of the Detailed Engineering Evaluation (DEE) assessment report.

Property address:
9 Buckleys Road

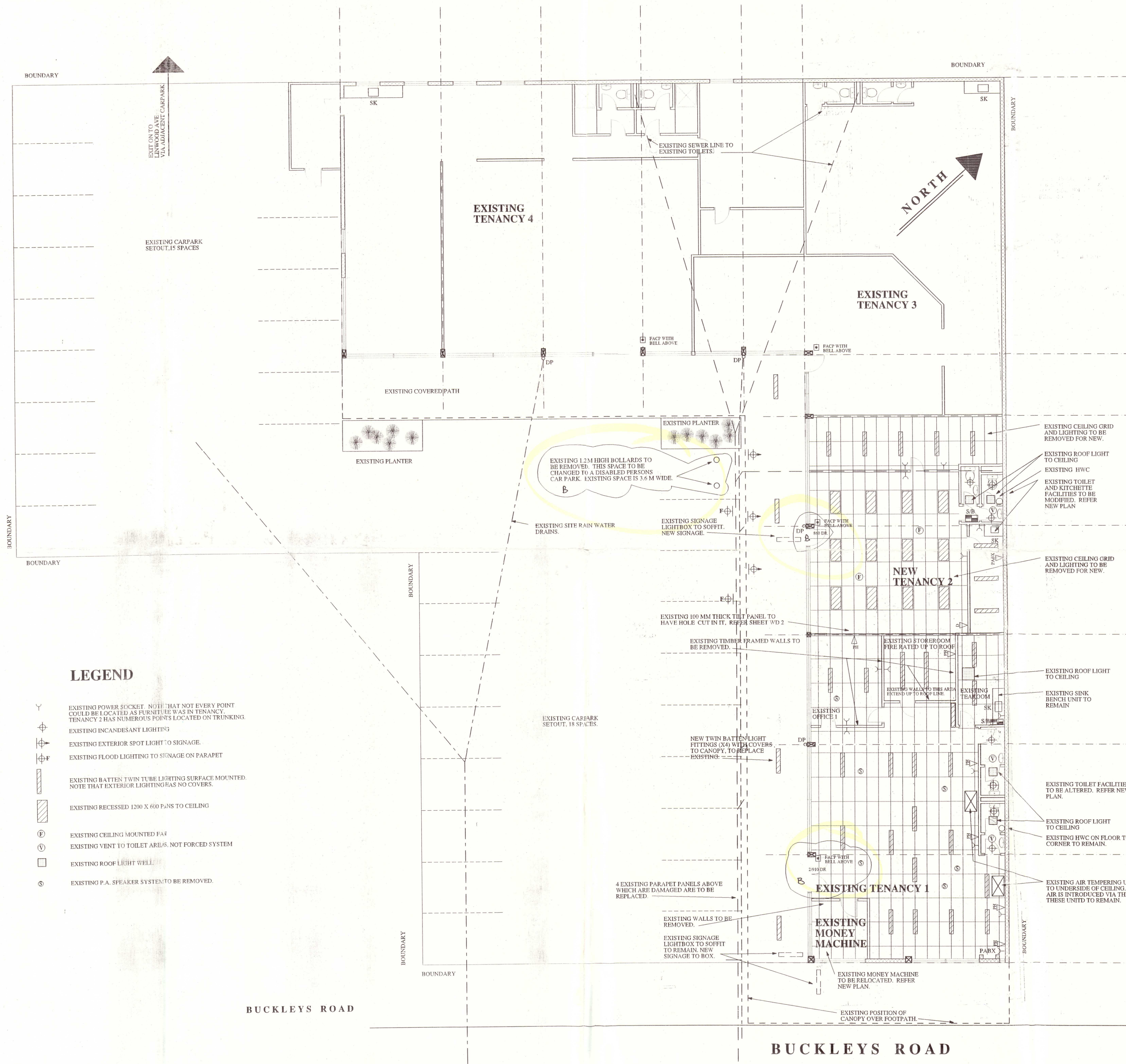
LIM number: H09570008

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FILE COPY



LEGEND

- ⊕ EXISTING POWER SOCKET. NOTE THAT NOT EVERY POINT COULD BE LOCATED AS FURNITURE WAS IN TENANCY. TENANCY 2 HAS NUMEROUS POINTS LOCATED ON TRUNKING.
- ⊕ EXISTING INCANDESCENT LIGHTING
- ⊕ EXISTING EXTERIOR SPOT LIGHT TO SIGNAGE
- ⊕ EXISTING FLOOD LIGHTING TO SIGNAGE ON PARAPET
- ⊕ EXISTING BATTEN T W TUBE LIGHTING SURFACE MOUNTED. NOTE THAT EXTERIOR LIGHTING HAS NO COVERS.
- ⊕ EXISTING RECESSED 1200 X 600 PANS TO CEILING
- ⊕ EXISTING CEILING MOUNTED FAI
- ⊕ EXISTING VENT TO TOILET AREAS. NOT FORCED SYSTEM
- ⊕ EXISTING ROOF LIGHT WELL
- ⊕ EXISTING P.A. SPEAKER SYSTEM TO BE REMOVED.

EXISTING SITE PLAN / FLOOR PLAN SETOUT



THE DESIGN TEAM LIMITED
 10 Leslie Hills Drive
 P.O. Box 8487
 Riccarton, Christchurch
 Ph. (03) 348-8279, 348-8278
 Fax (03) 343-0524

THIS DRAWING IS SUBJECT
 TO COPYRIGHT ©
 ALL CRITICAL MEASUREMENTS TO
 BE SITE CHECKED

CHRISTCHURCH CITY COUNCIL
 CONSENT DOCUMENT
 S.C. 1998/1050
 - 4 FEB 1998
 All building work shall comply with the
 New Zealand Building Code notwith-
 standing any inconsistencies which may
 occur in the drawings and specifications.

FILE COPY

2.2.98	B	NOTES RE CARPARKS ETC
12.1.98	A	SCHEME 2

Date No Amendments Drawn
NORWICH BUILDING
9 BUCKLEYS ROAD
LINWOOD

PROPOSED NEW PLAN
EXISTING SITE/ FLOOR PLAN

Designed	Drawn
21 JANUARY 1998	J. HUNTER
Job Number	Sheet Number
3653	WD 1 (P)

GENERAL NOTES

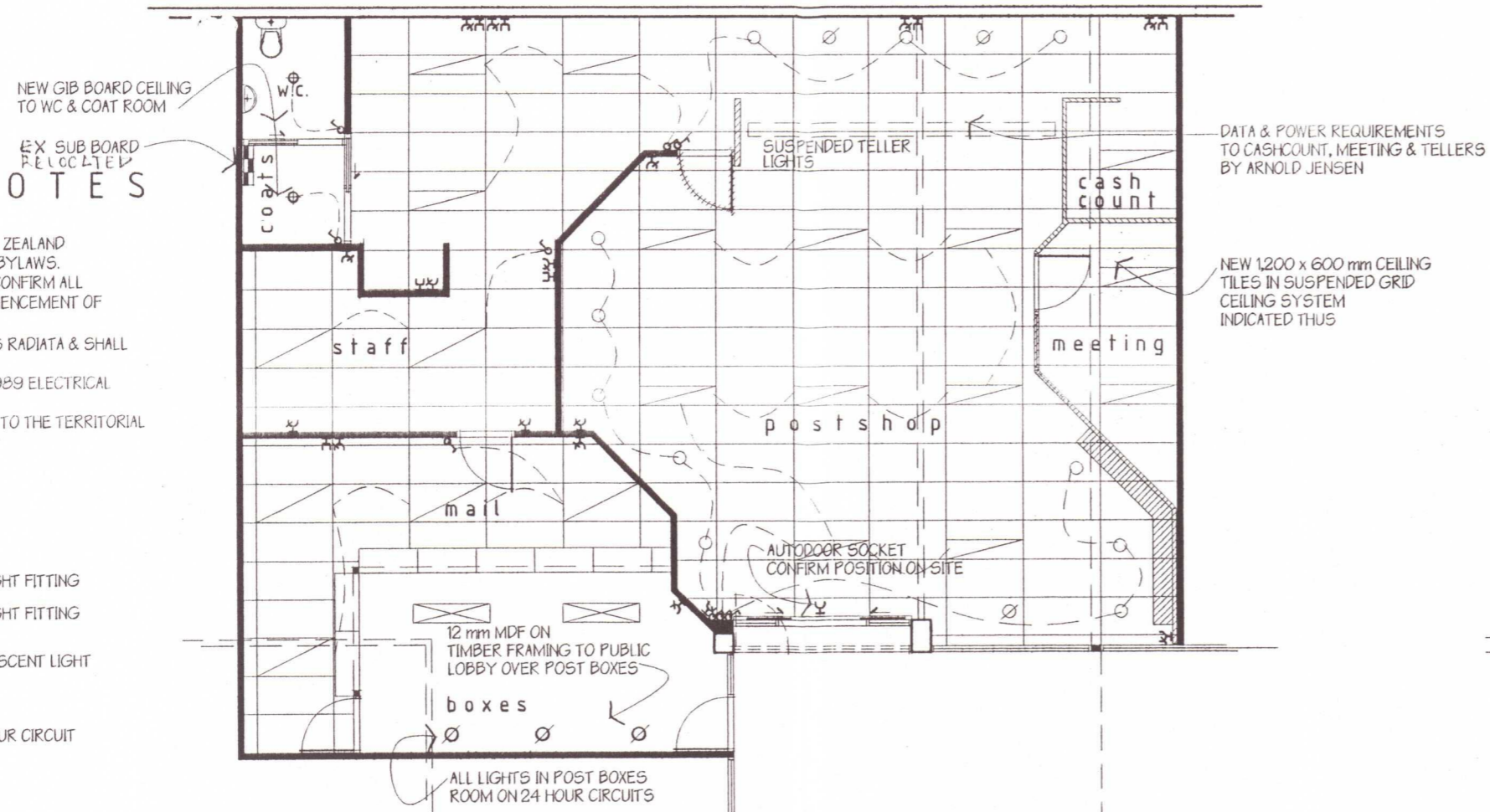
- ALL CONSTRUCTION TO COMPLY WITH THE NEW ZEALAND BUILDING CODE & RELEVANT NZ STANDARDS & BYLAWS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL DIMENSIONS & SITE CONDITIONS BEFORE COMMENCEMENT OF WORKS.
- ALL FRAMING TIMBER TO BE NO. 1 GRADE PINUS RADIATA & SHALL BE READ AS 94mm.
- ALL ELECTRICAL WORK TO COMPLY WITH THE 1989 ELECTRICAL WIRING REGULATIONS.
- DRAINLAYER TO SUPPLY 'AS BUILT' DRAWINGS TO THE TERRITORIAL AUTHORITY ON COMPLETION.

ELECTRICAL LEGEND

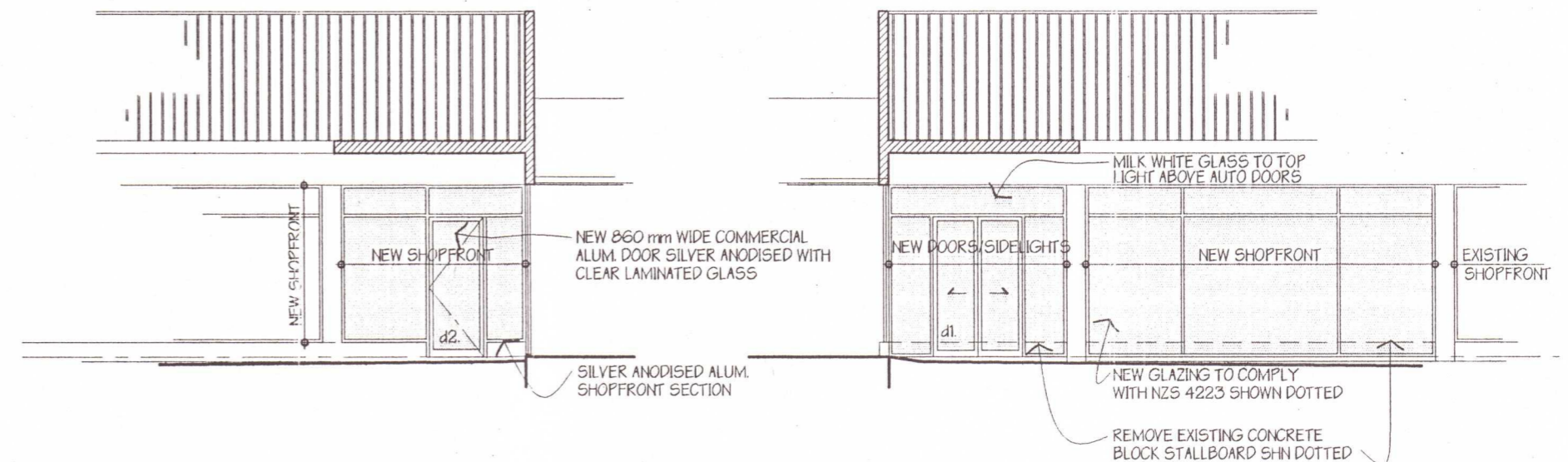
- 1200 x 300 mm RECESSED FLUORESCENT LIGHT FITTING IN MDF CEILING
- 1200 x 300 mm RECESSED FLUORESCENT LIGHT FITTING
- EXISTING 1200 x 600 mm RECESSED FLUORESCENT LIGHT FITTING REUSED
- NEW (2 x 18 WATT) FLURO DOWNLIGHT
- NEW (2 x 18 WATT) FLURO DOWNLIGHT 24 HOUR CIRCUIT

WALL LEGEND

- EXISTING TIMBER FRAMED WALLS TO REMAIN -
- EXISTING TIMBER FRAMED WALLS TO BE REMOVED -
- NEW TIMBER FRAMED WALLS -
- ITEMS SUPPLIED BY NEW ZEALAND POST -
- NEW SLAT WALLS -
- AUTEX ASB 4 ACOUSTIC BLANKET TO WALLS - (AB)

