

Fire wall update

5-7 Elmdale Lane, Philipstown, ChristchurchChristchurch

PROPERTY DETAILS	
DP NUMBER -	46567
LOT NUMBER -	2
WIND ZONE -	Low
EQ ZONE -	2
EXPOSURE ZONE -	C

Sheet Index			
Subset ID and Name	Layout ID	Layout Name	Current Revision ID
A00 GENERAL			
	A001	COVERSHEET	01
A01 SITE			
	A011	LOCALITY PLAN	01
A10 GA PLANS			
	A101	FLOOR PLAN - PROPOSED WORKS	01
A40 DETAILS			
	A401	GBT120b FIRE RATED SYSTEM	01

Christchurch
City Council



Page 1 of 8

BCN/2025/6021

Exemption from building consent
11/08/2025
Carr, Phil

Notwithstanding any drawings or specifications
accepted herein, all building work must comply
with the New Zealand Building Code.



4/08/2025 10:14 am File Path: P:\P\G Properties\5-7 Elmdale.pln



Scale

@ A3

CONSENT - SITE: LOCALITY PLAN

Fire wall update

5-7 Elmdale Lane

Philipstown



Auckland
09 950 7478
Christchurch
03 365 0732
Wellington
04 449 3851

Date & Project No.

4/08/2025

P25-0123

Sheet No.

