

REQUIREMENTS OF BUILDING CONSENT

Building Materials

Ensure building activities are not carried out or materials, refuse and spoil from the construction site are not deposited or dumped on any adjacent reserve, road berm or footpath.

Other Act requirements

Ensure that conditions/requirements under any other Act relating to or affecting the building or proposed building are complied with.

Building Code

All building work shall comply with the Building Code 1992, Acceptable Solutions and/or approved Alternative Solutions.

PROJECT INFORMATION MEMORANDUM NO: ABA 31972

Section 31, Building Act 1991

ISSUED BY: RODNEY DISTRICT COUNCIL

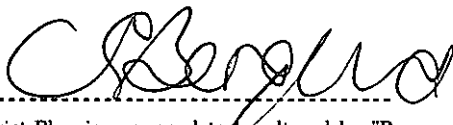
APPLICANT	PROJECT
Name: MUNRO, DEAN GORDON Mailing Address: P O BOX 142 MATAKANA WARKWORTH 1241	<u>THIS IS NOT A BUILDING CONSENT</u> This is confirmation that after you have obtained a Building Consent and other necessary authorisations, the building work may then be undertaken
PROJECT LOCATION	
Street Address: WHARF STREET, WARKWORTH, NORTHERN	
LEGAL DESCRIPTION	
Property Number: 1226211 Valuation Roll No: 01281 37500 Legal Description: LOT 5 DP 27277	☐ Building Consent not yet applied for
Description: ADDITIONS & ALTERATION Nature: BUILDING (NOT DWELLINGS) Intended Use(s) in detail: Bar / Restaurant Intended Life: Indefinite, but not less than 50 years	☒ Building Consent No. 31972 attached ☐ Building Consent applied for but not yet issued ☐ Notification that the proposed building work may not be undertaken because a necessary authorisation has been refused

This project information memorandum includes (cross each applicable box, attach relevant document, and send a copy to any relevant network utility operators and organisations having the power to classify land and buildings):

- ☒ Information identifying relevant special features of the land concerned
- ☒ Information about the land or buildings concerned notified to the Council by any statutory organisation having the power to classify land or buildings
- ☒ Details of relevant utility systems
- ☒ Details of authorisations which have been granted
- ☒ Notification of any other authorisation which must be obtained before the proposed building work may be undertaken
- ☒ Details of authorisations which have been refused
- ☒ Details of relevant structural details

Signed for and on behalf of the Council:

Name: _____



Date: 07/01/2004

NOTE: The Rodney District Plan is proposed to be altered by "Proposed Plan Change No. 62 - Introduction of New Financial Contribution Provisions". Contributions will be required in some situations where a building consent is applied for after the proposed plan change becomes operative. The proposed plan change is subject to the Resource Management Act 1991 submission and appeal process before it can become operative. A copy of the proposed change may be obtained from, and/or a copy of a booklet explaining the reasoning behind the proposed plan change may be purchased for \$25.00 from the Council office at Orewa.



PROJECT INFORMATION MEMORANDUM

THIS IS NOT A BUILDING CONSENT. A BUILDING CONSENT MUST BE ISSUED BEFORE BUILDING WORK IS STARTED.

The following information is provided by Council as required by the Building Act 1991 for the building work proposed by:

Application Number: ABA 31972

Dated:

Site Address: Wharf Street,
Warkworth.

Applicant: Mr & Mrs Munro

Description of Work: Additions & alterations to restaurant

Project Details

It is the responsibility of the applicant to show that the proposed building complies with the Building Act 1991.

Information Identifying Relevant Special Features of the Land Concerned

The site is recorded by Council as being located in the vicinity of land containing expansive soils which may not meet "good ground" criteria as defined in NZS 3604:1999. Seasonal shrink/swell movement, as a result of variations in soil moisture content and groundwater, may result in damage to structures. NZS 3604:1999 requires soils investigation on the site and specific design of the foundations.

If the site is otherwise suitable for foundations designed in accordance with the requirements of NZS 3604:1999 (with respect to stability, etc.), you may choose to adopt the following Alternative Solution and amend your drawings accordingly, or you may wish to engage the services of a suitably experienced and qualified Geotechnical Engineer to carry out a geotechnical appraisal of the site and specific engineering foundation design.

Alternative Solution 2: Standard NZS 3604 type driven timber piles to a minimum 1.5m depth below cleared ground level.

The land concerned is recorded by the Council as being located in the vicinity of land containing soils which do not meet the "Good Ground" criteria as defined in the Approved Documents - B1 Structure (ie. Onerahi Chaos-Breccia expansive soils). This class of soils is prone to creep, flow and slide even in gentle slopes, and particularly when saturated.

All building works in Onerahi Chaos Breccia class of soils must be carried out in accordance with the recommendations of the Report on Onerahi Chaos Breccia For Rodney District Council, dated July 1980, revised September 1980, RDC Ref: OC-800026, which can be obtained from the Council subject to its policy.

The land has been the subject of a stormwater catchment management plan. Information can be obtained from that plan report subject to Council policy.

Information About The Land Or Buildings Concerned Notified To The Council By Any Statutory Organisation Having The Power To Classify Land Or Buildings

No details of classifications of land and buildings is known by the Council.

Details Of Relevant Utility Systems

The attached extract from the Council's services plans shows the services which are on or adjacent to the land.

Details Of Authorisations Which Have Been Granted

Council has no record of existing authorisation for this project.

Notification Of Any Other Authorisations Which Must Be Obtained Before The Proposed Building Work May Be Undertaken

This activity is a permitted activity in terms of the reviewed District Plan.

You must check that your title is not limited by any restrictive covenant or consent notice to which any building may need to confirm.

Details of Authorisations Which Have Been Refused

Council has no record of any authorisations for this project having been refused.

Project Confirmation

This is confirmation that the project may be undertaken subject to the requirements of the building consent and subject also to all other necessary authorisations being obtained. The project is subject to the provision of the Building Act 1991 and relevant documents.

Date Inspected

16/07/03

NOTES ONLY:-

- ① STEPS WILL NOT COMPLY EITHER CLEARANCE FROM DOORWAY OR TREAD & RISE
- ② HAS VERANDAH SLABS HAVE DPM.
- ③ ~~THE~~ SPEC STATES CEILING INSUL. R 2.2 & SAY CEILING IS EXIST. - IF YOU HAVE TO INSTALL INSULATION YOU HAVE TO REMOVE ROOF OR CEILING & REPLACE.

17/7/03 LIR checked ~~Yes~~

25/7/03

RCL exp. soil - Att. 2 o/c cap

12.8.03

Have fax owner BLM. BGS.

28.8.03

Att: Revised specifications and details. agn

29.8.03

Have refer owner. BLM.

17.9.03

Att: Letter, compliance schedule, lintel detail, brace details, stair detail, agn

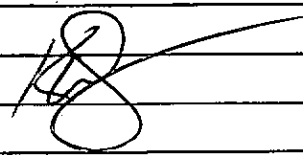
2.10.03

Att: Letter and fire review report agn

3.10.03

under the Health regulations the restaurant should have a commercial machine and does require a back flow prevention.

7/1/04

Completed 

CONSENT NO. DBA 31972	PIM NO.	LODGED AT SERVICE CENTRE	HEAD OFFICE DATE STAMP
DATE ISSUED	DATED ISSUED	DATE	



PRIVATE BAG 500, OREWA
TELEPHONE (09) 426-5169

Warkworth Service Centre
Baxter Street, Warkworth
Telephone (09) 425-8539

Huapai Service Centre
Main Road, Huapai
Telephone (09) 412-9120

Helensville Service Centre
Commercial Road, Helensville
Telephone (09) 420-8645

182485
182486

BUILDING CONSENT APPLICATION

(Complete in all cases)

1. OWNER - As per attached Certificate of Title*

Name: **DA + KM Munro Family Trust**
Postal Address: **P.O Box 142**
Mataikana 1241
Phone Number: **(09) 4229858**
Fax Number: **(09) 4229858**
Previous Owner: **Ron + Marian Archer**

2. CONTACT (if not owner)

Contact Name: **Dean Munro**
Postal Address: _____
Phone Number: _____
Fax Number: _____

3. PROJECT LOCATION

Number: _____
Street/Road: **Wharf St**
Locality: **Warkworth**

4. LEGAL DESCRIPTION

Valuation Number: **1281 37500**
Council Property ID: **Rate Act No 1226211**
PARCEL 7010034
Lot: **5** DP: **27277**
~~12584~~
Site Area: _____ square metres
_____ hectares
Certificate of Title: **0243**

5. PROJECT

New Building	
Alteration	☒
Relocation	
Demolition	

Description of Work: **Curtain wall enclosure of part of existing verandah**
Intended Use(s) [in detail]: **All weather dining**
Intended Life: Indefinite but not less than 50 years or specified as _____ years
Estimated Value: \$ **5000** (incl GST) No. of Units _____

This application will not be accepted until the Application Fee is paid.

Additional charges may be payable prior to the issue of the Code of Compliance Certificate.

The owner shall be responsible for the payment of any charges incurred in conjunction with this application. The owner will also be liable for any reasonable expenses (including legal and debt collection costs) incurred in collecting any money owed.

SIGNED BY THE OWNER/AGENT:

SIGNATURE: _____ DATE: **16-7-03**

6. CHARGES

The Council's charges payable on the making of this application are:

\$ _____ Receipt No: _____ Date: _____

* Copy of agreement for purchase from owner of title.

7.	Being stage of an intended stages.	
8.	FLOOR AREA OF PROPOSED WORK:	
	BUILDINGS OTHER THAN DETACHED ACCESSORY BUILDINGS:	
	Floor	Area square metres
	Basement	
	Ground Floor	
	First Floor	
	Second Floor	
	Additional Floors (Total)	
	Mezzanine	
	Decks	
	TOTAL	
	DETACHED ACCESSORY BUILDINGS	
	Garage	Area square metres
	Carport	
	Other Buildings	
	TOTAL	

* Under Section 33 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.

(Complete as far as possible in all cases)

9.

DESIGNER(S) Name: Ron Archer Address: 38 Waimanu Place Point Wells Phone Number (09) 4227891	
BUILDER Name: As above Address: Phone Number:	Fax Number:
DRAINLAYER Name: Address: N/A Phone Number:	Reg. No. Fax Number:
PLUMBER (if not as above) Name: Address: N/A Phone Number:	Reg. No. Fax Number:

CERTIFIER(S) (if applicable) Name: Address: Phone Number: Certifying:	Reg. No. _____

	Fax Number: _____

Name: Address: Phone Number: Certifying:	Reg. No. _____

	Fax Number: _____

PROJECT DETAILS

(Complete unless you have applied separately for a Project Information Memorandum)

10. The project involves the following matters. Tick each applicable box, if any, and attach the relevant information in duplicate.