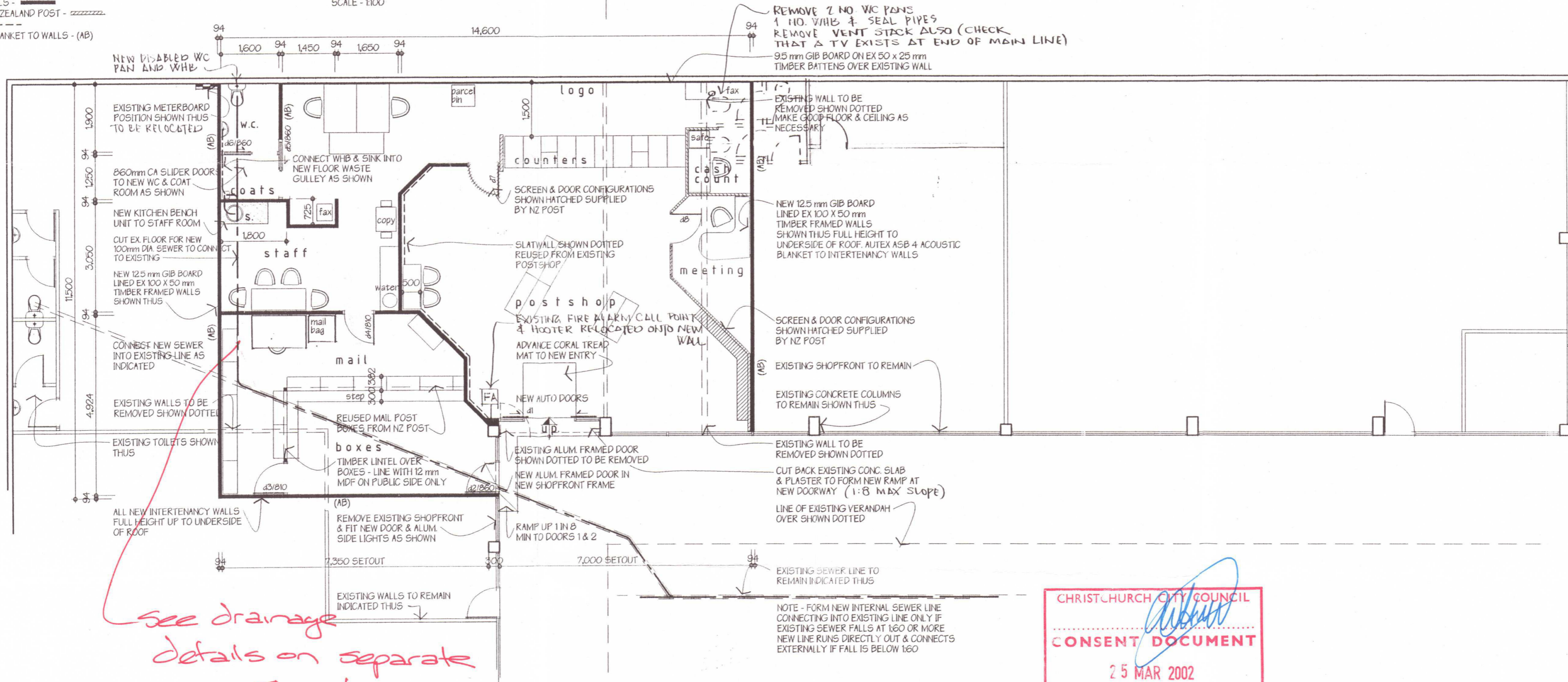


REFLECTED CEILING PLAN
SCALE - 1:100



EAST ELEV.
SCALE - 1:100

SOUTH ELEV.
SCALE - 1:100



PROPOSED FLOOR PLAN
SCALE - 1:100

See drainage details on separate sheet

CHRISTCHURCH CITY COUNCIL
CONSENT DOCUMENT
25 MAR 2002
All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

Certificate of Acceptance

Section 99, Building Act 2004

Form 9 – Building (Forms) Regulations 2004

Project number BAA37001348 **Date issued** 13th September 2017

The building

Street address 9 Buckleys Road, North
Linwood, Christchurch 8006 **Location within
site/block number** Shop 3

Legal description Lot 2 DP 35720

Building name n/a **Level/unit number** n/a

The owner

Name of owner John Patrick Clyne **Phone numbers**

Contact person Thang Tat Nguyen (Andy) **Landline** 03 352 2850

Mailing address 178 Tennessee Avenue,
Mangere East, Auckland 2024 **Mobile** 027 217 8308

**Street address/
registered office** n/a **Daytime** n/a

Email speedkinglimited@gmail.com **After hours** n/a

Fax n/a

Website n/a

First point of contact for communications with the council:

Name JEMR Ltd **Phone** n/a

Contact person Roanna Garmey **Mobile** 021 753 813

Mailing address 25A Mounbtain Road, Mount
Wellington, Auckland 1072 **Fax** n/a

Email garmey@vodafone.co.nz

Acceptance of compliance

The Christchurch City Council is satisfied, to the best of its knowledge and belief and on reasonable grounds, that, insofar as it can ascertain, the building work described below complies with the building code:

Description of Work:

- Laundromat fit out.

The work comprises:

- Install backflow preventers onto the water supply.
- Install water tank located in the southern area of the car park and plumb to laundromat.
- Plumb new cold water supply to the washing machines.
- Install new instantaneous gas fired water heaters to provide hot water to the washing machines and pantry area.
- Connect washing machines to the existing drainage outlets.
- Install gas bottle station on the south elevation of the building and secure bottle store cage.
- Install gas supply to the clothes dryers.
- Install ventilation specific to the gas dryers.

Building code clauses considered relevant to the work:

- **B2 – Durability**
- **D1 – Access Routes**
- **E2 – External Moisture**
- **E3 – Internal Moisture**
- **F8 – Signs**
- **G4 - Ventilation**
- **G9 – Electricity**
- **G11 – Gas as and Energy Source**
- **G12 - Water Supplies**
- **G13 – Foul Water**

The work is subject to the following exclusion:

- Elements that could not be sighted or otherwise verified for compliance with the Building Code are to be excluded from the Certificate of Acceptance.
- **Clause B2 – Durability** – Excluded due to lack of documentation to verify compliance.
- **Clause E2 – External Moisture** – Excluded due to lack of documentation to verify compliance.
- **Clause G4 – Ventilation** – Excluded due to lack of supporting evidence to confirm compliance.

This Certificate is qualified as follows:

Clause D1 - Access Routes

- Site Inspection on 16th August 2017 by Donna Chapman, Building Control Officer of Christchurch City Council confirms that entrance to the laundromat is through an automatic door from the car park located off Buckleys Rd. The entrance and movement around the shop has been made no worse by the new fit out than what was there previously.

Clause E3 - Internal Moisture

- Site Inspection on 16th August 2017 by Donna Chapman, Building Control Officer of Christchurch City Council verified that confirms that the floor covering is of an impervious ceramic tile material and is easily cleaned and will reduce the risk of damage to the building elements. The benches for clothes sorting are of stainless steel and easy to clean, dry and sanitise.
- Site Inspection on 16th August 2017 by Donna Chapman, Building Control Officer of Christchurch City Council confirms the presence of ceiling mounted outlets which are assumed to provide ambient heating and cooling. These were not tested at the time of inspection.

Clause F8 - Signs

- Site Inspection on 16th August 2017 by Donna Chapman, Building Control Officer of Christchurch City Council confirms an illuminated exit sign is located above the main entrance door into the car park. This was not tested at the time of inspection.

Clause G9 - Electricity

- Alterations were carried out to the existing electrical layout of the shop. These works have been verified by the provision of an Electrical Certificate of Compliance and Electrical Safety Certificate from registered electrician, E263213, Mohamed Faiyaz Bhamji.

Clause G11 – Gas as an Energy Source

- Site Inspection on 16th August 2017 by Donna Chapman, Building Control Officer of Christchurch City Council confirms the gas supply is located to the south of the shop. A secure gas store cage is located in the car park area. The bottle station is located on the south gable wall of the building.
- Installation of the gas supply piping has been verified by the provision of a Gas Certification and Compliance from licenced installer Paul Littlewood, Reg# 19738, of Alright Gas Ltd.

Clause G12 - Water Supplies

- Plumbing works have been carried out to connect the washing machines to a cold and hot water supply. This work has been verified by the provision of both a Producer Statement 3 (PS3) and Pipework Testing Certificate from registered plumber Craig Harris, Reg# 20107, of Source Plumbing Ltd.
- The backflow prevention device has been tested and verified by the provision of a Certificate of Compliance from IQP Martin de Gouw of Clyne and Bennie Plumbing.

Clause G13 - Foul Water

- Works have been carried out to connect the washing machines to a drainage run which discharges to the outfall. This work has been verified by the provision of both a Producer Statement 3 (PS3) and Pipework Testing Certificate from registered plumber Craig Harris, Reg# 20107, of Source Plumbing Ltd.

NB Where compliance with stated building code clauses may not been verified, Council also has no evidence to indicate that the building may be dangerous or insanitary as a consequence.

This certificate is based on the following information:

- Certificate of Acceptance application form.
- Accompanying documents
- Inspection report, observations and photographs.

Nothing in this certificate limits the requirement that a person must not carry out building work except in accordance with a building consent, nor does it relieve any person from the requirement to obtain a building consent for building work.

Attachments:

- Stamped approved documents.
- Inspection report.

Signature:

13/09/2017 9:42 a.m.

X  *Garland, Isobel*

Garland, Isobel

On behalf of the Christchurch City Council:

BAE35007799

Exemption from building consent

Approved 01/04/2014

by Julie Hand

Notwithstanding any drawings or specifications
accepted herein, all building work must comply
with the New Zealand Building Code.

9-13 Buckleys Road Christchurch

Quantitative Detailed Engineering Evaluation Report

Project number: 3584

Client: John Clyne

structex harvard ltd
219 main south road
Christchurch 8042
new zealand

tel: +64 3 341 8952
harvard@structex.co.nz
www.structex.co.nz

Prepared by

Reviewed by



.....
Geoff Bunn
B.E(Hons), GIPENZ
Structural Engineer
Structex Harvard Limited

.....
Geoff Banks
B.E(Hons), MIPENZ, CEng
Director
Structex Harvard Limited

Revision No.	Date	Engineer	Description
A	25/02/2014	GBu	Client Issue

Limitations of Report

Findings presented as part of this report are for the sole use of our client, as addressed above. The findings are not intended for use by other parties, and may not contain sufficient information for the purposes of other parties or other uses. Our professional services are performed using a degree of care and skill normally exercised, under similar circumstances, by reputable consultants practicing in this field at this time. No other warranty, expressed or implied, is made as to the professional advice presented in this report.



Executive Summary and Recommendations

Structex has been engaged to complete a detailed engineering evaluation (DEE) of The shopping complex at 9-13 Buckleys Road, Christchurch. The initial qualitative stage of this DEE was previously issued on 15 November 2012 and highlighted the need for the further quantitative stage. This quantitative report is intended to be read as an addendum to the previous qualitative DEE report, summarising the findings of our detailed analysis.

Structex have separately analysed the available primary and secondary structural systems for earthquake loading across and along the building using standard elastic loadings of AS/NZ1170.5 and general equivalent static analysis methods for force distribution. The seismic assessment of the building components has been carried out in accordance with New Zealand Society for Earthquake Engineering (NZSEE) guidelines.

In summary, the building as it currently stands has a seismic strength of at least **53% New Building Standard (NBS)**, and is therefore **not considered Earthquake Prone**. The concrete column bending demand for frames in the north south direction limits the overall building strength. This assessment effectively supersedes our initial IEP strength prediction as part of the qualitative DEE report due to being more precise.

We have assessed the concrete panels for a relatively high face load as we have limited the ductility potential to nominal. These panels have shown selected cracking associated with an out-of-plane face load flexure, but none of which observed by Structex have proved to be a cause for concern.

Conservative assumptions have been made in the absence of information on the existing drawings. Soil bearing conditions have been assumed as part of the assessment of the existing foundations due to the unavailability of a formal geotechnical study of the site. The general ground conditions at site appear to be fair, with aerial photographs of the site and surrounding area taking after the February 2011 earthquake showing signs of liquefaction to the north.

Information regarding the building description, details of the observed damage and a basic damage repair schedule are included in the original qualitative DEE of 15 November 2012, and are therefore not subsequently repeated in this report.

The building has been surveyed for level changes by Staig and Smith. We note that the floor is significantly out of level through the Cash Converters tenancy, up to 114mm differentially. We propose to remove the rear section of floor and reinstate to correct level, as shown by the repair concepts of appendix C.

Seismic strengthening is not necessary to meet current code legislation and may not be required in any subsequent future building consent. However, strengthening could be adopted in certain areas as a means to improve the future seismic performance of the building, with the desired level to be discussed with the building owner, insurer and the Christchurch City Council. We note a number of simplistic strengthening options in section 2.7.

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1 Introduction

1.1 Report Outline

Structex has been engaged to complete a detailed quantitative engineering evaluation for retail complex at 9-13 Buckleys Road, Christchurch. The evaluation was undertaken in accordance with guidelines prepared by the Post-Canterbury earthquake Engineering Advisory Group (EAG) "Guidance on Detailed Engineering Evaluation of Earthquake Affected Non-residential Buildings in Canterbury". At the time of writing this report, these guidelines were in draft format (revision 7, released through CSG, 16th May 2012) and under review with the Ministry of Business Innovation and Employment (MOBIE).

This report is intended to be read as a superseding addendum to the qualitative detailed engineering evaluation report previously issued by Structex dated 15 November 2012. The scope of this report is to summarise our findings from the quantitative assessment and more specifically this report:

- (a) Highlights Building Act requirements and the Christchurch City Council policy for earthquake-prone buildings
- (b) Outlines the level of additional investigations undertaken following the qualitative assessment and where information was obtained
- (c) Summarises in detail the existing buildings, their construction, and structural systems
- (d) Summarises the type of analysis undertaken
- (e) Presents the quantitative analysis results of the building's seismic strength relative to New Building Standard (NBS), commonly referred to as "current code"
- (f) Identifies and quantifies critical structural weaknesses where present
- (g) Makes recommendations for seismic strengthening, if required

Photos of the damage observed have been included in the previously released qualitative DEE report and have subsequently not been reproduced in this report.

Due to the technical nature of this assessment, this report is written using engineering terms and elaborated on within reason. Additional commentary for a non-engineering audience has been used where we think additional clarity or explanation is of use, this is indicated by *italics* as the last paragraph in the referring section.



1.2 Scope of Investigation

Our quantitative detailed engineering evaluation has been undertaken in accordance with New Zealand Society for Earthquake Engineering (NZSEE) guidelines "Assessment and Improvement of the Structural Performance of Buildings in Earthquakes" dated June 2006.