A011

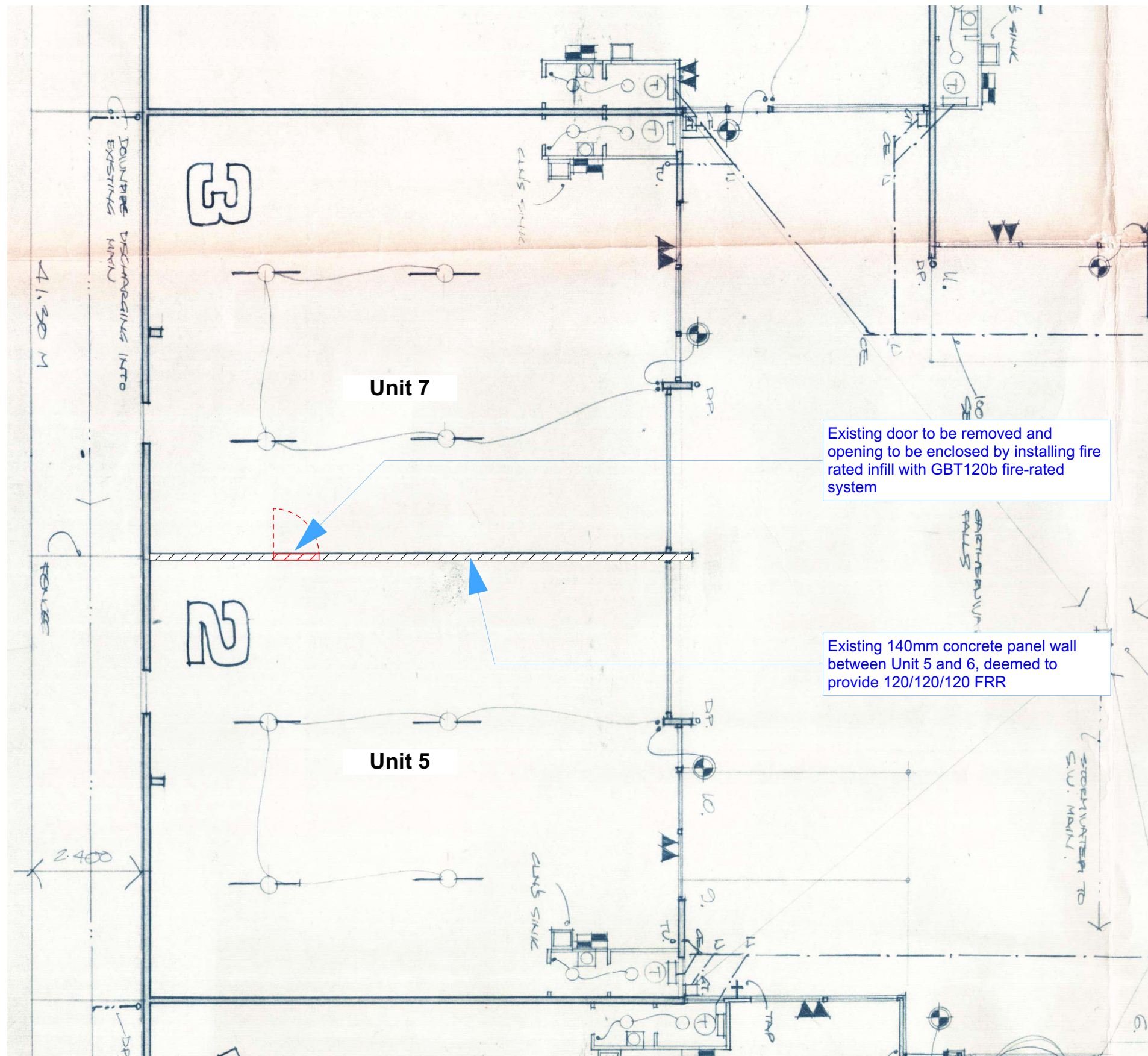
Issue ID

01

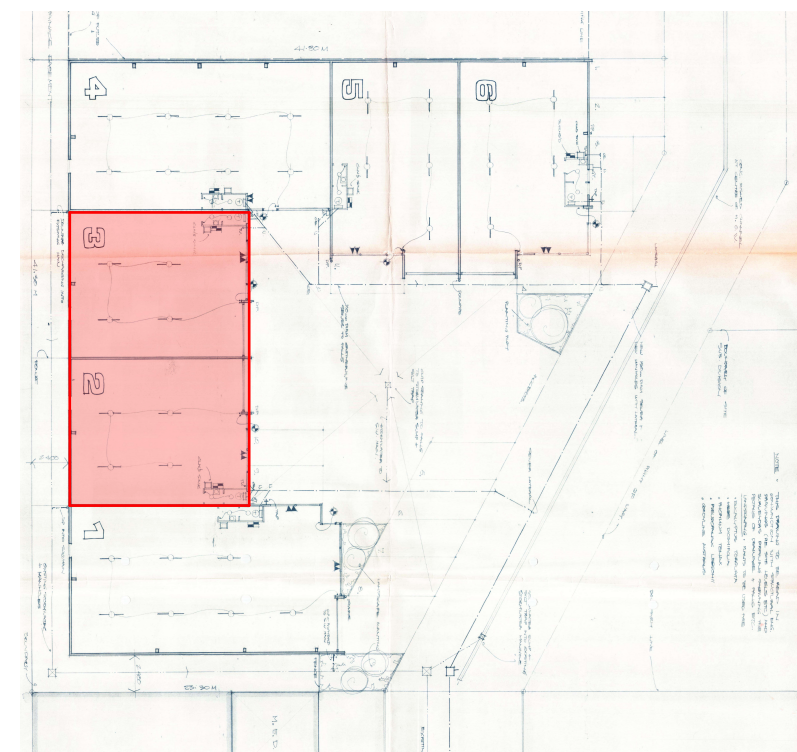
Page

2

4/08/2025 10:14 am File Path: P:\PIP G Properties\5-7 Elmdale.pln



1 GROUND FLOOR PLAN 1:100



2 KEY PLAN 1:500

NOTE:

The surface finish of the infill shall have Group Numbers less than or equal to 3.

The builder shall assess the existing intertenancy concrete panel wall and seal any cracks and gaps with a fire rated sealant, to maintain the 120-minute fire rating.