- (a) ☒ Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings.
- (b) ☒ Details of any known or potential erosion, avulsion, falling debris, filled ground, subsidence, slippage, alluvion, inundation, hazardous contaminants on or near the site.
- (c) ☒ Provisions to be made for vehicular access, including parking.
- (d) ☒ Provisions to be made in building over or adjacent to any road or public place.
- (e) ☒ Provisions to be made for disposing of stormwater and wastewater.
- (f) ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or water mains.
- (g) ☐ New connections to public utilities i.e. gas, electricity, water supply, stormwater systems, wastewater systems.
- (h) ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, suppression of noise, disposal of debris and disconnection from public utilities.
- (i) ☐ Details of any cultural or heritage significance of the building or building site, including whether it is on a marae.
- (j) ☐ Details of any consents already obtained or approved relating to this application.

(Complete in all cases)

11. This application is accompanied by (tick each applicable box, attach relevant documents in duplicate).

- (a) ☒ The drawings, specifications, and other documents according to which the building is proposed to be constructed to comply with the provisions of the New Zealand Building Code, with supporting comments, if any, including:
- (b) ☐ Building certificates.
- (c) ☐ Producer statements.
- (d) ☐ References to accreditation certificates issued by the Building Industry Authority.
- (e) ☐ References to determinations issued by the Building Industry Authority.
- (f) ☐ Proposed procedures, if any, for inspection during construction.

12. COMPLIANCE SCHEDULE DETAILS

Systems Necessitating a Compliance Schedule

(Complete for all new buildings and alterations, except single residential dwellings.)

The building will contain the following (Cross each applicable box and attach proposed inspection, maintenance, and reporting procedures):

- ☐ Automatic sprinkler systems or other systems of automatic fire protection
- ☐ Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire
- ☐ Emergency warning systems for fire or other dangers
- ☐ Emergency lighting systems
- ☐ Escape route pressurisation systems
- ☐ Riser mains for fire service use
- ☐ Any automatic back-flow preventer connected to a potable water supply
- ☐ Lifts, escalators, or travelators or other similar systems
- ☐ Mechanical ventilation or air conditioning system serving all or a major part of the building
- ☐ Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the building code
- ☐ Building maintenance units for providing access to the exterior and interior walls of buildings
- ☐ None of the above

Other Systems and Features to be Included in the Compliance Schedule

(Complete only if the building contains one or more of the systems listed above.)

The building will contain the following (Cross each applicable box and attach proposed inspection, maintenance, and reporting procedures):

- ☐ Means of escape from fire
- ☐ Safety barriers
- ☐ Means of access and facilities for use by persons with disabilities which meet the requirements of section 25 of the Disabled Persons Community Welfare Act 1975
- ☐ Hand-held hoses for fire fighting
- ☐ Such signs as are required by the building code or section 25 of the Disabled Persons Community Welfare Act 1975

Signed by or for and on behalf of the applicant:

Name:

Position: owner / Trustee

Date: 16-7-03

NOTE

PRIVACY ACT 1993

- (1) Personal information obtained in this application is primarily for establishing applicant identity and, when the application has been granted or declined, for administration, monitoring and enforcement.
- (2) The information may be released to any inquirer about the application, the refusal of the application, or in relation to the use of any consent or approval of the application.
- (3) The information will be held by Rodney District Council, 50 Centreway Road, Orewa.
- (4) The information will be used for verifying and amending the Council's ownership and occupier records (the Rating Roll) and will be released in accordance with the Rating Powers Act 1988 and to Valuation New Zealand.
- (5) You have the right to access the information and to request its correction.

NOTE: The Rodney District Plan is proposed to be altered by "Proposed Plan Change No. 62 - Introduction of New Financial Contribution Provisions". Contributions will be required in some situations where a building consent is applied for after the proposed plan change becomes operative. The proposed plan change is subject to the Resource Management Act 1991 submission and appeal process before it can become operative.

A copy of the proposed change may be obtained from, and/or a copy of a booklet explaining the reasoning behind the proposed plan change may be purchased for \$25.00 from the Council office at Orewa.

Transfer No.
N/C. Order No. 286820.3



REGISTER

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate dated the 21st day of August one thousand nine hundred and seventyfour under the seal of the District Land Registrar of the Land Registration District of NORTH AUCKLAND

WITNESSETH that NAILA DORRIT DARBY of Warkworth, married woman

is seised of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 242 square metres more or less being Lot 5 on Deposited Plan 27277 and being part allotment 67 Parish of Mahurangi.

Warkworth
Assistant Land Registrar

Interests at date of issue:-

286820.2 **DISCHARGED** 21.3.1977 *Warkworth*
Mortgage to Morrison Gould
Securities Limited 21.8.1974 at 9.01
o/c
A.L.R.

DISCHARGED
B.209497.2 Mortgage 26.8.1983 at 26.8.1983
Zealand - 26.8.1983 at 26.8.1983
Warkworth A.L.R.

357514.2 Transfer to Gillian Ann
Bayldon and Robyn Christine Armstrong
both of Auckland married women -
as tenants in common in equal shares -
2.3.1977 at 12.28 oc.

Warkworth
for A.L.R.

483321.1 Transfer of the undivided one half
share of Robyn Christine Armstrong to Gillian
Ann Bayldon of Auckland married woman -
9.11.1978 at 9.15 o/c

Warkworth
A.L.R.

B.062264.1 Transfer to Archer Construction
Limited at Otahuhu - 6.5.1982 at 11.10 o/c

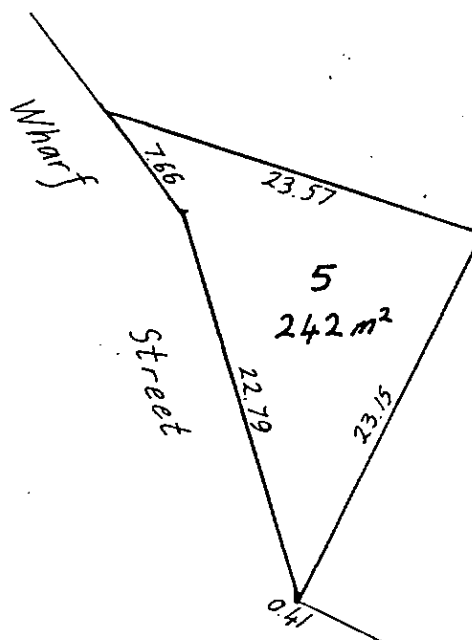
Warkworth
A.L.R.

B.062264.2 Mortgage to Gillian Ann Bayldon
- 6.5.1982 at 11.10 o/c

Warkworth
A.L.R.

MEASUREMENTS ARE METRIC

VII Mahurangi S.D



D.P. 27277

Register copy for L. & D. 69, 71, 72

30A / 343

B.275895.2 Transfer to Ronald Edward Archer
of Warkworth, builder and Marion Elizabeth
Archer his wife as tenants in common in
equal shares - 29.3.1984 at 9.53.0's

McGowan
A.L.R.

B.275895.3 Mortgage to Harold Luttrell
Morton - 29.3.1984 at 9.53.0's

McGowan
A.L.R.

B.338245.1 Mortgage to Harold Luttrell
Morton - 11.10.1987 at 11.47.0's

McGowan
A.L.R.

B.517778.1 Variation of terms of Mortgage
B.338245.1 - 20.3.1986 at 9.11 oc

McGowan
A.L.R.

B.617205.1 Variation of terms of Mortgage
B.338245.1 - 9.1.1987 at 1.45 oc

McGowan
A.L.R.

B.741988.1 Variation of terms of Mortgage
B.338245.1 - 19.10.1987 at 11.47 o's

McGowan
A.L.R.

B.843871.1 Variation of terms of Mortgage
B.275895.3 - 27.6.1988 at 10.27 oc.

McGowan
A.L.R.

B.905193.2 Variation of terms
of Mortgage B.275895.3 - 31.10.1988
at 11.11 o's.

McGowan
A.L.R.

C.490989.2 Mortgage to Harold Luttrell
Morton - 21.6.1993 at 2.03 oc

McGowan
A.L.R.

D426914.1 Transmission of Mortgage
C490989.2 to The Public Trustee

D426914.3 Transfer to Dean Gordon Munro,
Kim Margaret Munro and Stephen Ronald
Archer

D426914.4 Mortgage to Westpac Banking
Corporation

All 3.9.1999 at 12.00.

McGowan
for RGL

 DISTRICT BOUNDARY
 WARD BOUNDARY
 INDICATIVE STREAM
 FORMED ROAD CENTRELINE
 DRIVEWAY ENTRANCE

Parcel Boundaries Shown Are Indicative Only And Can Vary From Legal Boundaries.
COUNCIL ACCEPTS NO LIABILITY FOR ANY ERRORS OR OMISSIONS.
Special Accuracy Is Not Guaranteed.
This Plan Should Be Reproduced In Colour Only
RODNEY DISTRICT COUNCIL COPYRIGHT RESERVED

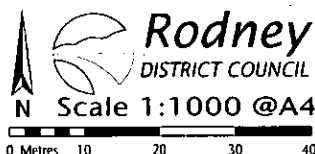
CADASTRAL PLAN

Showing Parcel Boundaries

Highlighted Parcel: LOT 5 DP 27277

Councils Cadastral Currency: June 2003

Printed: 16 Jul 2003 9:09AM



PLANNING CHECK FOR BUILDING CONSENTS

31962

Zone	Operative: _____ Proposed: _____ Review 2000: <u>under test</u>
Description of Activity	<u>minor addition</u>
Classification in terms of District Plan (activity type)	Operative: _____ Proposed: _____ Review 2000: <u>P/A</u>
S.220 or S.108 apply	YES / NO
Yards	☒ Front ☒ Side ☒ Rear – Is it a rear site? ☐ Foreshore ☐ Coastal ☐ Bulk in relation to boundary ☐ Other: _____
Height	Above Ground Level: _____ Height to Boundary: _____ Multiple Units - Between Units: _____ Fences - <1.8 m in height: _____
Site Coverage (state areas)	Area of Site: NB: net site if rear site _____ Area of Building: _____ Does Coverage Comply: YES / NO
Parking and Manoeuvring	Number required: _____ Number okay? Turning circle compliance? Width of driveway? YES / NO
Earthworks	Amount: _____ Compliance with Plan/s? Is it a 'SNA'? YES / NO
Significant/ Protected Trees	Description: (general tree provisions or specifically protected) _____
Env. Health Issues?	_____
Signs	Any signs involved? Does signage comply? YES / NO
Designated Site? Identified or Arch Site?	Site No: _____ Attach relevant District Plan details and criteria. Compliance achieved: YES / NO
Limited Access Rd?	Is the site on a Limited Access Road? YES / NO If SH – Transit, if Council owned – Council roading dept.
Resource Consent	Required: YES / NO (if yes specify why) If yes, has red form been sent: YES / NO Also check RFS complaints/enforcement register