Our building evaluation has been based on the following information:

- (a) Further inspections of the buildings carried out following the release of the qualitative DEE report, which included:
 - Investigation of structural connections after internal lining strip out, conducted November 2013
- (b) Partial structural and architectural drawings obtained from the Christchurch City Council Property Files
- (c) Qualitative detailed engineering evaluation report issued by Structex, dated 15 November 2012
- (d) Survey and level information report by Staig and Smith, dated 20 November 2013



2 Seismic Assessment

2.1 General Description and Materials

Refer to the qualitative detailed engineering evaluation report for full description of this building. An engineering summary of the structure is presented in Table 2 below.

Additional 'intrusive' investigation was conducted during internal lining strip out as part of earthquake repair works. This enabled Structex to view a number of structural connections and previous repair works previously un-viewed within the ceiling space. The previously repaired concrete spalling damage to a steel rafter to concrete panel connection was found to be inadequate, and likely to result in additional damage in future large earthquakes. Structex has since specified remedial works for this specific area.

The 28-day concrete strength for the floor slab is listed on the drawings as 2500Psi, which equates to 18MPa. We believe the original strength of the structural concrete panels to be slightly higher, at typically 20MPa for structural elements. For 'probable' strength calculations, we have multiplied this value by a factor of 1.5 (consistent with NZSEE guidelines accounting for strength increase over time) to give 30MPa, which was used in the analysis of structural concrete elements. From observation of the exposed concrete elements, the general condition of the concrete gave no evidence to reduce this assumed strength.

The probable yield strength of the reinforcing steel was estimated with the use of the NZSEE guidelines at 380MPa, allowing for a slight increase due to working to 'probable' strengths. These bars were labelled on the drawings as H.Y (high yield).

Similarly, the structural steel sections are assumed to be standard 'mild steel' with a strength grade of 300MPa.

The sidewalls consist of 100mm to 175+ mm thick concrete panels, reinforced generally with either the use of mesh or a simple bar layout. We have assumed these panels are required to take full elastic face loads at nominal ductility due to the fact they are not supported by steel transoms at the top, and in some cases they are not tied into the floorslab. We believe this gives a conservatively high estimation of face loading which could in fact be far lower if a higher ductility is achievable.

Local ground conditions have not yet been formally analysed by way of geotechnical report, therefore we have limited the allowable safe bearing capacity to 80kPa for the purposes of our structural investigation.

Table 2: Assessment Summary

Assessment of Structural Performance of Buildings in Earthquake Summary of Building Features							
Building name: N/A					Ref: Project #3584		
Location: 9-13 Buckleys Road, Christchurch					By: GBu		
Principal Use: Retail complex			Year Built: 1973, extended -1974 & 2000		Design Code: Pre NZS4203:1976		
Importance Level: Normal IL2 (NZS1170.0:2004)							
General Description: L-shaped single story building split into shops. Half portal frames span the short direction onto main concrete shearwalls running along the rear boundary edge of the structure							
Structure Description: Light roofing on steel rafters forming half portal frames with concrete columns. Concrete shear panels at the rear boundary edge taking the majority of lateral loads. Concrete ground slab-on-grade floor and individual concrete pad foundations beneath concrete columns. Steel strap bracing within the roof plane of both wings.							
Element	Material	Type		Material Properties		Comment	
Roof Diaphragm	Steel	Cross bracing		51x6.35mm flat bar		In both wings	
Walls	Concrete	Pre-cast panels		Lightly reinforced, varying thicknesses		Span transversely, supported by steel frames and fixity at the base	
Frames	Steel	Half portal frames		Approx 310 UB sections plus concrete columns		Welded joints	
Ground Floor	Concrete	Slab-on-grade		125mm thick, mainly unreinforced		200mm thick at rear edge, reinforced.	
Basement	N/A						
Foundations	Concrete	Strip✓	Pad✓	Raft	Piles	Other	
Earthquake System/Parameters							
	System (eg shear walls)	Period (sec)	Ductility (μ)	Coeff (C_n)	RP Factor (R_u)	SP Factor (S_p)	Sep,n (mm)
"Across" EQ:	Portal frame action	~0.4	1.25	0.9	1.0	0.925	N/A
"Along" EQ:	Steel cross bracing	~0.4	1.25	0.9	1.0	0.925	N/A
Comment: No obvious critical structural weaknesses are present, torsional response is not expected for the structural layouts observed.							
Zone Factor: 0.3			Site Subsoil Class: D			Return Period: 1/500	
Assessment Basis:	ESA✓	EMA	SLaMA	LPA	ITHA	Other	
Site Subsoil Characteristics							
Description: Geotechnical report not available, no obvious ground damage evident on-site							
Strength parameters:	Cohesive		Cohesion less		Comment: Soil testing has not yet been conducted		
	Udss (kPa)	Depth (m)	SPT (N)	Depth (m)			
	Not available	Not available	Not available	Not available			
Gravity Loads							
	Roof	Floor	Floor	Gr. Floor	Basement	Comment: Live load for roof not required in seismic analysis	
DL (kPa)	~0.6	N/A	N/A	3.0	N/A		
LL (kPa)	N/A	N/A	N/A	3.0	N/A		
Sketch/Other Information: Refer floor plans presented in the qualitative DEE report.							

Refer NZSEE guidelines 2006 Section 12 for background and commentary on this summary table.

2.2 Seismic Strength Analysis

A seismic analysis of the building was undertaken in accordance with the seismic loadings standard NZS1170.5:2004, taking account of the recent upgrade to the seismicity zone factor in Christchurch of $z = 0.3$. The equivalent static method was used to predict the seismic response and given the observed detailing of the structure; inelastic behaviour of the structure could not be relied upon to dissipate energy. Therefore elastic seismic loadings were applied to the structure; all calculated element strengths are relative to this level of load.

All strength assessments were undertaken using appropriate current material standards and first principles. The NZSEE guidelines were used in conjunction, and in particular for recommendations on strength reduction factors to produce 'probable' strengths.

Some basic conservative assumptions were made, such as steel section and reinforcing grades (and therefore strength), length of some welds in steel elements and the composition of the roof to estimate the seismic weight. These aspects were unavailable or not totally clear on the drawing sets we have reviewed. We believe none of these assumptions need to be verified by way of intrusive investigation, as the assessment and judgement is conservative.

The rear blockwall on gridline G has been discounted as a lateral resisting wall element due to the lack of diaphragm connection at ceiling/roof level. This wall is considered as a simple cantilevering element acting as a firewall. This has led to higher bending demands in the half portal frames because the simplified layout of bracing elements now considers a slight torsional response. This is a conservative analysis as the blockwall would attract some seismic load through secondary load paths and therefore reduce the demands on the frames running across the building.

The smaller internal concrete walls on gridline 4 have also been ignored as resistance elements for the same lack of connectivity reasons. Review of the drawings shows these walls are supported by minimal footings that could not take significant forces from a laterally loaded shear wall. Therefore we believe these walls are intended only as partitions.

The analysis undertaken is a process of effectively reverse engineering the structure to quantify the seismic strength of each element of the building or 'link in the chain'. Once the strength of each 'link' has been calculated, engineering judgement can be used to identify expected collapse (localised or global) scenarios and the level of 'current code design earthquake' at which this may occur.

We also note that the design level earthquake was increased on 19 May 2011 by 36%. This 'raised the bar' of what we compare the existing seismic strength to.

2.3 Analysis Results

Primary and secondary elements in the seismic load paths have been quantified to enable comparison with the expected demand based on the full current code design earthquake. This gives the strength as a percentage of 'New Building Standard' (NBS). Table 3 below provides a condensed summary of the results:

Table 3: Building Element Strength Summary

Structural System:	Strength relative to 'New Building Standard' (NBS)		Governing Element in System:
	Along Direction EQ (N-S)	Across direction EQ (E-W)	
External Concrete wall panels in-plane	>100%	>100%	Capacity of starter bars in shear (base connection) and bearing on soil
Panel Foundations	70%	66%	Bending due to compressive forces under in-plane moment
Concrete panels out-of-plane	>100%	>100%	Member out-of-plane flexure, shear + connection pull-out checked
Roof bracing	Not assessed – not governing by inspection	64%	Shear strength of embedded anchor group in concrete breakout along panel edge
West external wall - blockwall	80%	61%	Finger beam foundation bending strength
Portal frame action across building	53%	83%	Bending capacity of concrete column section
Frame action along plane of front walls	>100%	>100%	Column bending strength in weak axis

Table 3 above shows that the building is limited by the concrete column bending strength of the half portal at 53% NBS. These frames attract load because of the slight inefficiency of the bracing element layout - the main shearwall elements are at the rear of the structure only, giving a slight torsional response that is resisted by the frames. Conservatively, we have not considered the blockwall of gridline G or the concrete panels of gridline 4 to contribute to bracing the structure because of lack of a quantifiable lateral load path.

The bracing system in the roof of both building sections transfers the majority of roof weight loading in the 'along' direction of each section to the rear boundary concrete walls, with some loading transferred to the front columns in an out-of-plane manner. The bracing system is limited by connection at the wall plane, where the combination of tension pullout / shear strength of the embedded anchors governs.

The concrete sidewall panels are supported at the sides by the frame rafters and at the base where they are fixed to the floorslab. Therefore face loads acting on these elements have been compared to higher loads due to a low inherent ductility achievable. We believe this is a highly conservative assumption, but one which is appropriate at this stage.

The blockwall on gridline G resists only seismic loads caused by its on self-weight in both the in-plane and out-of-plane directions. The out-of-plane cantilever action is governed by the soil foundation interaction, where bearing capacity has been assumed for the purpose of this analysis and an assumed ductility of 2 has been taken due to the assumed soil deformation ability.

Engineering judgement was used in a number of areas where full drawing detail was not available, always in a conservative manner. This included:

- The length and nature of welding on aspects of the steelwork, where not specifically stated on the drawings
- Steel strength, based on grades available at the time of construction of this type of building
- Some connection details for the roof cross-bracing system, including weld length and exact layout of anchors to the concrete panels
- Ground bearing capacity, conservatively assumed to be below 'good ground' conditions at 80KPa Safe Bearing Capacity in the absence of any formal ground testing and geotechnical study
- Concrete wall panels are only able to achieve a nominal ductility and hence have been conservatively assessed against a high out-of-plane load

This quantitative assessment shows the relative strength of the building to be greater than 33%NBS, indicating the initial strength estimate was conservative (as it is intended to be). Hence, we do not consider the building to be 'earthquake prone' in its current condition as defined by the New Zealand Building Act.

2.4 Level Survey

A level survey was conducted by Staig and Smith to ascertain the extent of level changes caused by consolidation of the ground. The report indicates a general slope from the north-east corner dropping to the south-west. The north-west section of the L-shaped building (Cash Converters tenancy) is particularly affected, with slopes dropping from +29mm to -85mm, a difference of 114mm.

Verticality has also been taken, with notable leaning recorded away from the building at the rear of the north-west section.

See the Staig and Smith Survey Report attached in Appendix B for further information.

2.5 Repairs

Repairs are required to restore the building to its pre-earthquake condition. These repairs are subject to change as the works proceed and as further information regarding existing construction and the extent of damage is revealed. On-site correspondence with the contractor carrying out the works may be required.

In some instances, a building consent or exemption may be required to complete repair work. This is to be assessed and confirmed prior to commencing work. If the building strength is below 33% NBS then strengthening to a target 67% NBS will be required as part of a building consent.

A basic repair scope is included on marked up drawings in Appendix C. in summary, these repairs include the following:

- Breakout the rear floor slab of the north-west (Cash Converters) section
- Reinstatement of the broken out section of concrete floor, to be done in stages as per G1.01 attached. Panel starters are to remain, but new floor reinforcing will need to be installed. Reinforce as per existing details. See Appendix C.

- Provide a new rear wall support PFC bracket for the frames as per G1.02 and the detail sketch sk.01

This strongback bracket provides an upgraded bracing connection, raising the capacity of the bracing itself to above 67% NBS

- Reinststate the ceiling tiles and replace any buckled or broken ceiling grid as required
- Provide a new flashing to the rear wall to ensure weather tightness

Please note a full repair specification for the repair work outlined above will be released separately to this report.

2.6 Statutory Requirements

As the building is not considered to be earthquake prone, additional seismic strengthening is not a statutory requirement as part of the earthquake repairs on the site requiring building consent.

However, we recommend local strengthening be undertaken to elements where practical to best achieve the local authority target of 67%NBS. These are noted below in the 'Seismic Strengthening' section.

If strengthening is to be considered, we also recommend a geotechnical report be undertaken by a suitable geotechnical consultant to confirm our subsoil bearing assumptions and comment of the appropriateness of the current foundation system.

Excerpts from the relevant legislation and Christchurch City Council policy are provided in Appendix A.

2.7 Seismic Strengthening

Beyond confirming the assumptions outlined in sections 2.1 and 2.3 and the repair specifications outlined in section 2.5, we recommend seismic strengthening or consideration of the following points to achieve a target of 67%NBS for this structure:

- Investigate the possibility of upgrading the roof plane connectivity of the blockwall on gridline G, to enable the element to be considered for lateral load resistance. This would reduce load demands on the half portal frames significantly by taking the majority of the load caused by torsional response. The roof plane diaphragm capabilities will need assessing and/or further bracing may need to be considered.

The design of any strengthening scheme is beyond the scope of this report; however we can recommend methods of strengthening elements for pricing purposes if desired, followed by detailed design.

Appendix A: Christchurch City Council Compliance Schedule

This section highlights statutory requirements concerning existing and earthquake-prone buildings as laid out in the Building Act 2004, Building Code, and the Christchurch City Council's Earthquake-prone Building Policy 2010.

A.1 Building Act Requirements

The Building Act 2004 came into force on 31 March 2005 along with the Building Regulations. In considering the structure of existing buildings the relevant sections of the Act are as follows:

Section 124 – Powers of territorial authorities in respect of dangerous, earthquake-prone, or insanitary buildings

If the Territorial authority is satisfied that a building is dangerous or earthquake prone, the Territorial Authority may:

- (a) Put up a hoarding or fence to prevent people approaching the building;
- (b) Place a notice on the building warning people not to approach the building, or
- (c) Give written notice requiring work to be carried out on the building to reduce or remove the danger.

Section 122 – Meaning of earthquake-prone building

This section of the Act deems a building earthquake prone if its ultimate strength capacity would be exceeded, and the building would be likely to collapse causing injury or death, in a "moderate earthquake". The size of a "moderate earthquake" is defined in the Building Regulations as one third the size of the earthquake used to design a new building at that site.