Scale
1:100, 1:500 @
A3

CONSENT - GA PLANS: FLOOR PLAN - PROPOSED WORKS

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4/08/2025
P25-0123

Sheet No. Issue ID Page
A101 01 3

4/08/2025 10:14 am File Path: P:\P\G Properties\5-7 Elmdale.pln

Two-way FRR — timber frame

Specification number	Performance	Specifications
GBT 120b	FRR	~120/120
	STC	33
	Rw	37
		Lining 1 layer 19mm GIB Fyreline® each side
		LB/NLB Non-loadbearing

FRAMING

Framing to comply with:

- NZBC B1 — Structure: AS1 Clause 3 — Timber (NZS 3604) or VM1 Clause 6 — Timber (NZS 3603)
- NZBC B2 — Durability: AS1 Clause 3.2 — Timber (NZS 3602)
- Studs at 600mm centres maximum
- Nogs at 1200mm centres maximum

WALL HEIGHTS AND FRAMING DIMENSIONS

Framing dimensions and height as determined by NZS 3604 stud tables for non-loadbearing walls.

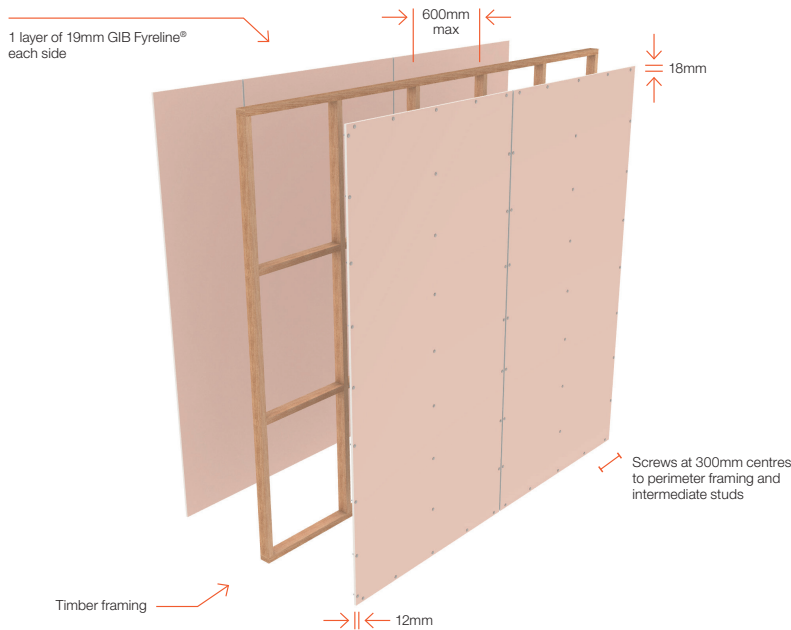
LINING

1 layer of 19mm GIB Fyreline® each side of the frame.

Vertical or horizontal fixing permitted. All sheet joints must be formed over solid timber framing. Sheets shall be touch fitted.

Vertical fixing — Stagger longitudinal sheet joints on opposite sides of the wall. When sheet end butt joints are unavoidable, they shall be formed over nogs and offset on opposite sides of the frame.

Horizontal fixing — Horizontal joints on opposite sides of the wall can be formed over the same row of nogs. Sheet end butt joints shall be formed over studs and offset on opposite sides of the frame.



FASTENING THE LINING

Fasteners

51mm x 7g GIB® Grabber® High Thread Drywall Screws.

Fastener centres

Place fasteners at 300mm centres to perimeter framing and intermediate studs.

Place fasteners 50mm from sheet corners along plates. At wall corners place an additional fastener 50–60mm vertically, no closer than 10mm from plate-to-stud joints.

Place fasteners 12mm from longitudinal sheet edges and 18mm from sheet ends.