Handling Officer Signature: P. J. 12/5/03

Date: _____

**Rodney District Council
Land Information Register Report**

Parcel ID: 7010034
Parcel Description: DP 27277 LOT 5
Property ID: 1226211
Property Location: 0 WHARF ST WARKWORTH

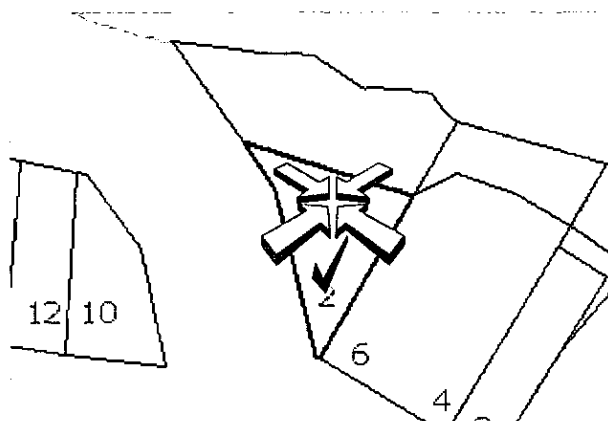
Council Ref No: LIR 10085 **Priority:** Finalised **Status:** Current
Details: LI Report on EXPANSIVE SOILS **RFS Type:** General
Ref: 00242-A Date: 16/2/01
ALL OF RODNEY
Author: RILEY CONSULTANTS LIMITED
Analysis: Within 150M of Expansive Soils (Alternative Solution 2)

Council Ref No: LIR 800026 **Priority:** Pending **Status:** Current
Details: ONERAHI CHAOS WITHIN RODNEY **RFS Type:** General
Ref: 130149/3 Date: JULY 1980/REVISED SEPT 198
Author: BECA CARTER HOLLINGS & FERNER LTD
Analysis: Onerahi Chaos (Suspected)

Council Ref No: LIR 991085 **Priority:** Pending **Status:** Current
Details: WARKWORTH TOWNSHIP CATCHMENT MANAGEMEN **RFS Type:** Data Reported to Council
Date: March 1999 - This report can be viewed at Council
offices, Orewa and Warkworth or purchased for \$20
Author: RODNEY DISTRICT COUNCIL

**LAND INFORMATION REGISTER
SHEET**

ABA/PIM No: 31972



See attached printout(s) listing LIR report(s) for the BC/PIM site

**** PLEASE NOTE** - This printout(s) could be for:

- ◆ The current land parcel, AND/OR
- ◆ The underlying land parcel(s)

LIRs on Adjacent Site(s)?

Adjacent sites not checked

High Pressure Gaslines...

No

Checked by: Teresa Cox

Date: 17/07/2003

**SPECIFICATION FOR THE PROPOSED CURTAIN WALL
ENCLOSURE OF PART OF THE EXISTING VERANDAH
ON THE COMMERCIAL PREMISES AT
LOT 5 WHARF STREET, LT 27277, PT ALLOT 67
for the DG & KM MUNRO FAMILY TRUST**

FLOOR: - existing concrete – to be tiled

WALLS: - Framing – 100 x 50 H1 G. No. 1
- Exterior Sheathing – 6mm Hardiflex over breather type building paper
- Internal Lining – 6mm Hardboard – painted

JOINERY: - Powdercoat aluminium to match existing – move existing double wooden doors to new position as indicated.

INSULATION: - Walls – R.1.6 Batts
Ceiling – R 2.2 Batts

FLASHING: - Galvanised Iron

CEILING: - Existing

**SPECIFICATION FOR THE PROPOSED CURTAIN WALL
ENCLOSURE OF PART OF THE EXISTING VERANDAH
ON THE COMMERCIAL PREMISES AT
LOT 5 WHARF STREET, LT 27277, PT ALLOT 67
for the DG & KM MUNRO FAMILY TRUST**

FLOOR: - existing concrete – to be tiled

WALLS: - Framing – 100 x 50 H1 G. No. 1

- Exterior Sheathing – 6mm Hardiflex over breather type building paper
- Internal Lining – 6mm Hardboard – painted

JOINERY: - Powdercoat aluminium to match existing – move existing double wooden doors to new position as indicated.

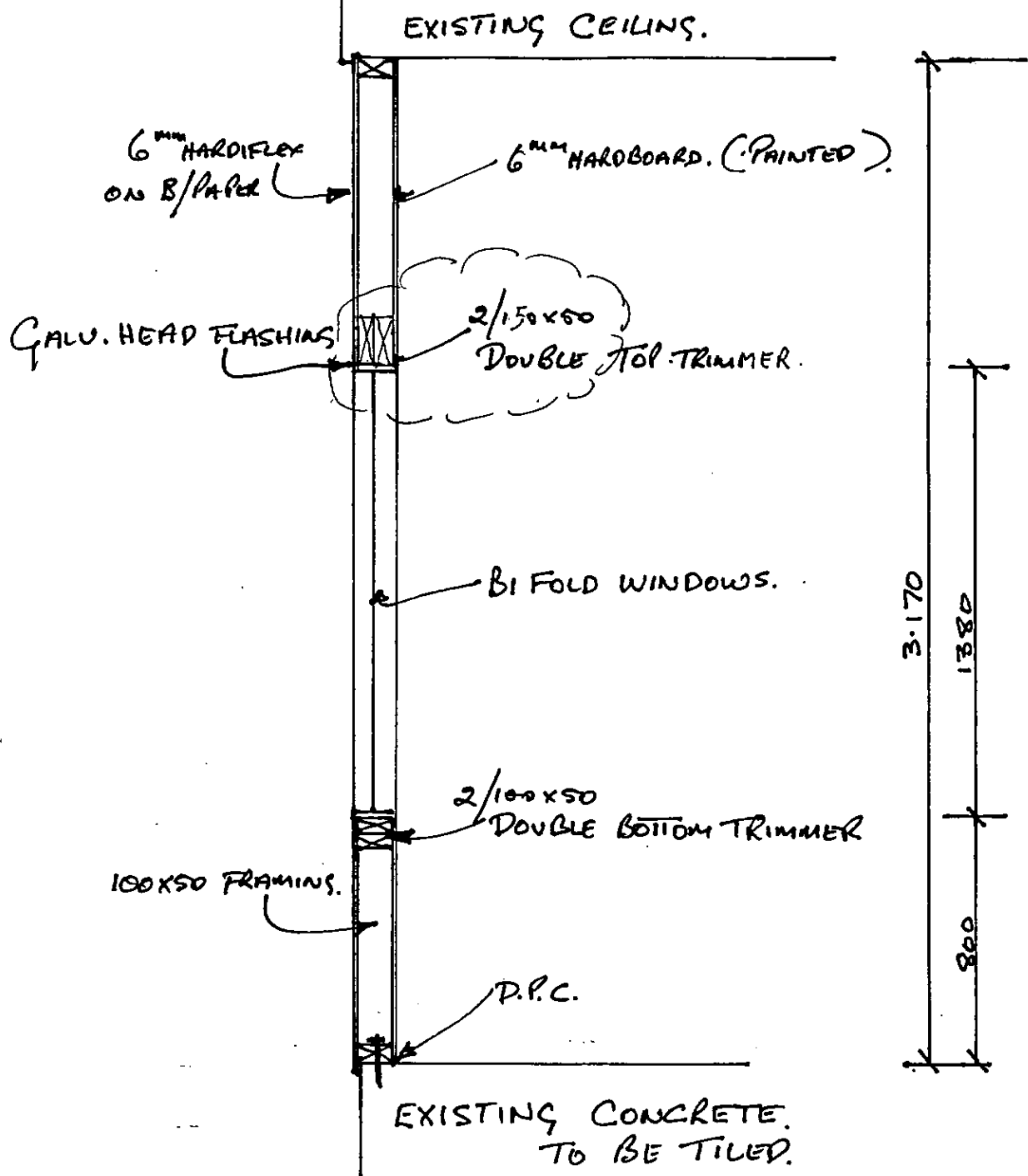
INSULATION: - Walls – R.1.6 Batts
Ceiling – R 2.2 Batts

FLASHING: - Galvanised Iron

CEILING: - Existing

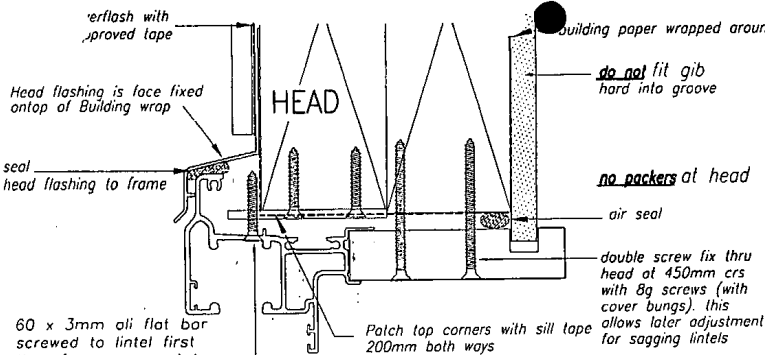
All work to be carried out in accordance with NZS 3604 unless otherwise shown.

SCALE 1:20



CROSS SECTION. THROUGH.
CURTAIN WALL

PROPOSAL. AT. LOT 5 WHARF. ST.



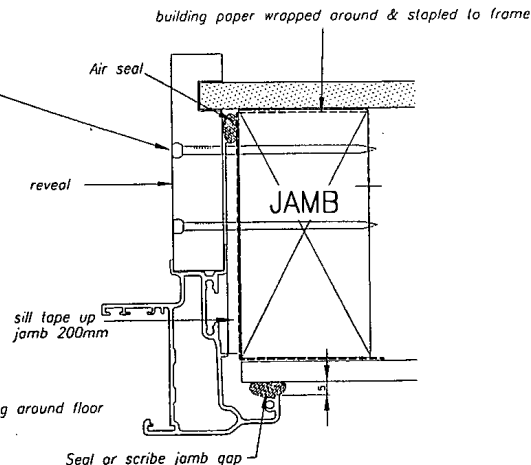
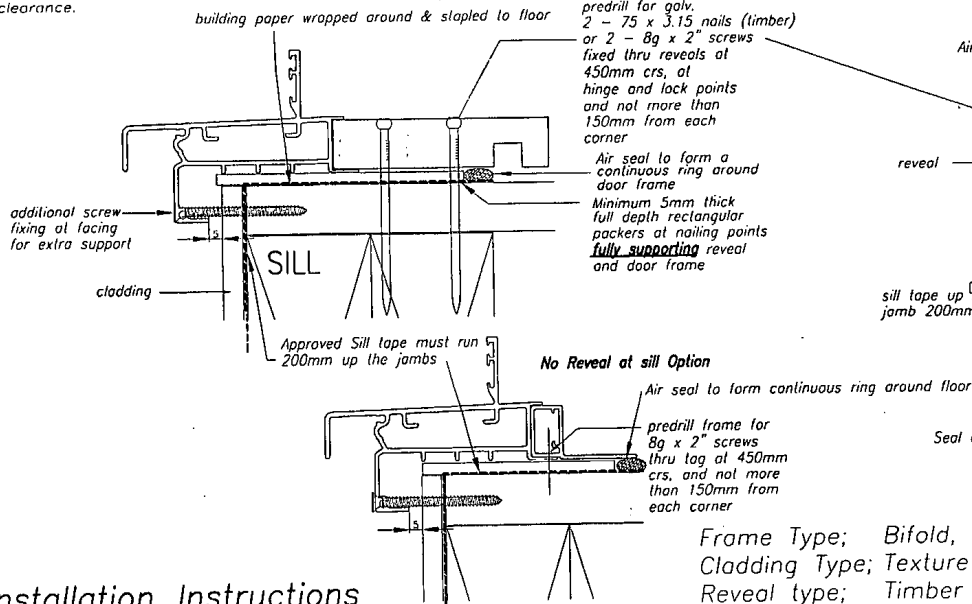
Note: Check with cladding manufacturers if additional proprietary sill flashings are required

Note: To be read in conjunction with WANZ WIS stage 1 peccled trim prep document

Notes:
These installation details are subject to change. Please consult your window and door manufacturer to ensure that the installation details meet current requirements.