Section 112 – Alterations to Existing Buildings

This section requires that after any alterations, the building shall continue to comply with the structural provisions of the Building Code to at least the same extent as before the alteration. This means that alteration work cannot weaken the building. Additional building strength would therefore be required where structural elements are to be removed or weakened, or additional mass to be added. The building will also need to be assessed in terms of the egress from fire, and access for persons with disabilities provisions of the Building Code and upgraded to comply, as nearly as is reasonably practicable.

Section 67- Waivers and Modifications

This section allows the Territorial Authority to grant a Building Consent subject to waivers or modifications of the Building Code. The Territorial Authority may impose any conditions they deem appropriate with respect to the waivers or modifications.

The Building Act was also altered by the Canterbury Earthquake (Building Act) Order 2010, which, amongst other things, gave additional powers to the Territorial Authorities, extended the definition of a dangerous building and extended the Schedule 1 list of building work exempt from Building Consent.



A.2 Christchurch City Council (CCC) Requirements for Earthquake-Prone Buildings

The Christchurch City Council adopted a new policy for earthquake-prone buildings in September 2010.

The policy reflects the Christchurch City Council's determination to reduce earthquake risk to buildings and ensure that Christchurch "is a safe and healthy place to live in" and may be viewed on the CCC website.

In summary, the relevant items of the policy are as follows:

- (a) Buildings are assessed using the New Zealand Society of Earthquake Engineering (NZSEE) guidelines with applied loadings from AS/NZS 1170.5 and are classed as earthquake prone if its strength is less than 33% of the applied loading from the loading standard AS/NZS 1170.5.
- (b) It outlines the Council's approach to earthquake-prone buildings including identification, prioritisation, timeframes and implementation. In general, Importance Level 4 buildings (Post-disaster facilities, as defined by AS/NZS1170) will have 15 years from 1 July 2012 to either be strengthened or demolished. Importance Level 3 (crowd or high value) buildings will have 20 years and Importance Level 2 (normal) buildings will have 30 years. There are also additional triggers for requiring assessment and strengthening work to be undertaken at an earlier stage (including "significant" alterations or earthquake damage).
- (c) The Council has a commitment to maintaining the intrinsic heritage values of Heritage buildings and has some discretion with regards to strengthening levels and methods. Each building will require discussion with Council Heritage team and Resource Consent prior to any strengthening or repair works being undertaken.

To date the Council has identified 67% of New Building Standard (NBS), or current Code, as the required level for strengthening of earthquake-prone buildings. However, the council may allow strengthening to levels between 33% and 67%, on a case by case basis, taking into account the following:

- The cost of strengthening
- Building use
- Level of danger presented by the building
- How much the building has been damaged

For buildings with a damaged building strength >33% of current code, it is recommended (but not required) that the building also be strengthened.

A.3 Recent Seismicity Changes for Christchurch

As a result of new information from the recent Canterbury earthquakes, changes have been made to Section B1 of the Building Code, increasing seismic code levels within areas covered by the Christchurch City, Selwyn District and Waimakariri District Councils. Such changes include:

- Increasing the zone hazard factor (Z) in AS/NZS1170.5 from 0.22 to 0.3, and serviceability limit state risk factor (R_s) from 1.25 to 1.33.
- Replacing Section 5 of NZS3604:1999 with NZS3604:2011 Section 5, adopting Earthquake Zone 2.

These changes came into effect on the 19th May 2011 and are interim code levels pending further seismological study and investigation. For further information on other changes refer to: <http://www.dbh.govt.nz/information-sheet-seismicity-changes>.

A.4 CERA Requirements

The CCC Earthquake Prone Building Policy has been somewhat superseded by CERA who have wide-ranging powers on these matters. CERA have currently given us verbal advice that the period within which they would require reporting of strength via a detailed engineering assessment (DEE) is no later than 30 June 2014. Official requirements for supplying a DEE to CERA will be contained in a letter sent to building owners in due course.

A.5 Ministry of Business, Innovation & Employment Policy

Managing earthquake-prone buildings – policy decisions - Department of Building an... Page 1 of 3



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Find out more »

Managing earthquake-prone buildings – policy decisions

On this page

- **Key decisions**
- **Consultation process and submissions received**

The Government has decided to introduce legislation to change the system for managing earthquake-prone buildings.

The changes follow recommendations by the Canterbury Earthquakes Royal Commission and a comprehensive review (including consultation) by the Ministry of Business, Innovation and Employment (MBIE).

Many earthquake-prone buildings in New Zealand are not being managed in a consistent, timely and cost effective way. A clear view has emerged that the current system is not achieving an acceptable level of risk in terms of protecting people from serious harm in moderate earthquakes.

The new system is designed to strike a better balance between protecting people from harm in an earthquake and managing the costs of strengthening or removing earthquake prone buildings.

It will give central Government a greater role in providing leadership and direction in relation to earthquake-prone buildings, to make better use of the resources and capability of central and local government.

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Key decisions

- To identify those that are earthquake-prone, territorial authorities will have to complete a seismic assessment of all non-residential buildings and all multi-unit, multi-storey residential buildings in their areas within five years of changes to the new legislation taking effect.
- All earthquake-prone buildings will have to be strengthened, or demolished, within 20 years of the new legislation taking effect (i.e. assessment by territorial authorities within five years and strengthening within 15 years of assessment).

<http://www.dbh.govt.nz/epb-policy-review>

26/08/2013



Version 1



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strategy • engineering • design

- A publicly accessible register of earthquake-prone buildings will be set up by MBIE.
- Certain buildings will be prioritised for assessment and strengthening such as:
 - buildings likely to have a significant impact on public safety, e.g. those with potential falling hazards
 - strategically important buildings, e.g. those on transport routes identified as critical in an emergency.
- Owners of some buildings will be able to apply for exemptions from the national timeframe for strengthening. These will be buildings where the effects of them failing are likely to be minimal and could include farm buildings with little passing traffic.
- Owners of earthquake-prone category 1 buildings (listed on the register of historic places under the Historic Places Act 1993) and those on the proposed National Historic Landmarks List, will be able to apply for extensions of up to 10 years to the national timeframe for strengthening.

The Government intends to introduce legislation to amend the Building Act (2004) into Parliament later this year. If the Bill is passed into law, it is likely there will be a transition period before the law takes effect while detailed implementation issues are worked through. MBIE will be working with Territorial authorities and engineers on implementing these changes.

- **Read the Minister for Building and Construction's media release on the Beehive website** 
- **Read Questions and Answers about the changes to the earthquake-prone building system** [PDF 91 KB, 5 pages]
- **Read the summary of submissions** [PDF 122 KB, 20 pages]
- **Read Volume 4 of the Royal Commission's final report** 
- **Read the Cabinet Paper** [PDF 1.1 MB, 40 pages] which relates to these decisions
- **Read the Regulatory Impact Statement** [PDF 431 KB, 33 pages]
- **Read the Minute of Decisions** [PDF 683 KB, 7 pages]

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Consultation process and submissions received

The Government consulted on its proposals to change the system. The consultation document, 'Building Seismic Performance', outlining proposals to improve the system for managing earthquake-prone buildings, was released on 7 December 2012, with a closing date for submissions of 8 March 2013.

The consultation proposals arose from the Royal Commission's recommendations and MBIE's review.

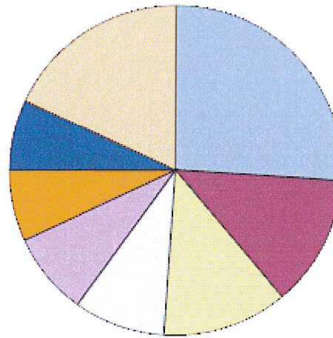
- **Read details of the consultation that closed on 8 March 2013 »**
- **Read about the MBIE review »**

Public meetings were held in Auckland, Wellington, Christchurch, Dunedin, Hamilton, Palmerston North, and Napier in February 2013 to support the consultation process.

535 submissions were received from individuals and groups including: building owners, engineers, local government, architects, insurers and disability and heritage advocates.

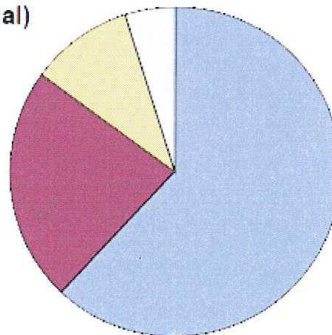
Submitters by category (group)

- Local government (26%)
- Industry bodies and membership associations (13%)
- Building owners/developers (12%)
- Groups representing people with disabilities (9%)
- Engineer, architect and designer groups (8%)
- Community organisations (7%)
- Heritage groups (7%)
- Other (18%)



Submitters by category (individual)

- Individuals (62%)
- Building owners (23%)
- Engineers, architects and designers (10%)
- Other (5%)



What submitters said

Most of the proposals were supported by submitters and are included in the Government's proposals for legislative change. Some changes were made to the Government's original proposals as a result of feedback from the consultation.

Read the **Full report on the consultation process, Building Seismic Performance** [PDF 671 KB, 133 pages]

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A.6 Changes to Snow Loadings

The impact of heavy snowfalls on buildings at low altitudes in the central and southern South Island have led the Department of Building and Housing setting a minimum ground snow load (s_g) of 0.9kPa. This applies to regions N4 and N5 as defined in AS/NZS1170.3:2003.

Prior to this amendment to the Building Code, the ground snow load in Christchurch would likely be in the range of 0.5-0.7kPa. However, the design of buildings, in particular their roofs, is not always governed by snow loads and thus while the loading has increased the strength of the roof relative to current code may not have changed. If desired, Structex can carry out further assessments to determine the capacity of the building relative to the current snow loading standards.



Appendix B: Staig and Smith Survey Report



Version 1

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SURVEY REPORT FOR BUILDING SURVEY AT 9-13 BUCKLEYS ROAD, LINWOOD, CHRISTCHURCH

Introduction

Staig and Smith Ltd were engaged to carry out a survey of the buildings at 9-13 Buckleys Road. The site comprises one building; the western portion of the building is tenanted by Cash Converters and the eastern portion is under renovation or tenanted by Instant Finance and Switched on Gardener.



Diagram of the buildings surveyed.

The aim of the survey was to measure the building following the recent significant earthquakes in Christchurch.

The work involved surveying the following elements:

- Floor levels and gradients
- Wall verticality

Following the survey, a set of plans have been prepared detailing the results from the survey.

Methodology

The survey was carried out on the 11th November 2013.

Levels and Verticality Survey

All measurements were made with a Leica TCRP 1202 Robotic Total Station (SN 227215). This instrument has measuring standard deviations of 2" for angle and 2mm+2ppm for prism distance/height and 3mm+2ppm for reflectorless distance/height.

Floor levels were made using prism EDM measurements. Measurements were made directly onto the walls using reflectorless EDM measurements from the total station.

Contours and levels have been provided on the floor of the building. Contours have been provided at 10mm (0.01m) intervals. Gradient shading and arrows have also been provided.

Assumed datums have been used for the level surveys and origin marks are shown and labelled on the plans.

The thickness of the different floor coverings was measured and levels have been adjusted so that all levels are in terms of the concrete surface.

Analysis

The floor contours and levels indicate that the floor has a slope running from north-east (high point) to south-west (low point). While the slope continues over the entire floor of the building it is more pronounced at both ends of the building, with the north-western end showing the most deviation from level.

The verticality values show some deviations from vertical at the western end of the building on the concrete block wall up to 26mm. The tilt slab wall shows deviations up to 10mm in a north-westerly direction, away from the building.

Conclusion

The survey was successfully carried out and plans drafted showing graphically the results of the survey. The plans show areas that deviated from level and verticality. The plans and report can be used to assist further structural analysis of the building.

Report Prepared by
STAIG AND SMITH LTD

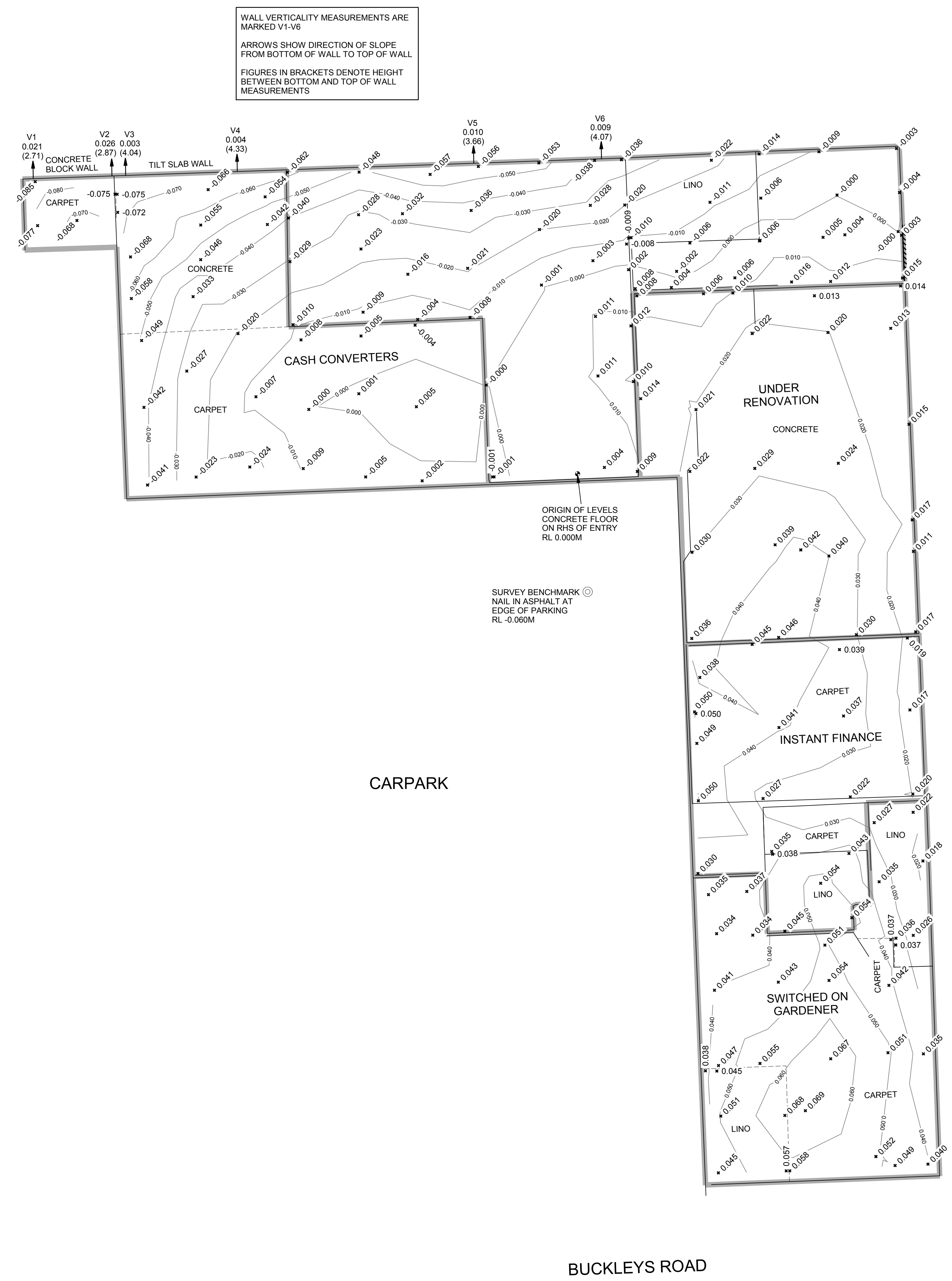


Andrew Marshall
Licensed Cadastral Surveyor
BSurV(Hons) MNZIS

STAIG & SMITH^{LTD}
Surveying, Planning, Engineering & Resource Management Consultants