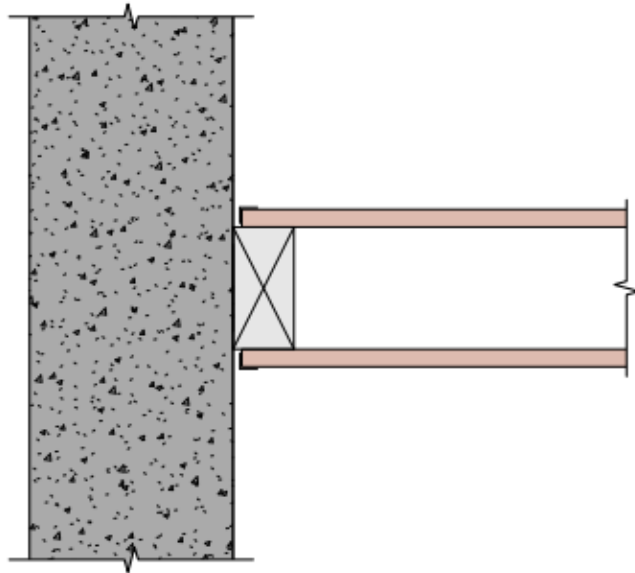
Place fasteners at 200mm centres along sheet end butt joints.

JOINTING

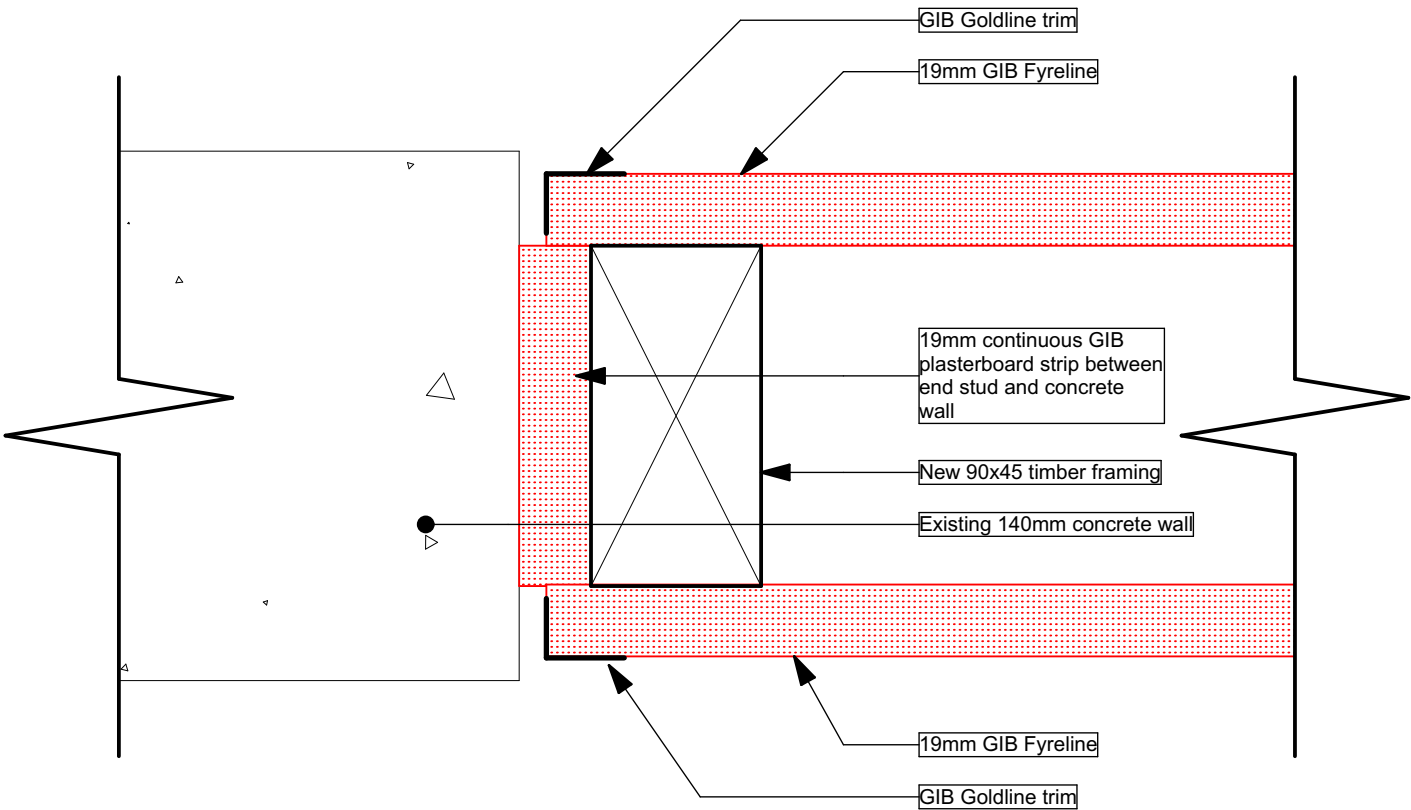
All fastener heads stopped and all sheet joints tape reinforced and stopped in accordance with the publication entitled "GIB® Site Guide".