For installation of cladding over and around aluminium joinery, please consult the cladding manufacturer's current installation instructions.

Fletcher Aluminium and the manufacturer will not accept any liability for loss or damage caused by failure to follow these installation details and instructions provided however that nothing in the information provided affects any rights under the Consumer Guarantees Act 1993.

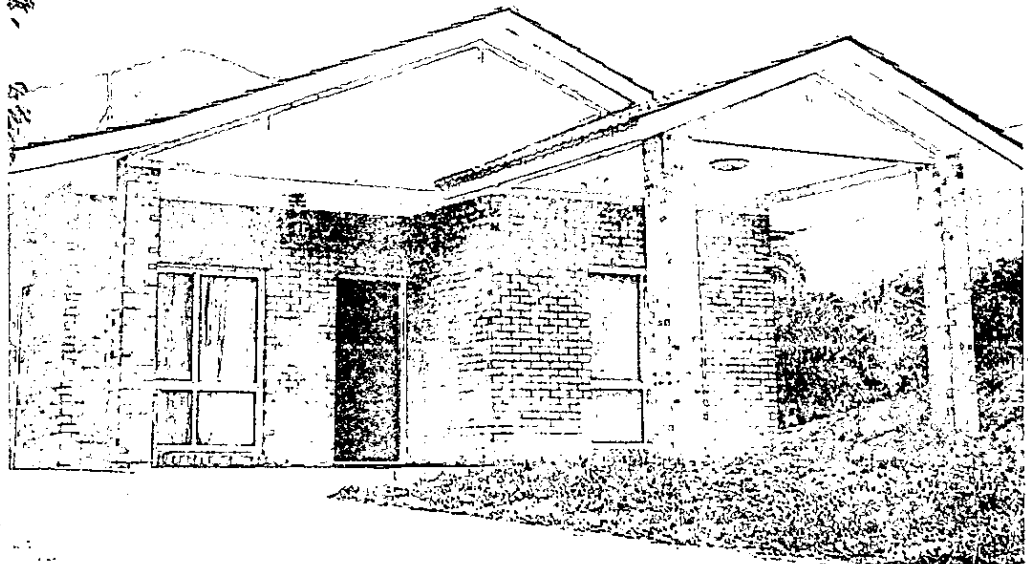


Frame Type; Bifold, Flat sill
Cladding Type; Texture coated fibre cement
Reveal type; Timber

Master file Approved	Section	Sheet	Issue
Scale: N.T.S.	21	12	2

PRIMAflex

Technical Manual



CONTENTS

INTRODUCTION	2
PRODUCT DESCRIPTION	2
PROPERTIES	2
SHEET SIZE AND THICKNESS	2
NZ BUILDING CODE COMPLIANCE	3
<i>Appraisal</i>	3
<i>Durability</i>	3
<i>Serviceable Life</i>	3
<i>Fire Properties</i>	3
<i>Energy Efficiency</i>	3
DELIVERY, HANDLING AND STORAGE	3
WORKING WITH PRIMAf ^{lex}	4
<i>Scoring And Snapping</i>	4
<i>Hand Guillotine</i>	4
<i>Penetrations</i>	4
<i>Working Safer With PRIMAf^{lex}</i>	4
FIXING TO TIMBER FRAMES	5
FIXING TO STEEL FRAMES	5
<i>Thermal Bridging</i>	5
FIXING TO OTHER SURFACES	5
FENCING	6
CURVED APPLICATIONS	6
FIXING METHODS	6
<i>Fastener Fixing Distance.</i>	6
<i>Window Placements</i>	6
<i>Flashing</i>	6
<i>Ground Clearance</i>	6
JOINTING SYSTEMS	6
<i>Vertical Joints</i>	6
<i>Horizontal joints</i>	7
<i>Ceiling And Soffit Joints</i>	7
FINISHING SYSTEMS	7
MAINTENANCE	7
WARRANTIES	7

MANUAL

INTRODUCTION

PRIMAflex is a lightweight, fibre cement board manufactured by Hume Cemboard Berhad for use as a general purpose cladding offering the strength, durability and stability of concrete - coupled with the versatility of a panel product.

The exceptionally flat, smooth surface of PRIMAflex makes it the first choice building board for external wall cladding, gable ends, fencing, interior wall and ceiling linings and of course premium soffit linings.

DESIGN WITH STYLE & BUILD WITH CONFIDENCE

PRODUCT DESCRIPTION

PRIMAflex is a fibre cement sheet material containing treated cellulose fibre, Portland cement, finely ground sand and water and is manufactured in accordance with NZS/AS 2908.2: 1992. Cellulose Cement Product - Flat Sheets.

Hume Cemboard Berhad is accredited with ISO 9002 : 1994 Quality Systems - Model for Quality Assurance in Production, Installation & Servicing. The scope of servicing covers - The manufacture of plain & patterned fibre cement flat sheet.

PRIMAflex sheets are manufactured to nominal 4.5mm and 6.0mm thickness and are suitable for use as soffit linings, general purpose cladding, gable ends, fencing and numerous other building applications.

PRIMAflex fibre cement sheets will not rot or burn and are highly resistant to water damage and are unaffected by insects and termites.

PROPERTIES

- Approximate Masses at Equilibrium Moisture Content (EMC) at 27 °C and 65 - 95% RH are -
 - 4.5mm sheets - 6.2kg/m²
 - 6.0mm sheets - 8.3kg/m²
- Density at EMC is 1320 kg/m³ nominal
- Moisture content at EMC is 7%. Moisture content at saturation is 33%.

SHEET SIZE AND THICKNESS

PRIMAflex is available in the following sizes and thicknesses -

MassPer sheet : kg						
Thickness (mm)	Length (mm)	Width(mm)				
		450	600	750	900	1200
4.5	1800				10.2	13.5
	2100				11.8	15.8
	2400	6.8	9.0	11.3	13.5	18.0
	2700				15.2	20.3
	3000				16.9	22.6
6.0	1800					18.1
	2400				18.1	24.2
	2700					27.2
	3000					30.2

Note: 1. Weights per sheet are shown for sizes available ex stock

2. Other sizes are available on special order and sales may be subject to special conditions.

NZ BUILDING CODE COMPLIANCE

PRIMAflex when used in accordance with the NZBC, is suitable as an exterior wall cladding and soffit lining. PRIMAflex, when installed in accordance with NZS 3604:1990 and details outlined in this specification, will satisfy the requirements of NZBC clauses -

B1 - Structure

B2 - Durability

E2 - External Moisture

F2 - Hazardous Building Materials (PRIMAflex is non - hazardous in terms of Clause F2.)

H1 - Energy Efficiency

APPRAISAL

PRIMAflex fully complies with NZS/AS 2908.2:1992 as determined by Opus International Consultants Ltd. - Central Laboratories (formerly Works Consultancy Services.)

Opus has granted Appraisal No. 1997/15 and has determined PRIMAflex is suitable for use as external cladding, eaves lining, ceiling and partition when installed according to the details outlined in this manual.

PRIMAflex is also suitable for above applications when the conditions in ABSAC (Australian Building Systems Appraisal Council Ltd.) Technical opinion 228 are fulfilled.

DURABILITY

PRIMAflex will meet the durability requirement of NZBC Clause B2.3.1(b) of 15 years only if the integrity and durability of the external coating is well maintained.

PRIMAflex is to be coated within 3 months of installation under normal conditions.

SERVICEABLE LIFE

Provided that the integrity of the supporting structure, coating, jointing and sealing are maintained, PRIMAflex is expected to have a minimum serviceable life of 50 years.

FIRE PROPERTIES

PRIMAflex has been tested by CSIRO Australia (Report - FNE 6761) to AS 1530.3 - 1989 and has achieved the following indices -

Ignition Index	0
Spread of Flame Index	0
Heat Evolved Index	0
Smoke Developed Index	0-1

PRIMAflex is deemed non-combustible in accordance with the Building Code of Australia.

ENERGY EFFICIENCY

The requirements of the NZBC Clause H1 - Acceptable Solution E3/AS1 has a minimum rating of $1.5^{\circ}\text{Cm}^2/\text{W}$. A timber framed wall constructed to the following specification will produce a thermal resistance of $1.78^{\circ}\text{Cm}^2/\text{W}$.

- Top and bottom plates - 100mm x 50mm Framing Timber.
- Studs at 600mm centres - 100mm x 50mm Framing Timber.
- Nogs or dwangs at 1200mm centres - 100mm x 50mm Framing Timber.
- Fibre glass insulation - R 1.8
- Breather-type building paper.
- Plasterboard internal lining - 9.5mm.
- PRIMAflex external cladding - 6.0mm.

DELIVERY, HANDLING AND STORAGE

- To minimise the possibility of on-site damage, PRIMAflex should be delivered to site just prior to installation.
- Always lift sheets vertically, (on-edge) length or widthwise.
- Store PRIMAflex neatly on a flat surface supported evenly on bearers spaced at 600mm centres maximum, clear of the ground to avoid damage and moisture ingress.
- Store under cover and ensure PRIMAflex is dry prior to fixing. Never install damp sheets. Damp sheets must be allowed to dry to equilibrium moisture content (EMC) before fixing.
- Protect edges and corners from damage.

Note - Floor loading should be considered when stacking sheets.