P 0800 807 818 | E enquiries@staigsmith.co.nz | W www.staigsmith.co.nz
12 Bealey Ave, Christchurch 8014 | 81 Selwyn Place, PO Box 913, Nelson 7040

ORIGINAL SIZE A1 0 10 20 30 40 50 60 70 80 90 100 150 200 DO NOT SCALE



- Notes**
- (1) VERIFY ALL DIMENSIONS ON SITE.
 - (2) DO NOT SCALE FROM DRAWING.
 - (3) LEVELS IN TERMS OF: ASSUMED DATUM
 ORIGIN OF LEVELS: SURVEY BENCHMARK NAIL (IN ASPHALT AT EDGE OF PARKING)
 RL -0.060
 - (4) FIELDWORK CARRIED OUT ON 11TH NOVEMBER 2013
 - (5) WALL LAYOUT IS INDICATIVE ONLY
 - (6) FLOOR LEVELS ARE IN TERMS OF THE CONCRETE FLOOR SURFACE. WHERE FLOOR COVERINGS ARE PRESENT THESE HAVE BEEN ADJUSTED TO BE IN TERMS OF THE CONCRETE SURFACE

AMENDMENT DATE

STAIG & SMITHTM

12 Bealey Avenue
 Christchurch

Ph: 0800 807 818
 Fax: 03 548 4427
 e-mail: enquiries@staigsmith.co.nz

SURVEYING-PLANNING-ENGINEERING-RESOURCE MANAGEMENT

Design:
Drawn: RMS
Checked: AJM
Approved: ASM
Issue Date: 20 NOVEMBER 2013

Job Title

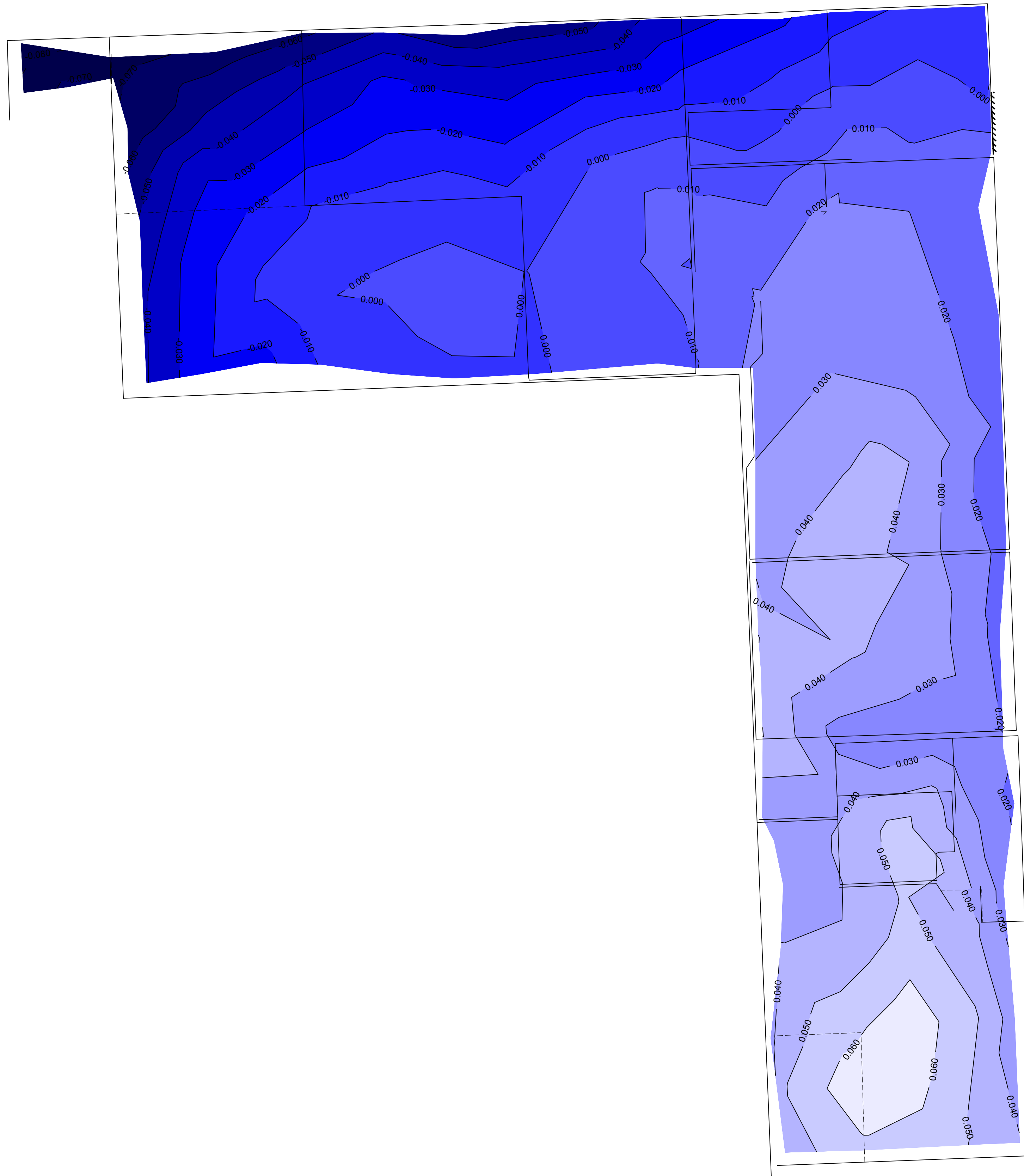
**STRUCTEX
 9 BUCKLEYS ROAD
 CHRISTCHURCH**

Drawing Title

**LEVEL AND
 VERTICALITY SURVEY**

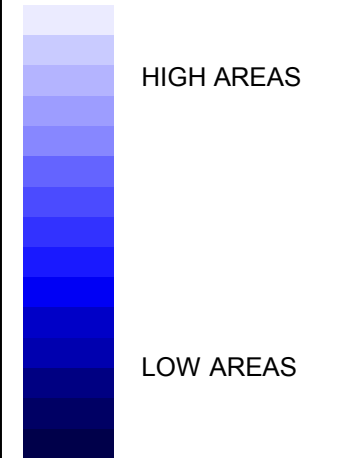
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Job No: 11459	Sheet 1 of 3

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CONTOUR LEGEND - INTERVAL 0.010m



AMENDMENT DATE

STAIG & SMITHTM

12 Bealey Avenue
Christchurch

Ph: 0800 807 818
Fax: 03 548 4427
e-mail: enquiries@staigsmith.co.nz

SURVEYING-PLANNING-ENGINEERING-RESOURCE MANAGEMENT

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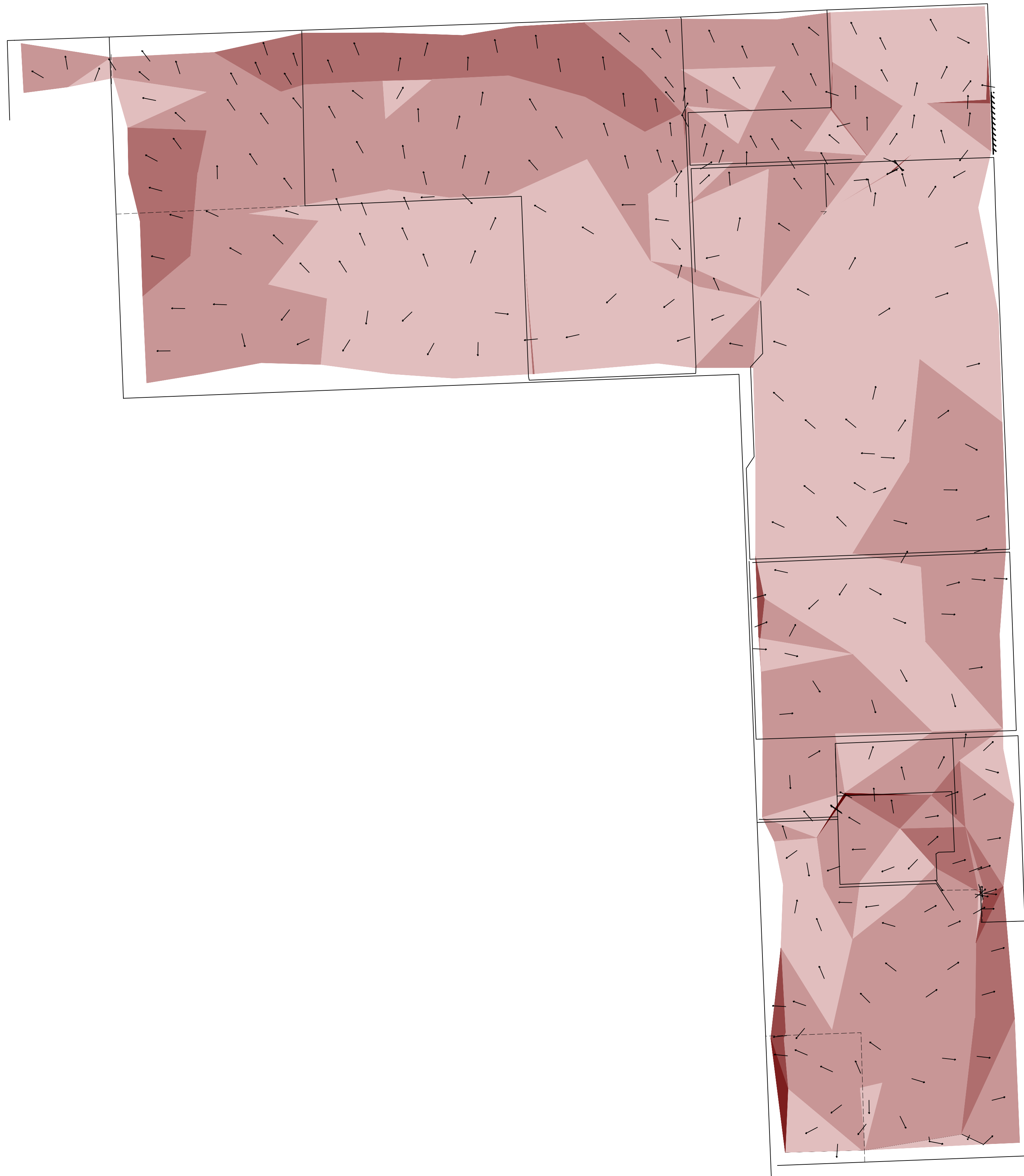
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9 BUCKLEYS ROAD
CHRISTCHURCH**

Drawing Title

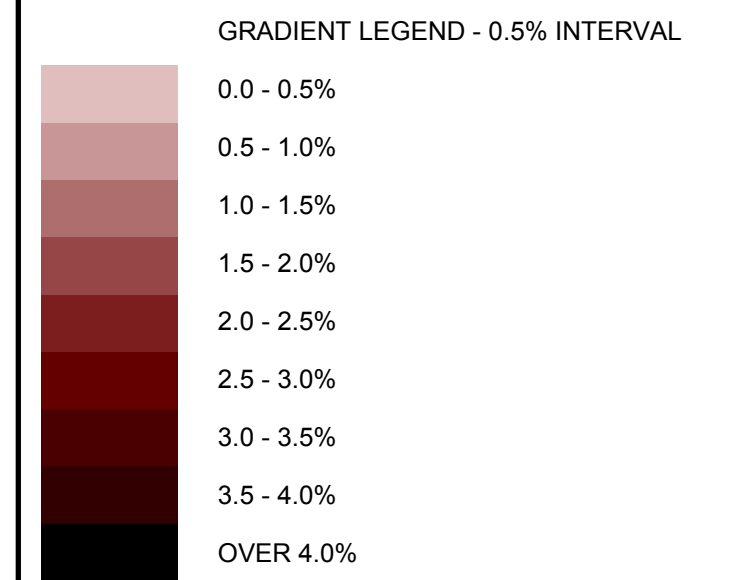
CONTOUR PLAN

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Job No: 11459	Sheet 2 of 3

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- Notes**
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AMENDMENT	DATE

STAIG & SMITHTM

12 Bealey Avenue
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SURVEYING-PLANNING-ENGINEERING-RESOURCE MANAGEMENT

Design:
Drawn: RMS
Checked: AJM
Approved: ASM
Issue Date: 20 NOVEMBER 2013

Job Title

**STRUCTEX
9 BUCKLEYS ROAD
CHRISTCHURCH**

Drawing Title

GRADE PLAN

Scale: 1:100 at A1	Issue: 1
Job No: 11459	Sheet 3 of 3

6 March 2014

John Patrick Clyne
P O Box 19986
Woolston
Christchurch 8241

Dear John,

Acceptance of Detailed Engineering Evaluation Report

The Canterbury Earthquake Recovery Authority (CERA) has received a second Detailed Engineering Evaluation, titled 9 – 13 Buckleys Road Christchurch, Quantitative Detailed Engineering Evaluation Report dated 25 February 2014 by Structex Harvard Limited, for the building at 9 Buckleys Road (AKA 13 Buckleys Road), being Lot 2 DP 35720.

CERA has reviewed the report and found that the report contains the information requested. On the basis of this review CERA has no structural engineering concerns with occupancy of this building and the building is no longer earthquake prone.

Your report will be forwarded to the Christchurch City Council for the Council's information. The Council may use the information to assist with its responsibilities such as issuing a building warrant of fitness. Any occupation of the building for the purposes of carrying out business activity may be subject to the appropriate permissions and certification required by the Christchurch City Council.