Conventional detail

Conventional GIB® compound stopping or GIB® Goldline™ trims can be used for timber stud walls with an FRR up to and including 60 minutes. For higher ratings, include a GIB® plasterboard strip or mineral fibre packing.



GFS 161



GBTL120b to CONCRETE WALL JUNCTION

1:2



Scale
1:2 @ A3

CONSENT - DETAILS: GBT120b FIRE RATED SYSTEM

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Auckland
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Date & Project No.
4/08/2025
P25-0123

Sheet No.
A401

Issue ID
01

Page
4

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383 Colombo St, Sydenham
Christchurch

Level 2, 9 Duke St
Queenstown

PO Box 7110, Sydenham
Christchurch

ATTENTION: Steven Schwalger

Re: 5-7 Elmdale Lane - Framing of opening

Dear Steven,

1. Introduction

This project involves a minor alteration work at 5-7 Elmdale Lane, Phillipstown, Christchurch. The proposed work includes removing the existing door in the intertenancy wall separating two units, Unit B and C, and infilling the opening with fire rated construction.

The building was originally built in 1983 and include 6 separate units which are all Unit Titled. The two Units as part of this project, Unit B and C, include two separate unit titles (CB25F/1191 and CB25F/1192) and belong to the same entity, Gary Lee Electrical Limited. The parking lots and driveways within this site are 'Common Property'. As informed by the Client, the opening between the two units was made in 2010. However, no documents are available to determine the construction of the building or whether the opening done in 2010 was consented. The two units are presently used by the same tenant for an electrical company that repairs coffee machines. The owner has decided to remove this existing unrated door and frame up the opening as per how the units were originally designed and constructed.

A 'Statement of Changes' level of documentation is presented in this letter given the very minor nature of the proposed works. Therefore, only a list of Fire Safety Features and a Statement of Change is presented.

This document addresses the requirements of the Building Act 2004 only and does not address owner's property protection. Nor does it cover F3 Hazardous Substances and Processes. That is separate and the Hazardous Substances and New Organism Act applies. This letter is based on the Acceptable Solution C/AS2 (Amendment 3), to meet the NZBC C1-C6 Protection from Fire Clauses on an ANARP basis.

A site inspection was carried out, accompanied with the review of the architectural sketches, in preparation of this letter.

2. Proposed Works - Framing Of Opening

Overview

This project includes the removal of the existing unrated door in the intertenancy wall separating Units B and C and framing up the opening. The intertenancy wall separating these two units is presently 140mm thick concrete panel, extended full height to the underside of the roof above and the external walls on both ends. This wall is deemed to provide 120/120/120 FRR, which is the property rating requirement in C/AS2 for separating the two workshop units which belong to Risk Group WB.

The fire rated infill to the opening will either be:

- Lined on both sides with 1 x 19mm Fyrelite lining as per GIB GBT120b system, or
- Include concrete infill,

to maintain the 120-minute fire rating.

The proposed change does not impact the total occupant load, footprint of the firecells and the other existing Fire Safety requirements in the building. No 'Change of Use' is occurring as part of this project.