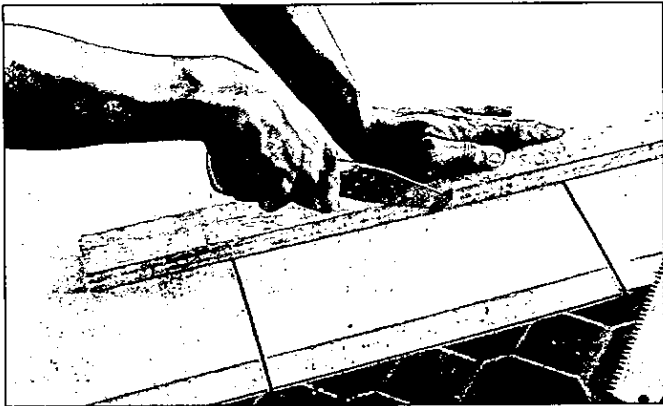
A dust mask and safety glasses should always be worn when cutting, drilling or grinding. Dry cutting with power tools should be performed in a well ventilated area or open-air situation using power saw fitted with dust - extracting attachments.

A circular saw with dust collecting facilities should have carbide-tipped teeth or a carborundum blade.

SCORING AND SNAPPING

Any scribing tool or special tungsten-tipped scoring knife can be used for this method of cutting.

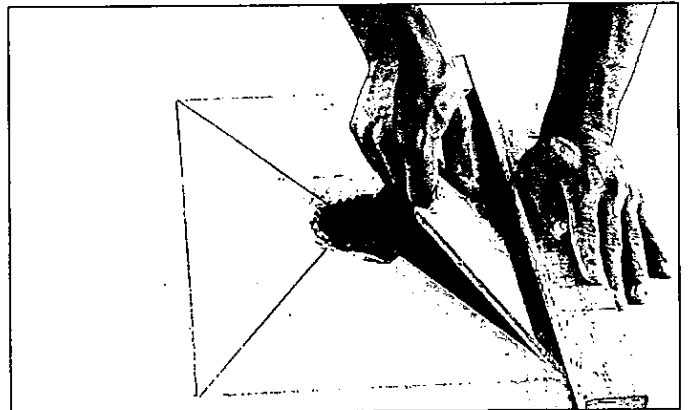
- Score the face of the sheet, repeating the action to obtain a depth of about 1/3 of sheet thickness.
- Snap the offcut upwards to achieve the cut. If the cut edge is rough, trim with a rasp.



Holes may be cut using a power drill with a tungsten tipped hole saw attachment. Alternatively rectangular or circular holes may be formed by using a masonry drill to make a series of smaller holes around the perimeter of the proposed opening, then carefully tapping out the waste section. Rough edges should be trimmed with a rasp.

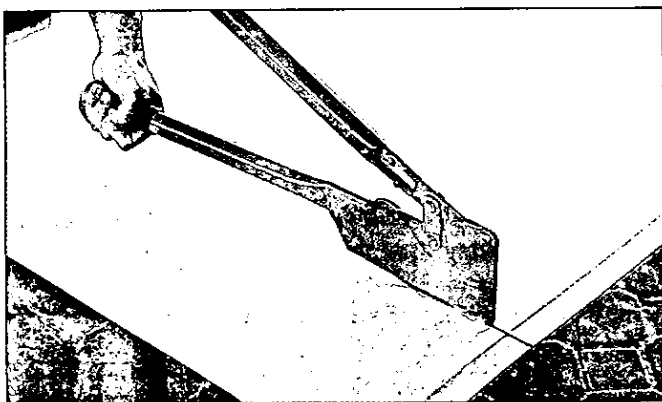
Larger rectangular holes and openings can be achieved using the following procedure.

- Score the perimeter of the hole using the scoring knife.
- Drill a large circular hole to the centre of the proposed opening.
- Use a saw to cut from the centre to the corners of the proposed opening.
- Hold a straight edge or piece of wood along the scored line and snap the waste piece upwards.



HAND GUILLOTINE

When using a hand guillotine, best results are obtained when the sheet and the off-cut are both fully supported.



WORKING SAFER WITH PRIMAf^{flex}

- Always work in well ventilated area.
- When cutting, drilling, sanding with power tools, use type P1 or P2 dust mask.
- Dust extraction equipment is to be fitted to all power cutting tools.
- Wear safety goggles approved to AS 1337.
- Wear protective clothing.

Warning - Breathing dust from silica based products such as fibre cement can be hazardous over an extended period of time. Always use masks, protective equipment and clothing which comply with the latest regulations of Occupational Safety and Health (OSH).

FIXING TO TIMBER FRAMES

All timber framing must be in compliance with NZS 3604:1990 Code of Practice for Light Timber Frame Buildings not Requiring Specific Design or the National Timber Framing Code AS 1684 : 1992. For specific design, refer to NZS 3606 : 1993 and NZS 4203 : 1993 or equivalent. In all cases, stud spacings must not deviate from the specification given. Timber framing must be either kiln dried or thoroughly air dried with a moisture content of no more than 18% for fully air-conditioned and 24% for non-fully air-conditioned buildings. To provide for adequate nailing, timber framing must be either ex 50mm wide, or if kiln dried the minimum size must be 35mm at intermediate studs and 45mm at sheet joints.

For sheet thickness of 6.0mm, studs are to be at 600mm maximum centres with continuous top and bottom plates and nogs at 1200mm maximum centres. 4.5mm thick sheet must supported at 450mm maximum centres in one direction. Ensure all sheet edges are supported.

All sheets are normally fixed to timber framing with 40 x 2.8mm hot-dipped galvanised nails. Use 30 x 2.0mm hot-dipped galvanised nails for fixing to hardwood. Ensure all nails are driven flush with the sheet surface. Use 40 x 2.8mm 316 stainless steel nail in areas of severe coastal or corrosive conditions.

FIXING TO STEEL FRAMES

Steel framing can be loadbearing or non-loadbearing. Steel framing constructed for loadbearing applications must be of sufficient strength and thickness. Fixing details shown for timber framing are also applicable for steel framing.

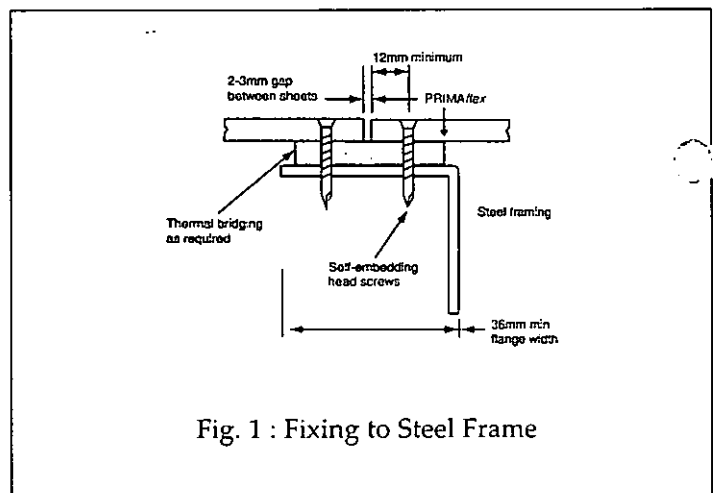
Steel framing must have at least a 36mm wide face to provide adequate support for PRIMAflex sheets.

Steel frame thickness must be 0.55mm BMT (Base Metal Thickness) to 1.55mm BMT. Use only cold-formed steel sections. The use of hot rolled sections is not recommended due to the excessive thermal differential movement.

When fastening PRIMAflex to steel studs use 8g (4.2mm) x 25mm self-embedding head screws. Do not over tighten the screw as sheet damage may occur. This is especially important when thermal bridging is used under the PRIMAflex sheets. The stud must be firmly supported while sheets are being fixed to avoid any distortion or twisting. Screws must not be used to fix 4.5mm thick sheet. Ensure screws have sufficient length when fixing with thermal break.

THERMAL BRIDGING

When fixing PRIMAflex to steel framing a thermal break is required between the steel and PRIMAflex to achieve the $1.5^{\circ}\text{Cm}^2/\text{W}$ value required by the Building Code.



FIXING TO OTHER SURFACES

Battens are required for the fixing of PRIMAflex when covering over -

- Masonry block, brick, or concrete walls.
- Soft backing boards, or polystyrene sheets.
- Gypsum Plasterboard.

"Timber battens" are to be a minimum thickness of 40mm to ensure sufficient sheet nailing penetration and holding. Check alignment and flushness of battens prior to fixing of sheets.

"Fixing to masonry or brick veneer." Run PRIMAflex past the end of the framing and 50mm over the masonry face.

"Steel battens" are to be a minimum of 72mm wide x 23mm deep x 0.55mm thick and to have a bearing face of at least 37mm. Battens must be galvanised steel and installed to the manufacturer's instructions.

FENCING

PRIMAflex is suitable as a fencing system. Ensure the bottom of the sheet is clear of the ground by a minimum 50mm.

CURVED APPLICATIONS

When PRIMAflex is used for curved applications the minimum radius for concave and convex walls is 1800mm for 6.0mm. Sheets are to be curved lengthwise only and support framing is to be introduced at 400mm centres for the extent of the curved section.

FIXING METHODS

PRIMAflex can be fixed across or parallel to the supports. A breather-type building paper is to be placed onto the exterior side of the frame before fixing PRIMAflex for external cladding. Building paper is not required for soffit lining application.

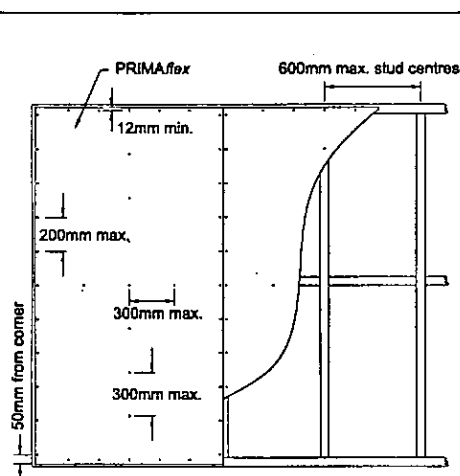


Fig. 2 : PRIMAflex Fixing

FASTENER FIXING DISTANCE

Fixings are to be installed at 200mm maximum centres to all sheet edges and 300mm maximum centres to intermediate framing members. Fixings are to be a minimum of 12mm from sheet edges and 50mm from corners of sheet. Refer Fig 2. All sheet joints should be on the centre line of supports. Commence fixing each sheet from the centre working outwards to ensure sheeting is installed firmly against the framing.

WINDOW PLACEMENTS

Ensure the vertical sides of window frames are sealed to PRIMAflex sheets with a paintable silicone sealant which is compatible with cementitious products.

Note : It is important that PRIMAflex sheets are not "notched" around corner of window and door openings - to avoid cracking at these locations, cut sheets at all corners of windows and doors and rejoin using a PVC jointing strip.

FLASHING

Where PRIMAflex sheets are located above windows and doors, a head flashing should be installed. Flashing should be extended 50mm beyond each side of the opening and the PRIMAflex sheets should be notched around the flashing and sealed with a paintable silicone sealant which is compatible with cementitious products.