While CERA has no structural engineering concerns regarding occupation of the building there may be other hazards that make occupation of the building unsafe. You as the building owner are required to take all practical steps to ensure the safety of the building and the people in and around it. These steps may include restricting access, placing warning signs and other actions.

Further earthquakes after your engineer carried out the inspection for the Detailed Engineering Evaluation you have provided may trigger the need for further engineering inspections and reporting. If you or anyone else has noticed or suspect any damage resulting from earthquakes after your engineer's inspection then your engineer needs to re-inspect your building. If this re-inspection by your engineer identifies significant change has taken place an updated Detailed Engineering Evaluation needs to be done and supplied to CERA.

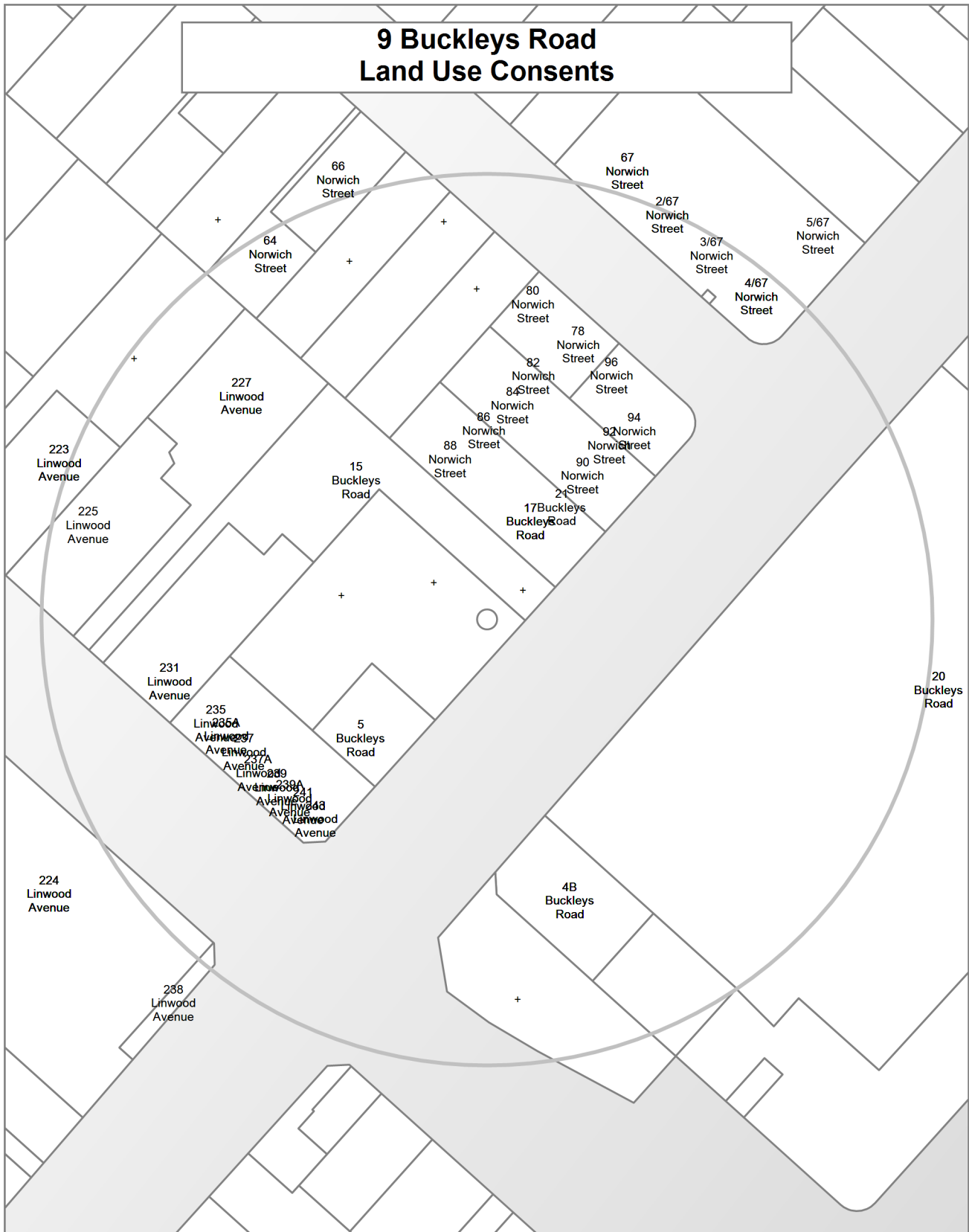
Further information on the requirements for the structural engineering reporting are available by contacting CERA at engineeringassessments@cera.govt.nz or on 03 354 2600.

Yours sincerely,



John Cumberpatch
General Manager Operations

9 Buckleys Road Land Use Consents



**9 Buckleys Road
Subdivision Consents**



Land Use Resource Consents within 100 metres of 9 Buckleys Road

Note: This list does not include subdivision Consents and Certificates of Compliance issued under the Resource Management Act.

15 Buckleys Road

RMA/1987/882

To construct shop additions sited 2.2m from a residential zone boundary which intrudes 0.8m into the required 3m setback. - Historical Reference RES9219280

Processing complete

Applied 20/01/1987

Decision issued 12/02/1987

Granted 12/02/1987

RMA/1999/1108

To expand an existing caryard at 15 Buckleys Road into the adjoining property at 17 Buckleys Road. - Historical Reference RES9219290

Processing complete

Applied 01/01/1999

Decision issued 01/01/1900

Granted 01/01/1900

17 Buckleys Road

RMA/1978/410

To expand an existing carsales yard situated at 15 Buckleys Road into the adjoining property at 17 Buckleys Road. - Historical Reference RES9219300

Processing complete

Applied 28/02/1978

Decision issued 22/08/1978

Granted 22/08/1978

RMA/1979/494

To erect a commercial development on a site zoned residential 1. - Historical Reference RES9219295

Processing complete

Applied 15/11/1979

Decision issued 20/01/1980

Declined 20/01/1980

RMA/1980/636

For the deletion of approval from a previously granted planning consent which required an amalgamation of titles at 15 and 17 Buckleys Road.(CT 235/248andct 353/195) - Historical Reference RES9219296

Processing complete

Applied 21/07/1980

Decision issued 16/09/1980

Granted 16/09/1980

RMA/1980/637

To construct buildings for undefined commercial purposes (Retail shops, bank etc) with ancillary accessway and offstreet parking. site zoned Res/1 and community 2 in the op D/ Scheme 15and17buckleysand229lin - Historical Reference RES9219299

Processing complete

Applied 25/02/1980

Decision issued 23/07/1980

Declined 23/07/1980

RMA/1984/930

To install a rotating sign. - Historical Reference RES9219294

Processing complete

Applied 02/07/1984

Decision issued 26/07/1984

Declined 26/07/1984

RMA/1985/989

To erect a sign projecting 750mm froward of the boundary. - Historical Reference RES9219293

Processing complete

Applied 25/09/1985

Decision issued 20/11/1985

Declined 20/11/1985

RMA/1988/799

To erect a Service Station in the residential 1 zone. - Historical Reference RES9219291

Processing complete

Applied 10/10/1988

Decision issued 01/11/1989

Declined 01/11/1989

RMA/1994/652

To establish a Service Station on a site in the Residential 1 zone - Historical Reference RES94001325

Processing complete

Applied 15/07/1994

Decision issued 16/11/1994

Granted 16/11/1994

2/67 Norwich Street

RMA/2000/916

Ten elderly persons housing units with attached garages which fail to comply with the 20m building length without a 2.4m step in plan. - Historical Reference RMA20001597

Processing complete

Applied 04/04/2000

Decision issued 28/04/2000

Granted 26/04/2000

RMA/2004/1443

Conservatory which will intrude 3m boundary setback. - Historical Reference RMA20017056

Processing complete

Applied 08/06/2004

Decision issued 08/07/2004

Granted 07/07/2004

20 Buckleys Road

RMA/1970/170

To erect bank premises. - Historical Reference RES9219271

Processing complete

Applied 02/09/1970

Decision issued 21/10/1970

Granted 21/10/1970

RMA/1972/48

To convert an existing single storey house into two flats - Historical Reference RES9204112

Processing complete

Applied 20/03/1972

Decision issued 20/03/1972

Granted 20/03/1972

RMA/1974/80

To erect an over verandah sign - Historical Reference RES9204322

Processing complete

Applied 11/09/1974

Decision issued 24/09/1974

Declined 24/09/1974

RMA/1976/81

To construct a two storied shopping centre with appropriate services and carparking building - Historical Reference RES9204334

Processing complete

Applied 12/04/1976

Decision issued 24/09/1979

Granted 24/09/1979

Outcome not recorded 24/09/1979

RMA/1984/931

To erect a shopping complex less than 3m from the residential IP zone boundary. - Historical Reference RES9219307

Processing complete

Applied 13/08/1984

Decision issued 23/08/1984

Granted 23/08/1984

RMA/1984/962

To convert existing house to childcare centre. Reduce setback from 5m to 3.7m. - Historical Reference RES9220402

Processing complete

Applied 14/08/1984

Decision issued 14/08/1984

Granted 14/08/1984

RMA/1984/963

To erect a garage which will intrude into the 53 degree recession plane construction 2.3m above the N/ E boundary and which will increase the total floor space - Historical Reference RES9220429

Processing complete

Applied 04/10/1984

Decision issued 17/10/1984

Granted 17/10/1984

RMA/1985/510

Operate community centre to provide drop in facilities. waive 9m setback as required for community centre site 3.7m from boundary - Historical Reference RES9209252

Processing complete

Applied 27/08/1985

Decision issued 04/10/1985

Granted 04/10/1985

RMA/1986/197

To convert a dwelling sited less than 3m from the boundary (1.25m) to a veterinary clinic - Historical Reference RES9204114

Processing complete

Applied 26/07/1986

Granted 06/08/1986

Decision issued 06/08/1986

RMA/1986/209

To erect 3 carpark entrance marking signs in Cranley and Russell streets - Historical Reference RES9204382

Processing complete

Applied 06/03/1986

Decision issued 18/03/1986

Granted 18/03/1986

RMA/1986/211

To erect signs at Linwood City (CU) to erect 3 sky signs one above each entrance. (specified department) to erect 2 freestanding signs - Historical Reference RES9204384

Processing complete

Applied 31/01/1986

Decision issued 30/04/1986

Granted 30/04/1986

RMA/1986/212

Use ``bmlip`` to fly a gas filled Balloon to advertise the smoke free week (30/6/86 - 5/7/86) - Historical Reference RES9204394

Processing complete

Applied 30/06/1986

Decision issued 30/06/1986

Granted 30/06/1986

RMA/1988/575

Consent to erect alterations to dwelling at 1.5m from the boundary and to Place summerhill stone veneer on dwelling and reduce setback to 1.425m - Historical Reference RES9212945

Processing complete

Applied 14/11/1988

Decision issued 05/12/1988

Granted 05/12/1988

RMA/1991/241

To reduce the minimum width of an outdoor living space from 4.5m to 4.0m for an additional apartment unit. - Historical Reference RES9204115

Processing complete

Applied 26/08/1991

Decision issued 07/12/1991

Declined 07/12/1991

Outcome not recorded 07/12/1991

RMA/1994/1045

Three units on a site in the residential 1 zone not meeting the minimum size criteria. - Historical Reference RES94102200

Processing complete

Applied 15/09/1994

Decision issued 02/02/1995

Declined 02/02/1995

RMA/1994/749

Sky sign - Historical Reference RES94001599

Withdrawn

Applied 25/07/1994

RMA/1995/168

Application for consent to develop and use a car parking area in the Residential 1 zone. - Historical Reference RES950369

Processing complete

Applied 08/02/1995

Decision issued 23/03/1995

Granted 23/03/1995

RMA/1996/1138

To erect 1 (2.322m²) above verandah and 1 (0.414m²) under verandah signs. (above verandah approved, under verandah declined) - Historical Reference RES961330

Processing complete

Applied 17/04/1996

Decision issued 07/06/1996

Granted 07/06/1996

RMA/1996/707

Disp. from Bylaws in respect of the depth of verandah fascia and the height of a verandah. - Historical Reference RES960824

Processing complete

Applied 27/03/1996

Decision issued 12/04/1996

Granted 12/04/1996

RMA/1998/693

To expand the Eastgate Shopping mall and associated carparking. - Historical Reference RES980689

Processing complete

Applied 19/03/1998

Decision issued 16/09/1998

Granted 16/09/1998

RMA/2000/1266

Construct a commercial vehicle cross & car parking area of 4105m² in association with Eastgate Shopping Centre. - Historical Reference RMA20001969

Processing complete

Applied 16/05/2000

Decision issued 09/10/2000

Granted 05/10/2000

RMA/2000/144

To extend the existing Eastgate Shopping Centre by erecting an additional retail building with associated signage, car parking, landscaping and pedestrian routes - Historical Reference RMA20000525

Processing complete

Applied 05/01/2000

Decision issued 02/05/2000

Granted 20/04/2000

RMA/2001/1436

Redevelopment and car parking Eastgate Shopping Centre. - Historical Reference RMA20005319

Processing complete

Applied 15/06/2001

Decision issued 24/01/2002

Granted 24/01/2002

RMA/2002/1259

Signage for the new Eastgate Shopping Centre. - Historical Reference RMA20010259

Processing complete

Applied 30/05/2002

Decision issued 20/06/2002

Granted 19/06/2002

RMA/2002/468

Change of condition on RMA 20005319 with regard to the financial contribution payment date. - Historical Reference RMA20009444

Withdrawn

Applied 25/02/2002

RMA/2003/597

Replacement signage associated with the Westpact re-imaging - Historical Reference RMA20012865

Processing complete

Applied 05/03/2003

Decision issued 17/03/2003

Granted 14/03/2003

RMA/2006/883

Relocation of existing gymnasium with car parking shortfall - Historical Reference RMA92004915

Processing complete

Applied 27/04/2006

Decision issued 25/05/2006

Granted 25/05/2006

RMA/2008/76

Establish a new telecommunications facility - Historical Reference RMA92010851

Processing complete

Applied 15/01/2008

Decision issued 05/08/2008

Granted 05/08/2008

Within scope amendment accepted 31/08/2016

Within scope amendment decision issued 31/08/2016

RMA/2011/1515

Redevelop the existing Eastgate Shopping Centre following damage sustained in the February 22 2011 Christchurch earthquake. - Historical Reference RMA92019086