Means of Escape from Fire

The proposed works results in no change to the egress routes, lengths, or widths within the two units as part of this current project. The egress from each unit is independent of the adjacent unit.

Internal Fire Spread and/or Smoke Spread

The 140mm thick concrete precast panel intertenancy wall is expected to achieve 120/120/120 FRR property rating. The unrated door in this wall is specified to be removed and the opening infilled with fire rated construction to maintain the 120-minute fire rating. The new infill is specified to meet a surface finish Group Number of 3 or equal to the following when tested to ISO 9705 or ISO 5660.

No other new internal fire or smoke rated walls are required as part of this current project.

No other new wall or ceiling surfaces, flooring, suspended flexible fabrics and foamed plastics are expected as part of this current project.

3. Compliance Schedule Changes

There are no new Compliance Schedule items associated with this current project. However, the proposed works impact on the following Specified System for the building:

- Specified System 15/3 'Fire Separation.

4. Conclusion

As shown in this letter, the proposed works still complies with the requirements of Acceptable Solutions C/AS2 (Amendment 3) and therefore is deemed to comply with the NZBC with regards to the C1-C6 Protection from Fire Clauses on an ANARP basis.

Please include this letter in with your building consent exemption application.

If you would like to discuss, please call.

Yours faithfully,

Powell Fenwick



Taufiq Anuar

Appendix A - Summary of Fire Safety Work

The following fire safety work is required:

- a) The unrated door in the intertenancy wall shall be removed.

The fire rated infill to the opening will either be:

1. Lined on both sides with 1 x 19mm Fyreline lining as per GIB GBT120b system, or
2. Include concrete infill,

to maintain the 120-minute fire rating.

The surface finish of the infill shall have Group Numbers less than or equal to 3.

The builder shall assess the existing intertenancy concrete panel wall and seal any cracks and gaps with a fire rated sealant, to maintain the 120-minute fire rating.

The builder shall provide a PS3 upon completion, documenting the wall system that is used for the fire rated infill.

- b) Any penetration through this newly framed up wall shall be passively fire stopped to maintain the 120 minute FRR.

A specialist fire stopping installer shall undertake all fire stopping work through this wall. This shall be FFP, Sealing Solutions, Advanced Applicators, Connect Group, Nimbl or Ardent. Installation shall be by a suitably qualified installer and shall not compromise the required FRR of the fire rated building element.

Installers shall have completed the NZ Certificate in Passive Fire Protection Installation (Level 3).

All fire stopping of penetrations shall be completed in accordance with the manufacturer's instructions for the materials used. The products used shall maintain the required fire resistance rating of the building element (including both a fire and smoke rating) and comply with AS 4072 and AS 1530.4 and Paragraphs 4.4.2 to 4.4.4 of C/AS2. Non-certified products may be deemed non-compliant and require remedial works or replacement.

All fire stopping systems installed shall include labelling of the penetration including the products used and the fire rating achieved by the fire stopping.

The installer shall provide a PS3 on completion certifying that all penetrations through the newly framed up fire separation have been installed in accordance with the manufacturer's requirements for the situation these are installed.

If lightweight timber frame, any light switches, power sockets, etc., shall include certified 120-minute flush boxes to maintain the fire rating of the intertenancy wall. This shall be completed by the respective trades.

All other fire safety features associated with the building shall remain as is.

Date 27/07/25

To: Christchurch City Council

Re: 5-7 Elmdale Lane, Phillipstown, Christchurch - Building Consent

We, Gary & Pauline Lee (PG Properties)

I, appoint Hampton Jones Property Consultants Ltd. to act as their agent in lodging and uplifting the Building Consent/ Exemption to Building Consent documents and any other documentation required to allow the works to take place.

Please ensure all invoices are addressed to Gary Lee
.... (contact details)

gazfastpower@gmail.com

If you have any queries regarding the above, please do not hesitate to contact me.

Yours faithfully

glee
P. Lee