GROUND CLEARANCE

All PRIMAflex sheets are to finish 50mm below the bottom plate line for a concrete floor which itself should be a minimum dimension to 150mm to pave ground or 225mm to unpaved ground to ensure compliance with NZBC clause E1/AS1 2.0.1(a). This means the PRIMAflex sheet must finish a minimum height of 175mm above unpaved ground, and 100mm above paved ground.

JOINTING SYSTEMS

Where details are drawn for a timber frame a similar application can be applied for a steel frame.

VERTICAL JOINTS

Alternative vertical jointing systems which include Butt Jointing, Expressed Jointing, Flexible Sealant Jointing & PVC Jointing are illustrated in Figures 3, 4, 5 & 6.

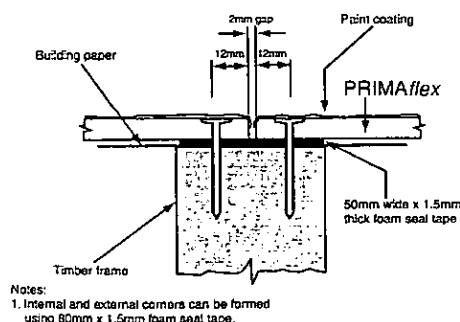
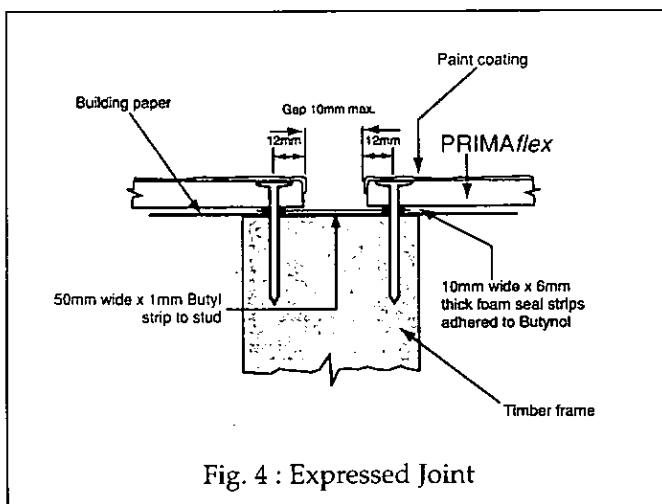
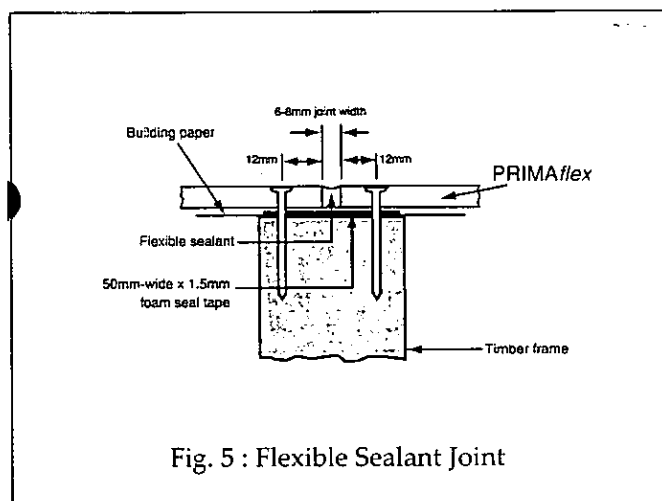
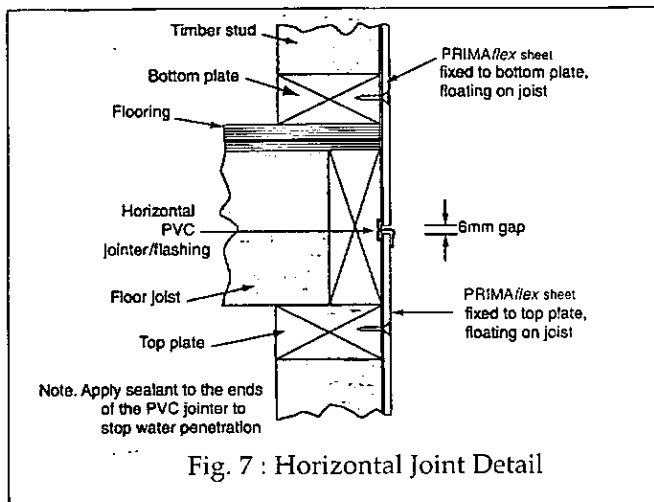


Fig. 3 : Butt Joint



HORIZONTAL JOINTS

Provide preformed PVC or Galvanised metal flashing to all PRIMAflex horizontal joint.



FINISHING SYSTEMS

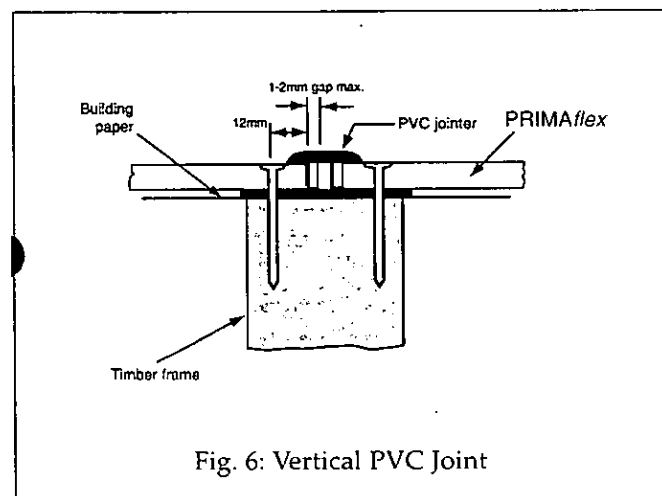
For best results decorate PRIMAflex with two coats of quality acrylic paint - for general purpose application there are no requirements for primers or sealers. Other coating such as polyurethane or epoxy paints are also suitable but require special preparations. In all cases coating manufacturers recommendations must be strictly adhered to.

MAINTENANCE

Periodic maintenance of the paint coating must be performed as specified by the paint manufacturer. All joints, sealants and wall surfaces must be checked for cracks to prevent the intrusion of water. Make good any defects in accordance with the systems outlined in this manual and good trade practice.

WARRANTIES

Hume Cemboard Berhad, warrants that its products are free from defects caused by faulty manufacture or materials. Hume Cemboard Berhad accepts no responsibility for or in connection with the quality of the workmanship in its use. This warranty shall be read in conjunction with and shall form part of the appropriate legislation, law and statute, as amended, and Hume Cemboard limits its liability under such legislation, at its option, to the replacement of the goods or the supply of equivalent goods.



CEILING AND SOFFIT JOINTS

Details shown for vertical external jointing systems are also applicable for ceiling and soffit joints, except building paper is not required. Refer Fig. 3 to Fig. 6.



HUME CEMBOARD BERHAD (62227 - X)
(A member of The Hong Leong Group Malaysia)

Jalan 219, Off Federal Highway, P.O. Box 21
46700 Petaling Jaya, Selangor, Malaysia
Overseas Sales: Tel: 603-7744332 Fax: 603-776 0173
Malaysia Sales : Tel: 603-7763688 Fax: 603-7752190

Stormwater
culvert.

New Landings

SHOP 2.
5.
+7.1
L.T. 27277
C.T. 52/225

SHOP. I. x5-3
5.1(X)

D.P. 12584

SCALE 1:100

All levels sh
been determ
stadia sur

DE LOT. 5 L.T. 27277

ABA

971254

INTRODUCTION

The proposal under Section 19 of the Building Act 1991 is alterations to existing building premises, as re-fit shop 2, located on Wharf Street, Manly, north of ground floor level, with floor level area of 101.00m² containing a Licensed Cafeteria "Riverbark Cafe".

The building is at present a two-level building constructed prior to the introduction of the Building Act 1991, in full compliance with the building by-laws and N.S. 1991, Chapter 4, 1991, The Building Construction and Means of Egress.

As the by-laws would have required the upper floor to be constructed to 1/2hr fire resistance rating, the ground floor area has been assessed as a single firecell for the purposes of this fire engineering design.

This report is prepared in compliance with plans prepared by H.K. Design, dated April 1997, reference BK517 to be submitted for a building consent application.

Note: The owner must notify Council should conditions change and the occupant density increase.

ASSESSMENT

The Building is classified as purpose group C5

Fire Hazard category 2

Proposed Occupant Densities as follows

(Ground Floor)

cafeteria	0.8	61.00m ²	48.8
kitchen	0.1	16.00	1.6
reception	0.1	10.00	1.0
			51.40
			(52 persons)

Likely Occupant Density 52.00 persons
E.O. Type 1 (Fixed) Alarm - refer C3/AS1 2.2 page 4

seating provided
for 42 persons.
will allow use of
single escape route.

Escape Routes are required in accordance with C2/AS1 to be as follows
ground floor - 2 escape route (special cases allowing single escape routes are given in paragraph 5.0)

The minimum width of escape routes from the ground floor level to be no less than 1214mm from the escapes routes provided (with a minimum of 1000mm)

Note: The owner should give consideration to installing a Type 2 (Fixed) Alarm, should the likely occupant density exceed 100 persons.

ALTERATIONS TO EXISTING BUILDINGS

Legal Environment

This is an "Alteration to existing building" under the Building Act 1991. All alterations must therefore comply fully with the New Zealand Building Code.

Under Section 38 of the Building Act 1991 certain aspects of the entire building must comply with the building code "as nearly as is reasonably practicable to the same extent as if it were a new building". These are:

- a) Means of escape from fire
- b) Access and facilities for use by people with disabilities where this is a requirement of the Disabled Persons Community Welfare Act 1975 (this building falls within that provision under Section 25(4)(p)).

Certain of these items must be discussed directly between client and Council, refer to the summary and note as follows:

Note that compliance is only to a degree which is "as nearly as is reasonably practicable to the same extent as if it were a new building".

Other provisions of the Building Code must continue to comply to at least the same extent as before the alteration.

It should be noted that it was clearly the intention of Parliament (Section 8 of the Building Act 1991) that where relatively minor works such as this are undertaken owners should not be subject to expensive upgrade of items remote from the proposed work unless specific discrepancies exist in present facilities. It was also clearly the intent of Parliament that opportunity should be taken at the time of any proposed change, where warranted, to upgrade means of escape and access and facilities for use by people with disabilities referred to above.

Such factors need to be taken into account in considering this project:

Contain no thresholds or upstands forming a barrier to an unaided wheelchair user.

Have means to prevent the wheel of a wheelchair dropping over the side of the *accessible route*.

Have doors and related hardware which are easily used.

Not include spiral stairs, or stairs having open risers.

Have stair treads with leading edge which is rounded.

WIDTH OF ESCAPE ROUTES

The width of escape routes is adequately covered by the main exitway from the premises.