Processing complete

Applied 10/11/2011

Decision issued 22/12/2011

Granted 21/12/2011

RMA/2012/1103

To establish new signage at the Eastgate Shopping Centre in addition to the total area of signage previously consented to and established on the site - Historical Reference RMA92020482

Processing complete

Applied 20/07/2012

Decision issued 21/08/2012

Granted 21/08/2012

RMA/2012/1809

TEMPORARY ACCOMMODATION - Library - Historical Reference RMA92021244

Withdrawn

Applied 12/11/2012

RMA/2013/204

TEMPORARY ACCOMMODATION - Library - Historical Reference RMA92021791

Processing complete

Applied 12/02/2013

Decision issued 21/02/2013

Granted 21/02/2013

RMA/2013/2105

Three Additional Signs - Historical Reference RMA92023818

Processing complete

Applied 10/10/2013

Decision issued 08/11/2013

Granted 08/11/2013

RMA/2013/896

Within Scope Amendment to RMA92019086 - Historical Reference RMA92022531

Processing complete

Applied 21/05/2013

Decision issued 24/06/2013

Granted 24/06/2013

RMA/2014/1210

Library & Medical Centre - Historical Reference RMA92025855

Processing complete

Applied 21/05/2014

Decision issued 21/07/2014

Granted 17/07/2014

RMA/2015/1517

Retail Development - Historical Reference RMA92029790

Processing complete

Applied 08/06/2015

Decision issued 27/07/2015

Granted 27/07/2015

RMA/2015/1950

Stage 2 Establish & operate 1755m2 (GLFA) of new retail space with associated car parking, outdoor advertising and landscaping (Stage 1 - RMA92029790) - Historical Reference RMA92030243

Processing complete

Applied 17/07/2015

Decision issued 26/11/2015

Granted 26/11/2015

RMA/2015/323

Signage - Historical Reference RMA92028508

Processing complete

Applied 09/02/2015

Decision issued 06/03/2015

Granted 06/03/2015

RMA/2015/931

Three Food and Beverage Outlets and Provision For Outdoor Advertising For Future Tenants - Historical Reference RMA92029169

Processing complete

Applied 08/04/2015

Decision issued 08/05/2015

Granted 08/05/2015

RMA/2016/360

Signage - two outdoor advertising - Historical Reference RMA92032431

Processing complete

Applied 18/02/2016

Decision issued 08/03/2016

Granted 07/03/2016

RMA/2022/1766

Install free-standing pick-up canopy and signage

Processing complete

Applied 26/05/2022

Decision issued 06/07/2022

Granted 06/07/2022

RMA/2024/1356

Right of way easements

Processing complete

Applied 14/05/2024

Certificate issued 31/07/2024

Decision issued 10/07/2024

Granted 10/07/2024

20A Buckleys Road

RMA/1972/48

To convert an existing single storey house into two flats - Historical Reference RES9204112

Processing complete

Applied 20/03/1972

Decision issued 20/03/1972

Granted 20/03/1972

RMA/1974/80

To erect an over verandah sign - Historical Reference RES9204322

Processing complete

Applied 11/09/1974

Decision issued 24/09/1974

Declined 24/09/1974

RMA/1976/81

To construct a two storied shopping centre with appropriate services and carparking building - Historical Reference RES9204334

Processing complete

Applied 12/04/1976

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Outcome not recorded 24/09/1979

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To erect a shopping complex less than 3m from the residential IP zone boundary. - Historical Reference RES9219307

Processing complete

Applied 13/08/1984

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To erect a garage which will intrude into the 53 degree recession plane construction 2.3m above the N/ E boundary and which will increase the total floor space - Historical Reference RES9220429

Processing complete

Applied 04/10/1984

Decision issued 17/10/1984

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Decision issued 06/08/1986

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Decision issued 30/04/1986

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Decision issued 05/12/1988

Granted 05/12/1988

RMA/1991/241

To reduce the minimum width of an outdoor living space from 4.5m to 4.0m for an additional apartment unit. - Historical Reference RES9204115

Processing complete

Applied 26/08/1991

Outcome not recorded 07/12/1991

Decision issued 07/12/1991

Declined 07/12/1991

RMA/1994/1045

Three units on a site in the residential 1 zone not meeting the minimum size criteria. - Historical Reference RES94102200

Processing complete

Applied 15/09/1994

Decision issued 02/02/1995

Declined 02/02/1995

RMA/1994/749

Sky sign - Historical Reference RES94001599

Withdrawn

Applied 25/07/1994

RMA/1995/168

Application for consent to develop and use a car parking area in the Residential 1 zone. - Historical Reference RES950369

Processing complete

Applied 08/02/1995

Decision issued 23/03/1995

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RMA/1998/693

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Processing complete

Applied 19/03/1998

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Processing complete

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Decision issued 09/10/2000

Granted 05/10/2000

RMA/2000/144

To extend the existing Eastgate Shopping Centre by erecting an additional retail building with associated signage, car parking, landscaping and pedestrian routes - Historical Reference RMA20000525

Processing complete

Applied 05/01/2000

Decision issued 02/05/2000

Granted 20/04/2000

RMA/2001/1436

Redevelopment and car parking Eastgate Shopping Centre. - Historical Reference RMA20005319

Processing complete

Applied 15/06/2001

Decision issued 24/01/2002

Granted 24/01/2002

RMA/2002/1259

Signage for the new Eastgate Shopping Centre. - Historical Reference RMA20010259

Processing complete

Applied 30/05/2002

Decision issued 20/06/2002

Granted 19/06/2002

RMA/2002/468

Change of condition on RMA 20005319 with regard to the financial contribution payment date. - Historical Reference RMA20009444

Withdrawn

Applied 25/02/2002

RMA/2006/883

Relocation of existing gymnasium with car parking shortfall - Historical Reference RMA92004915

Processing complete

Applied 27/04/2006

Decision issued 25/05/2006

Granted 25/05/2006

RMA/2008/76

Establish a new telecommunications facility - Historical Reference RMA92010851

Processing complete

Applied 15/01/2008

Decision issued 05/08/2008

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Within scope amendment accepted 31/08/2016

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RMA/2011/1515

Redevelop the existing Eastgate Shopping Centre following damage sustained in the February 22 2011 Christchurch earthquake. - Historical Reference RMA92019086

Processing complete

Applied 10/11/2011

Decision issued 22/12/2011

Granted 21/12/2011

RMA/2012/1103

To establish new signage at the Eastgate Shopping Centre in addition to the total area of signage previously consented to and established on the site - Historical Reference RMA92020482

Processing complete

Applied 20/07/2012

Decision issued 21/08/2012

Granted 21/08/2012

RMA/2012/1809

TEMPORARY ACCOMMODATION - Library - Historical Reference RMA92021244

Withdrawn

Applied 12/11/2012

RMA/2013/204

TEMPORARY ACCOMMODATION - Library - Historical Reference RMA92021791

Processing complete

Applied 12/02/2013

Decision issued 21/02/2013

Granted 21/02/2013

RMA/2013/2105

Three Additional Signs - Historical Reference RMA92023818

Processing complete

Applied 10/10/2013

Decision issued 08/11/2013

Granted 08/11/2013

RMA/2013/896

Within Scope Amendment to RMA92019086 - Historical Reference RMA92022531

Processing complete

Applied 21/05/2013

Decision issued 24/06/2013

Granted 24/06/2013

RMA/2014/1210

Library & Medical Centre - Historical Reference RMA92025855

Processing complete

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Decision issued 21/07/2014

Granted 17/07/2014

RMA/2015/1517

Retail Development - Historical Reference RMA92029790

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Decision issued 27/07/2015

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RMA/2015/1950

Stage 2 Establish & operate 1755m2 (GLFA) of new retail space with associated car parking, outdoor advertising and landscaping (Stage 1 - RMA92029790) - Historical Reference RMA92030243

Processing complete

Applied 17/07/2015

Decision issued 26/11/2015

Granted 26/11/2015

RMA/2015/323

Signage - Historical Reference RMA92028508

Processing complete

Applied 09/02/2015

Decision issued 06/03/2015

Granted 06/03/2015

RMA/2015/931

Three Food and Beverage Outlets and Provision For Outdoor Advertising For Future Tenants - Historical Reference RMA92029169

Processing complete

Applied 08/04/2015

Decision issued 08/05/2015

Granted 08/05/2015

RMA/2016/360

Signage - two outdoor advertising - Historical Reference RMA92032431

Processing complete

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RMA/2022/1766

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Processing complete

Applied 26/05/2022

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20B Buckleys Road

RMA/1972/48

To convert an existing single storey house into two flats - Historical Reference RES9204112

Processing complete

Applied 20/03/1972

Decision issued 20/03/1972

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RMA/1974/80

To erect an over verandah sign - Historical Reference RES9204322

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Applied 11/09/1974

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Decision issued 17/10/1984

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Decision issued 06/08/1986

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RMA/1986/211

To erect signs at Linwood City (CU) to erect 3 sky signs one above each entrance. (specified department) to erect 2 freestanding signs - Historical Reference RES9204384

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Consent to erect alterations to dwelling at 1.5m from the boundary and to Place summerhill stone veneer on dwelling and reduce setback to 1.425m - Historical Reference RES9212945

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RMA/1994/1045

Three units on a site in the residential 1 zone not meeting the minimum size criteria. - Historical Reference RES94102200

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Applied 15/09/1994

Declined 02/02/1995

Decision issued 02/02/1995

RMA/1994/749

Sky sign - Historical Reference RES94001599

Withdrawn

Applied 25/07/1994

RMA/1995/168

Application for consent to develop and use a car parking area in the Residential 1 zone. - Historical Reference RES950369

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RMA/1998/693

To expand the Eastgate Shopping mall and associated carparking. - Historical Reference RES980689

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Decision issued 02/05/2000

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Redevelopment and car parking Eastgate Shopping Centre. - Historical Reference RMA20005319

Processing complete

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Decision issued 24/01/2002

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RMA/2002/1259

Signage for the new Eastgate Shopping Centre. - Historical Reference RMA20010259

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Applied 25/02/2002

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Relocation of existing gymnasium with car parking shortfall - Historical Reference RMA92004915

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Decision issued 25/05/2006

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RMA/2008/76

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Processing complete

Applied 10/11/2011

Decision issued 22/12/2011

Granted 21/12/2011

RMA/2012/1103

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Processing complete

Applied 20/07/2012

Decision issued 21/08/2012

Granted 21/08/2012

RMA/2012/1809

TEMPORARY ACCOMMODATION - Library - Historical Reference RMA92021244

Withdrawn

Applied 12/11/2012

RMA/2013/204

TEMPORARY ACCOMMODATION - Library - Historical Reference RMA92021791

Processing complete

Applied 12/02/2013

Decision issued 21/02/2013

Granted 21/02/2013

RMA/2013/2105

Three Additional Signs - Historical Reference RMA92023818

Processing complete

Applied 10/10/2013

Decision issued 08/11/2013

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RMA/2013/896

Within Scope Amendment to RMA92019086 - Historical Reference RMA92022531

Processing complete

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Decision issued 24/06/2013

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Decision issued 27/07/2015

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Decision issued 06/03/2015

RMA/2015/931

Three Food and Beverage Outlets and Provision For Outdoor Advertising For Future Tenants - Historical Reference RMA92029169

Processing complete

Applied 08/04/2015

Decision issued 08/05/2015

Granted 08/05/2015

RMA/2016/360

Signage - two outdoor advertising - Historical Reference RMA92032431

Processing complete

Applied 18/02/2016

Decision issued 08/03/2016

Granted 07/03/2016

RMA/2022/1766

Install free-standing pick-up canopy and signage

Processing complete

Applied 26/05/2022

Decision issued 06/07/2022

Granted 06/07/2022

21 Buckleys Road

RMA/1996/2760

To replace an existing pylon sign of 7.5m with a 9m High Caltex sign which exceeds the 6m permitted height and the 1m² area. - Historical Reference RES963183

Processing complete

Applied 06/12/1996

Decision issued 25/02/1997

Granted 25/02/1997

223 Linwood Avenue

RMA/1972/46

Establishment of premises for the preparation and sale of cooked chicken takeaway meals - Historical Reference RES9204049

Processing complete

Applied 04/08/1972

Decision issued 24/10/1972

Declined 24/10/1972

RMA/1978/85

To erect a building for the sale of bulk meat supplies - Historical Reference RES9204050

Processing complete

Applied 20/06/1978

Decision issued 01/01/1999

Declined 01/01/1999

RMA/1986/192

To convert part of a dwelling house and use rooms for a physiotherapy practice - Historical Reference RES9204051

Processing complete

Applied 19/11/1986

Decision issued 03/03/1987

Granted 03/03/1987

RMA/2000/3053

To establish a licensed cafe/bar in the living zone. - Historical Reference RMA20003823

Processing complete

Applied 07/12/2000

Decision issued 17/01/2001

Granted 15/01/2001

RMA/2002/1564

To establish a licensed cafe/bar and drive through takeaway outlet. - Historical Reference RMA20010574

Processing complete

Applied 28/06/2002

Decision issued 02/09/2002

Granted 02/09/2002

224 Linwood Avenue

RMA/1969/37

To extend the existing shop into back flat - Historical Reference RES9204047

Processing complete

Applied 30/09/1969

Decision issued 14/10/1969

Granted 14/10/1969

RMA/1975/57

To erect an illuminated over verandah sign - Historical Reference RES9204048

Processing complete

Applied 16/01/1975

Decision issued 18/03/1975

Declined 18/03/1975

RMA/1980/150

To upgrade the premises by 1 - relocating the hairdressing salon, 2 - establishing a bakehouse, 3 - tea rooms, 4 - upgrade the existing car sales yard and 5 - apparel shop. - Historical Reference RES9204053

Processing complete

Applied 21/04/1980

Decision issued 23/07/1980

Declined 23/07/1980

RMA/1980/151

To erect a building for service industries on the rear boundary C/ S property adjoining R.2 zone - Historical Reference RES9204058

Processing complete

Applied 05/08/1980

Decision issued 19/08/1980

Granted 19/08/1980

RMA/1997/2776

To erect a 6 x 3m billboard within the 50m setback from a controlled intersection. - Historical Reference RES973204