At the exits, the width is within the 1.5m dead end open path length allowed under C2 AS1 Table 4 (to be considered when setting out the furniture layout).

WIDTH OF ESCAPE ROUTES

At the exits, the width is within the 1.5m dead end open path length allowed under

REQUIREMENTS FOR THE DOOR

Escape routes shall have a clear height of at least 2.0 metres above the floor level except the minimum ceiling height for escape routes is 2.0 metres above the floor level. The door shall be designed to be opened from the inside without the need for a key or other implement, and shall be capable of being opened from the inside without the need for a key or other implement.

DOORS AND WINDOWS ON ESCAPE ROUTES

Doors on escape routes (see 2.2.1.1) shall:

- a) Open in the direction of escape
- b) Open with a force not exceeding 100N at the handle and the weight of the door shall not exceed 100N at the handle

The maximum acceptable width of escape routes (see 2.2.1.1) can be reduced to the following acceptable alternatives:

- a) Where alternative means of escape (e.g. stairs, etc.) are provided with the escape route of at least one of these that allowed under 2.2.1.1 paragraph 1.2
- b) Where doors and windows are provided which reduce the escape route width to at least one of the following alternatives when the door is fully open:

DOOR PARTITION

Doors and window partitions shall be:

- a) Hinged or pivoted on one vertical edge only
- b) Self-latching and
- c) Self-closing, and not fitted with any locking or locking device that would prevent the door self-latching, and
- d) Not fitted with any locking device unless this complies with C/AS1 722. Refer section headed locking devices in this report.

LOCKING DEVICES

Any locking device shall:

- a) Be clearly visible, located where such a device would be normally expected, designed to be easily operated with a key or other implement, and allow the door to open in the normal manner
- b) Not prevent or override the direct operation of panic bolts fitted to any door

DIRECTION OF OPENING

Doors on escape routes shall be hung to open in the direction of escape that this does not preclude doors which swing in both directions. Any door which swings in both directions to have vision panel incorporated.

Doors on escape routes are acceptable where the number of occupants using the door is no more than the number of exits in the exit-way.



Colin Ashby Consulting Ltd

Structural, Civil & Geotechnical Engineering

3 Elizabeth Street
PO Box 124 Warkworth
Rodney District. N.Z.

Ph 09 425 94 22 , Fax 09 425 94 31
Mobile 029 94 96 949
E-mail: cacl@maxnet.co.nz

Our Reference: 4162-1
Ca/lc

26 August 2003

Mr Brian Grey
Building Consents Officer
Rodney District Council
Private Bag 500
OREWA

Dear Brian

Re: BUILDING CONSENT APPLICATION ABA 31972 AT WHARF ROAD

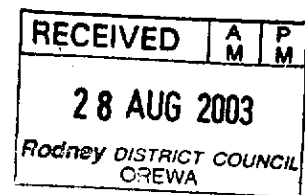
Mr Munro has bought me a copy of your letter dated 12 August 2003 so that I may review the matters, which you have raised on his behalf.

1 Structural

The proposal is to extent an existing Restaurant floor space by enclosing an existing verandah, which is substantially constructed with a cast insitu concrete floor on large concrete piles. The existing verandah above, incorporates existing tools which are carrying the weight of the roof. Maximum the lintels are going to be carrying the load from a metre height of wall immediately above the windows as per the diagram provided. In viewing the diagram, the lintels are shown as two 100 x 50 on the flat, it is agreed that these should be changed to two 200 x 50 on edge as per the amended diagram attached.

2 Lintels

A detail is also attached showing the proposed support for the lintels at each end.



3 Required Wall Bracing for Structure

The proposed addition does not add additional surface face area to the existing building and therefore the wind loadings will no more severe on this structure than they have been in the past. Within the outer wall, which was formerly verandah area, at the eastern end of the north face there was an existing wall which would have been braced at time of construction.

Although this wall has a window in it, it still has which panels measuring 1m wide and 2m wide. These walls would no doubt have been braced at the time or original construction and the loadings imposed by the proposed alterations will not have increased.

Further, there is a deck above, which is butynol clad probably on top of construction plywood and this will give good diaphragm action back into the remainder of the building at upper storey floor level. Considering matters from the northern face, again the exposed windage of the area of the building has not been increased and there are six substantial reinforced blockwork panels along the western face of the building which would give adequate bracing resistance from wind load in this direction. The proposed infill is very light and seismic load will be negligible.

4 Flashing Detail

Require Full Details of Flashings Top and Bottom For Windows

Please find herewith a standard nebulite detail for the head and sill jam, which will be utilised in this construction.

5 Landing

It is noted that a landing is required at the top and bottom of every flight of steps. In discussions onsite, it has been determined that it is practicable because there is an intermediate landing which is not required, to cast two new steps and a new landing which will provide the required landing at the top of the flight of steps at the top of which a new door will be installed.

6 Access

An accessible access to the shop with the set of double doors on the western side of the building, which comes off a cobble stoned pavement having good wheelchair access into the restaurant.

7 Specifications for the Work

Specification for the work is attached with the addition of " all works to be carried out in accordance with NZS 3604 1999 unless otherwise stated.

8 Building Warrant Fitness

A Building Warrant Fitness for this building is not my considered opinion necessary as there are no lifts or fancy smoke extraction systems etc and it is just a straightforward commercial building.

9 Fire

The restaurant is relatively small with maximum cul de sac escape distance of 15m, which is less than the maximum requirement under the Fire Code. There will also be four escape routes available. Enclosing of the verandah area will not constitute a change of use and I am satisfied that the fire provisions will be satisfactory, providing only that a fire exit sign be erected above the two new doors.

I trust that the above response may satisfy any concerns that Council may have. Should you have any queries, please feel free to come back to me.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Colin W. Ashby', written in a cursive style with a long, sweeping underline.

Colin W. Ashby
MIPENZ. BE. NZCE. Reg. Eng.

Enc : Standard Detail

cc : File

F a x

To: G.G.MUNRO
Of:
Fax No: 422 9858
Copy to: File 31972
From: Brian Gray

Date: 29 August 2003

Ref:
No. of pages including this one:
*(If you do not receive all pages,
please phone immediately.)*

The information contained in this facsimile is CONFIDENTIAL INFORMATION and may also be LEGALLY PRIVILEGED, intended only for the individual or entity named above. If you are not the intended recipient, you are hereby notified that any use, review, dissemination or copying of this document is strictly prohibited. If you received this document in error, please immediately notify us by telephone (call collect to the person and number listed) and destroy the original message. Thank you.

BUILDING CONSENT APPLICATION - ABA 31972 AT WHARF RD;

Thank you for lodging the above application, however in order to process your application two copies of the following are required:

NOTE: (i) All references relate to NZ3604; 1999 or as stated otherwise.
(ii) Please do not submit drawings by fax as scale and detail cannot be verified.

1.The fire appraisal would have to be peer reviewed at the owners cost our engineer is leaving us and we looking for staff.for this position.

2.We do require a W.O.F FOR THE BUILDING.

3.Require details of the landing changes.;require details showing clear access to the shop on the western side .

4.We require details on the support of the lintets with fixings. ✓

NOTE: (i) Please note your file is now suspended pending this information.
(ii) The engineer has not processed your consent yet and may also require further information.



Colin Ashby Consulting Ltd

Structural, Civil & Geotechnical Engineering

3 Elizabeth Street
PO Box 124 Warkworth
Rodney District. N.Z.

Ph 09 425 94 22 , Fax 09 425 94 31
Mobile 029 94 96 949
E-mail: cacl@maxnet.co.nz

Our Reference: 4162-1
Ca/lc

10 September 2003

Mr Brian Gray
Building Consents Officer
Rodney District Council
Private Bag 500
OREWA

LETTER NO.	346894	AM PM
Rodney DISTRICT COUNCIL - OREWA		
12 SEP 2003		
SUBJECT	FUNCTION	COPY
BUC	BLC	

Dear Brian

Re: BUILDING CONSENT APPLICATION ABA 31972 WHARF ROAD - WARKWORTH

In response to your fax to Mr G Munro dated 29 August 2003. I have viewed the building and faxed Irene Wecke, a compliance schedule questionnaire for the building. I have filled this in, together with a copy of a letter dated 10 March 1993 from Rodney District Council to the former owner with also a schedule completed at that time.

The building is fitted with two hose reels, one upstairs at the top of the landing, which would service the upstairs office and one downstairs in the back courtyard area, which would service both the downstairs tenancies. The restaurant is fitted with a type one alarm and also has a multi-purpose fire extinguisher in the kitchen. Both these items are serviced and checked regularly by "Fire Watch".

With the exception of the dishwasher in the restaurant which is a low risk facility and will most likely be constructed so that backflow is prevented. I am satisfied that a back flow prevention device is not necessary for the restaurant, as there are no fixtures or fittings which could inadvertently syphon back into the public water supply system. However I did inspect the Hair Dressing Saloon which is a medium risk, in the adjoining unit within the building. They do have two hair washing basins with extension hoses with rose heads which could inadvertently be left in a basin after hair rising. However, the Hairdresser assured me that management practices were such that this would not happen and that they dispose of any chemicals etc via a separate sink. Nevertheless, in this instance I am satisfied that a back flow prevention device is warranted and have advised Mr Munro accordingly.

Mr Munro has assured me that he will be putting one in and I will advise once this has been done. Irene Wecke will be forwarding to me the unsigned Compliance Schedule for me to sign and complete once the work is satisfactorily executed.

In the meantime it would be appreciated if you could release the permit for the minor works to be undertaken relating to the restaurant.

We enclose herewith the required details for the landing changes and also details on the support of the lintels with fixings.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Colin W. Ashby', with a stylized, sweeping flourish at the end.

Colin W. Ashby
MIPENZ. BE. NZCE. Reg. Eng.

Enc : Drawings

cc : File



DRAFT

COMPLIANCE SCHEDULE NO.