Processing complete

Applied 06/11/1997

Decision issued 12/12/1997

Granted 12/12/1997

RMA/1998/1515

To erect an 18m2 billboard. - Historical Reference RES981721

Processing complete

Applied 30/06/1998

Decision issued 25/08/1998

Granted 25/08/1998

RMA/2001/852

Sign. - Historical Reference RMA20004723

Withdrawn

Applied 06/04/2001

RMA/2002/2685

6 x 3m billboard. - Historical Reference RMA20011729

Withdrawn

Applied 22/10/2002

RMA/2003/2227

New retail building with associated parking. - Historical Reference RMA20014541

Withdrawn

Applied 26/08/2003

RMA/2013/468

TEMPORARY ACCOMODATION - Historical Reference RMA92022066

Withdrawn

Applied 19/03/2013

RMA/2014/2243

Within Scope Amendment [RMA92025493] - Historical Reference RMA92026927

Processing complete

Applied 29/08/2014

Decision issued 13/10/2014

Granted 13/10/2014

RMA/2014/861

Fast food restaurant/tyre shop/offices/warehouse - Historical Reference RMA92025493

Processing complete

Applied 11/04/2014

Decision issued 27/05/2014

Granted 27/05/2014

225 Linwood Avenue

RMA/1981/160

Pylon sign exceeding 3m2. - Historical Reference RES9204061

Processing complete

Applied 11/08/1981

Decision issued 19/08/1981

Granted 19/08/1981

227 Linwood Avenue

RMA/1983/166

To substitute cycle parking for car parking - Historical Reference RES9204075

Processing complete

Applied 09/05/1983

Decision issued 01/01/1999

Declined 01/01/1999

RMA/1992/942

To erect a commercial building within 3m of the residential zone boundary and reduce the on site carparking provision by four carparks. - Historical Reference RES9219117

Processing complete

Applied 14/07/1992

Decision issued 05/08/1992

Granted 05/08/1992

RMA/1999/375

Dispensation from site coverage and side yard requirements for the proposed shopping centre. - Historical Reference RES9204074

Processing complete

Applied 01/01/1999

Decision issued 24/10/1974

Declined 24/10/1974

231 Linwood Avenue

RMA/1973/58

To erect a sign - Historical Reference RES9204079

Processing complete

Applied 09/07/1973

Decision issued 13/07/1973

Declined 13/07/1973

RMA/1973/59

To erect a sign - Historical Reference RES9204081

Processing complete

Applied 29/08/1973

Decision issued 03/09/1973

Granted 03/09/1973

RMA/1991/238

To construct an oversize and overweight sign to allow a height of 11.5m and a basket sign of 8.7m² - Historical Reference RES9204078

Processing complete

Applied 13/05/1991

Granted 17/07/1991

Decision issued 17/07/1991

235 Linwood Avenue

RMA/1973/62

To erect a 7'0" X 2'0" neon sign above verandah - Historical Reference RES9204093

Processing complete

Applied 15/03/1973

Decision issued 18/04/1973

Declined 18/04/1973

RMA/2024/3340

Building alterations to an existing commercial building

Processing complete

Applied 14/11/2024

Decision issued 13/03/2025

Granted 13/03/2025

235A Linwood Avenue

RMA/1973/62

To erect a 7'0" X 2'0" neon sign above verandah - Historical Reference RES9204093

Processing complete

Applied 15/03/1973

Decision issued 18/04/1973

Declined 18/04/1973

RMA/2024/3340

Building alterations to an existing commercial building

Processing complete

Applied 14/11/2024

Decision issued 13/03/2025

Granted 13/03/2025

237 Linwood Avenue

RMA/1973/62

To erect a 7'0" X 2'0" neon sign above verandah - Historical Reference RES9204093

Processing complete

Applied 15/03/1973

Decision issued 18/04/1973

Declined 18/04/1973

RMA/2024/3340

Building alterations to an existing commercial building

Processing complete

Applied 14/11/2024

Decision issued 13/03/2025

Granted 13/03/2025

237A Linwood Avenue

RMA/1973/62

To erect a 7'0" X 2'0" neon sign above verandah - Historical Reference RES9204093

Processing complete

Applied 15/03/1973

Decision issued 18/04/1973

Declined 18/04/1973

RMA/2024/3340

Building alterations to an existing commercial building

Processing complete

Applied 14/11/2024

Decision issued 13/03/2025

Granted 13/03/2025

238 Linwood Avenue

RMA/2014/3019

Vehicle Access - Historical Reference RMA92027718

Processing complete

Applied 17/11/2014

Decision issued 08/06/2015

Granted 19/05/2015

239 Linwood Avenue

RMA/1973/62

To erect a 7'0" X 2'0" neon sign above verandah - Historical Reference RES9204093

Processing complete

Applied 15/03/1973

Decision issued 18/04/1973

Declined 18/04/1973

RMA/2024/3340

Building alterations to an existing commercial building

Processing complete

Applied 14/11/2024

Decision issued 13/03/2025

Granted 13/03/2025

239A Linwood Avenue

RMA/1973/62

To erect a 7'0" X 2'0" neon sign above verandah - Historical Reference RES9204093

Processing complete

Applied 15/03/1973

Decision issued 18/04/1973

Declined 18/04/1973

RMA/2024/3340

Building alterations to an existing commercial building

Processing complete

Applied 14/11/2024

Decision issued 13/03/2025

Granted 13/03/2025

241 Linwood Avenue

RMA/1973/62

To erect a 7'0" X 2'0" neon sign above verandah - Historical Reference RES9204093

Processing complete

Applied 15/03/1973

Decision issued 18/04/1973

Declined 18/04/1973

RMA/2024/3340

Building alterations to an existing commercial building

Processing complete

Applied 14/11/2024

Decision issued 13/03/2025

Granted 13/03/2025

243 Linwood Avenue

RMA/1973/62

To erect a 7'0" X 2'0" neon sign above verandah - Historical Reference RES9204093

Processing complete

Applied 15/03/1973

Decision issued 18/04/1973

Declined 18/04/1973

RMA/2024/3340

Building alterations to an existing commercial building

Processing complete

Applied 14/11/2024

Decision issued 13/03/2025

Granted 13/03/2025

3/67 Norwich Street

RMA/2000/916

Ten elderly persons housing units with attached garages which fail to comply with the 20m building length without a 2.4m step in plan. - Historical Reference RMA20001597

Processing complete

Applied 04/04/2000

Decision issued 28/04/2000

Granted 26/04/2000

4/67 Norwich Street

RMA/1985/991

To erect a dwelling unit on a site less than 450m2 for a title issued after 4 December 1982. - Historical Reference RES9219319

Processing complete

Applied 14/05/1985

Decision issued 25/05/1985

Granted 25/05/1985

RMA/1996/2507

To erect a Medical Centre. - Historical Reference RES962899

Withdrawn

Applied 08/11/1996

RMA/2000/1596

To exceed 80m2 for Unit 4 of the el housing complex. - Historical Reference RMA20002317

Processing complete

Applied 26/06/2000

Decision issued 30/06/2000

Granted 29/06/2000

RMA/2000/916

Ten elderly persons housing units with attached garages which fail to comply with the 20m building length without a 2.4m step in plan. - Historical Reference RMA20001597

Processing complete

Applied 04/04/2000

Decision issued 28/04/2000

Granted 26/04/2000

4B Buckleys Road

RMA/1985/988

a)4 c-arks required in commercial 2 zone b)Approval to lease 4 parks from adjoining landowners(GUS) c)Dispensa tion from the off-street loading in accordance wit - Historical Reference RES9219268

Processing complete

Applied 29/03/1985

Decision issued 02/05/1985

Granted 02/05/1985

RMA/1987/184

To erect a free standing sign of 7x5m2 at a height of 9.0m (6) - Historical Reference RES9204398

Processing complete

Applied 14/05/1987

Decision issued 27/08/1987

Granted 27/08/1987

Outcome not recorded 27/08/1987

RMA/1987/185

To have a drive through Lane assesed as carpark - Historical Reference RES9204400

Processing complete

Applied 07/07/1987

Decision issued 21/07/1987

Granted 21/07/1987

RMA/1987/186

To reduce carparking requirement from 17 to 14 spaces - Historical Reference RES9204401

Processing complete

Applied 05/11/1987

Decision issued 16/11/1987

Granted 16/11/1987

RMA/1991/269

To exceed the total site signage by 5m2 - Historical Reference RES9204402

Processing complete

Applied 29/04/1991

Declined 18/06/1991

Decision issued 18/06/1991

RMA/2008/1913

McDonalds Restaurant alterations with signage non compliances - Historical Reference RMA92012796

Processing complete

Applied 15/09/2008

Decision issued 24/09/2008

Granted 24/09/2008

5 Buckleys Road

RMA/1968/113

To use the premises for the buying and selling of second-hand motor vehicles. - Historical Reference RES9219272

Processing complete

Applied 23/01/1968

Decision issued 23/03/1968

Granted 23/03/1968

RMA/1989/813

To reverse into 3 carparks. - Historical Reference RES9219274

Processing complete

Applied 02/08/1989

Decision issued 10/08/1989

Granted 10/08/1989

RMA/2012/48

Dispensation to allow onsite truck turning. - Historical Reference RMA260

Withdrawn

Applied 17/07/2012

5/67 Norwich Street

RMA/2000/916

Ten elderly persons housing units with attached garages which fail to comply with the 20m building length without a 2.4m step in plan. - Historical Reference RMA20001597

Processing complete

Applied 04/04/2000

Decision issued 28/04/2000

Granted 26/04/2000

64 Norwich Street

RMA/1998/1850

To erect a second dwelling which fails to comply with the 3m living area window setback. - Historical Reference RES982118

Processing complete

Applied 06/08/1998

Decision issued 21/08/1998

Granted 21/08/1998

RMA/1998/2171

Non complying two Lot subdivision - Historical Reference RES982484

Processing complete

Applied 10/09/1998

Decision issued 01/01/1999

Granted 01/01/1999

66 Norwich Street

RMA/1998/2171

Non complying two Lot subdivision - Historical Reference RES982484

Processing complete

Applied 10/09/1998

Decision issued 01/01/1999

Granted 01/01/1999

RMA/2007/657

Garage which intrudes on shared ROW setback and queuing space - Historical Reference RMA92007891

Processing complete

Applied 21/03/2007

Decision issued 18/04/2007

Granted 18/04/2007

67 Norwich Street

RMA/1968/37

Conversion of single dwelling to two flats - Historical Reference RES9207135

Processing complete

Applied 21/03/1968

Decision issued 29/05/1968

Granted 29/05/1968

RMA/1988/289

Extend a dwelling 1.1m from side boundary and intrude through recession plane - Historical Reference RES9207134

Processing complete

Applied 02/09/1988

Decision issued 22/09/1988

Granted 22/09/1988

RMA/2000/1596

To exceed 80m2 for Unit 4 of the el housing complex. - Historical Reference RMA20002317

Processing complete

Applied 26/06/2000

Decision issued 30/06/2000

Granted 29/06/2000

RMA/2000/916

Ten elderly persons housing units with attached garages which fail to comply with the 20m building length without a 2.4m step in plan. - Historical Reference RMA20001597

Processing complete

Applied 04/04/2000

Decision issued 28/04/2000

Granted 26/04/2000

78 Norwich Street

RMA/2014/393

TWELVE NEW RESIDENTIAL UNITS - Historical Reference RMA92025003

Processing complete

Applied 20/02/2014

Decision issued 17/04/2014

Granted 22/04/2014

80 Norwich Street

RMA/2014/393

TWELVE NEW RESIDENTIAL UNITS - Historical Reference RMA92025003

Processing complete

Applied 20/02/2014

Decision issued 17/04/2014

Granted 22/04/2014

82 Norwich Street

RMA/2014/393

TWELVE NEW RESIDENTIAL UNITS - Historical Reference RMA92025003

Processing complete

Applied 20/02/2014

Decision issued 17/04/2014

Granted 22/04/2014

84 Norwich Street

RMA/2014/393

TWELVE NEW RESIDENTIAL UNITS - Historical Reference RMA92025003

Processing complete

Applied 20/02/2014

Decision issued 17/04/2014

Granted 22/04/2014

86 Norwich Street

RMA/2014/393

TWELVE NEW RESIDENTIAL UNITS - Historical Reference RMA92025003

Processing complete

Applied 20/02/2014

Decision issued 17/04/2014

Granted 22/04/2014

88 Norwich Street

RMA/2014/393

TWELVE NEW RESIDENTIAL UNITS - Historical Reference RMA92025003

Processing complete

Applied 20/02/2014

Decision issued 17/04/2014

Granted 22/04/2014

90 Norwich Street

RMA/2014/393

TWELVE NEW RESIDENTIAL UNITS - Historical Reference RMA92025003

Processing complete

Applied 20/02/2014

Decision issued 17/04/2014

Granted 22/04/2014

92 Norwich Street

RMA/2014/393

TWELVE NEW RESIDENTIAL UNITS - Historical Reference RMA92025003

Processing complete

Applied 20/02/2014

Decision issued 17/04/2014

Granted 22/04/2014

94 Norwich Street

RMA/2014/393

TWELVE NEW RESIDENTIAL UNITS - Historical Reference RMA92025003

Processing complete

Applied 20/02/2014

Decision issued 17/04/2014

Granted 22/04/2014

96 Norwich Street

RMA/2014/393

TWELVE NEW RESIDENTIAL UNITS - Historical Reference RMA92025003

Processing complete

Applied 20/02/2014

Decision issued 17/04/2014

Granted 22/04/2014

Data Quality Statement

Land Use Consents

All resource consents are shown for sites that have been labelled with an address. For sites that have been labelled with a cross (+) no resource consents have been found. Sites that have no label have not been checked for resource consents. This will be particularly noticeable on the margins of the search radius. If there are such sites and you would like them included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay. Resource consents which are on land occupied by roads, railways or rivers are not, and currently cannot be displayed, either on the map or in the list. Resource consents that relate to land that has since been subdivided, will be shown in the list, but not on the map. They will be under the address of the land as it was at the time the resource consent was applied for. Resource consents that are listed as Non-notified and are current, may in fact be notified resource consents that have not yet been through the notification process. If in doubt. Please phone (03)941 8999.

The term "resource consents" in this context means land use consents. Subdivision consents and certificates of compliance are excluded.

Subdivision Consents

All subdivision consents are shown for the sites that have been labelled with consent details. For Sites that have been labelled with a cross (+) no records have been found. Sites that have no label have not been checked for subdivision consents. This will be particularly noticeable on the margins of the search radius. If there are such sites and you would like them included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay.

The term "subdivision consents" in this context means a resource consent application to subdivide land. Non subdivision land use resource consents and certificates of compliance are excluded.

This report will only record those subdivision applications which have not been completed i.e once a subdivision has been given effect to and the new lots/properties have been established the application which created those lots will not be shown

All subdivision consent information is contained on the map and no separate list is supplied