Section 44(2), Building Act 1991

Issued: 09/09/2003

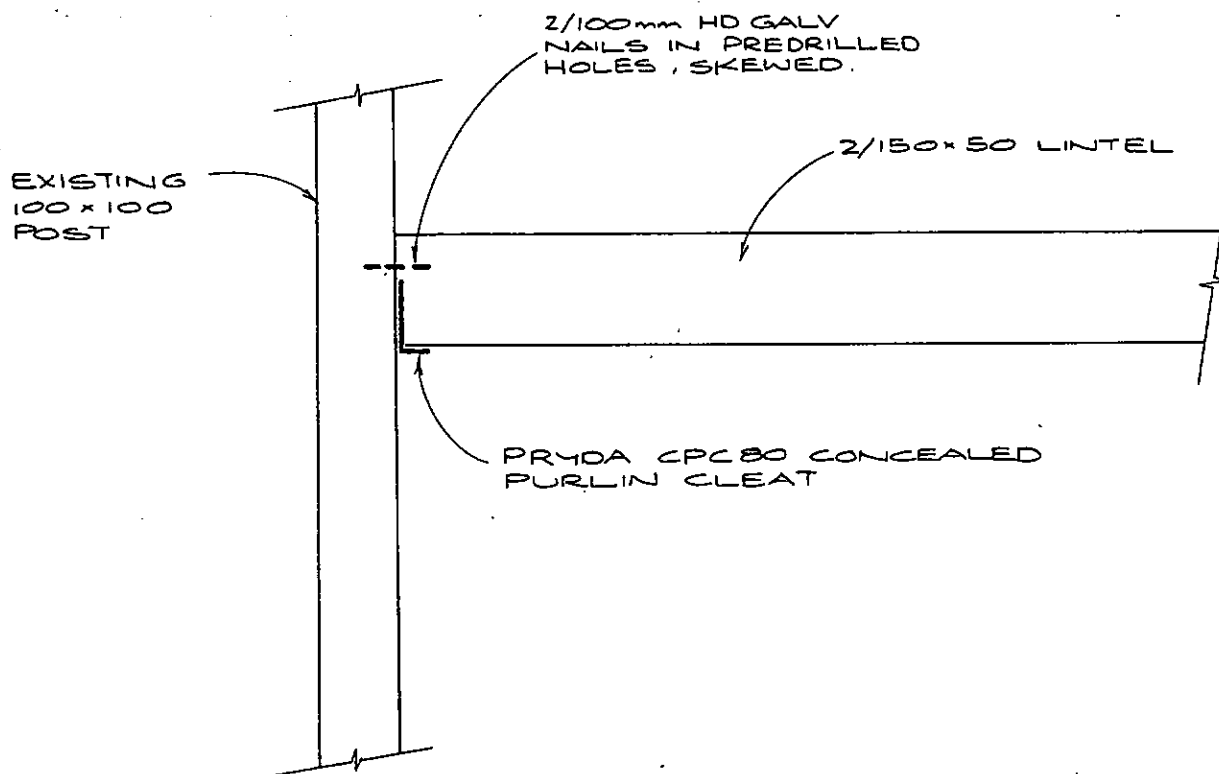
BUILDING	
Building: WHARF STREET RETAIL / OFFICES Street Address: WHARF STREET, WARKWORTH, NORTHERN Legal Description: LOT 5 DP 27277	Intended Use and any Conditions of Use: Commercial Intended Life: Indefinite but not less than 50 years
OWNER	
Name: DEAN GORDON MUNRO Mailing Address: P O BOX 142 MATAKANA WARKWORTH 1241	

A - Automatic sprinkler systems or other systems of automatic fire protection	B - Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire	C - Emergency warning systems for fire or other dangers	X
D - Emergency lighting systems	E - Escape route pressurisation systems	F - Riser mains for fire service use	
G - Any automatic back-flow preventer connected to a potable water supply	X H - Lifts, escalators or travelators or other similar systems	I - Mechanical ventilation or air conditioning system serving all or a major part of the building	
J - Any other mechanical, electrical, hydraulic or electronic system whose proper operation is necessary for compliance with the building code		K - Building maintenance units for providing access to the exterior and interior of buildings	
L - Such signs as are required by the building code in respect of the above mentioned systems	X M - Means of escape from fire	X N - Safety barriers	X
O - Means of access and facilities for use by persons with disabilities which meet the requirements of Section 47A of the Building Act		X P - Hand held hose reels for fire-fighting	X
Q - Such signs as are required by the building code or Section 47A of the Building Act			X

Signed for and on behalf of the Council

Name: I. Wacker Position: Technical Officer Date: 2/9/03

TRANSFER OF OWNERSHIP MUST BE NOTIFIED TO THE COUNCIL WITHIN 14 DAYS.



NOTE: LINTEL LIGHT WEIGHT
LOAD (BEAM ABOVE)

Check all information on site.



**Colin Ashby
Consulting Ltd.**
Engineering Consultants
Ph 09 425 94 22, Fax 09 425 94 31,
Mobile 029 94 96 949
E-mail cack@plnet

**LINTEL DETAILS
FOR DG AND KM MUNRO FAMILY TRUST
LOT 5 WHARF STREET, WARKWORTH**

Plan No. 4162

Scale : 1:10

Drawn : C.

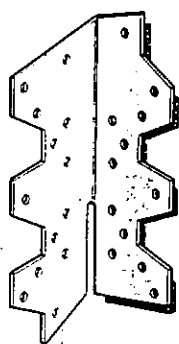
Date : 9/2003

Sheet.

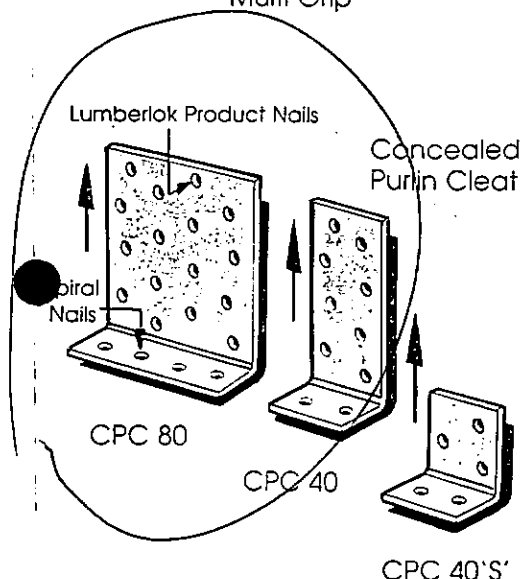
1

Series of

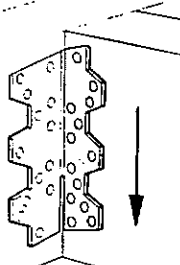
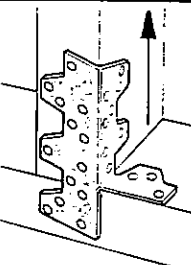
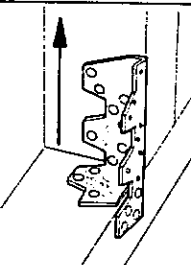
2



Multi Grip



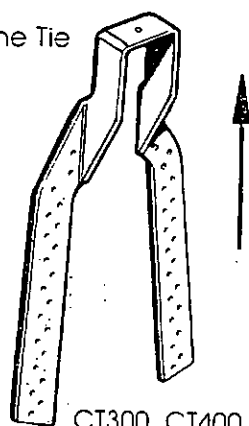
.91 G300 Z275 GALVANISED STEEL

Characteristic Load	13.24 kN/pair	4.05kN	3.63kN
Serviceability Load	6.47 kN/pair	1.98kN	2.28kN
			
Nails - All holes fully nailed with Lumberlok Product Nails - 30mm x 3.15 ø			

1.55 G300 Z275 GALVANISED STEEL

Uplift Direction	CPC 40's	CPC 40	CPC 80
Characteristic Load	9.0 kN/pair	12.16 kN/pair	24.32 kN/pair
Serviceability Load	1.5 kN/pair	1.81 kN/pair	3.6 kN/pair
Nails - All holes fully nailed with Lumberlok Product Nails - 30mm x 3.15 ø - Spiral Nails - 90mm x 3.55 ø			

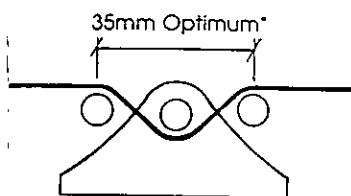
Cyclone Tie



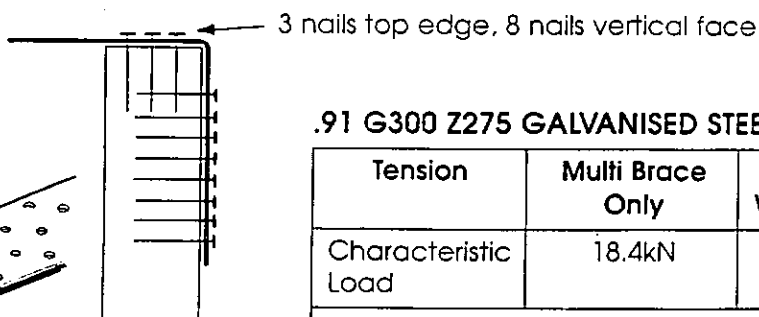
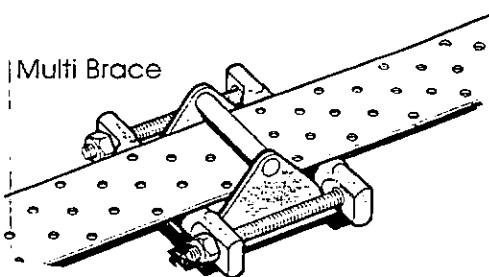
CT300, CT400, CT600

.91 G300 Z275 GALVANISED STEEL

Uplift Direction	CT300	CT 400	CT 600
Characteristic Load	8.14 kN	9.61 kN	11.12 kN
Serviceability Load	0.78 kN	1.33 kN	1.33 kN
Nails - All holes fully nailed with Lumberlok Product Nails - 30mm x 3.15 ø			



Multi Brace



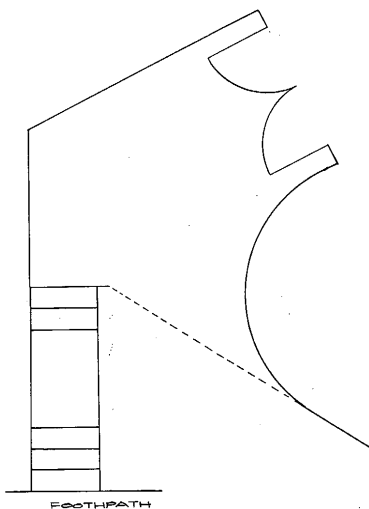
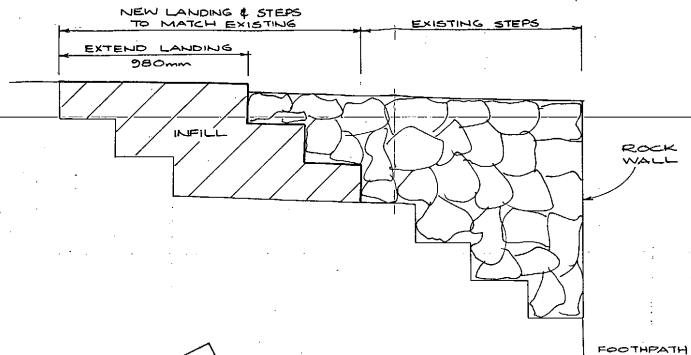
.91 G300 Z275 GALVANISED STEEL

Tension	Multi Brace Only	Multi Brace With Tensioner
Characteristic Load	18.4kN	18.2kN*
Elongation 0.2mm/m/kN including nail slip		
End nail fixing 75mm x 3.15 ø F.H. nails		

Check all information on site.

CROSS SECTION OF CONCRETE STEPS

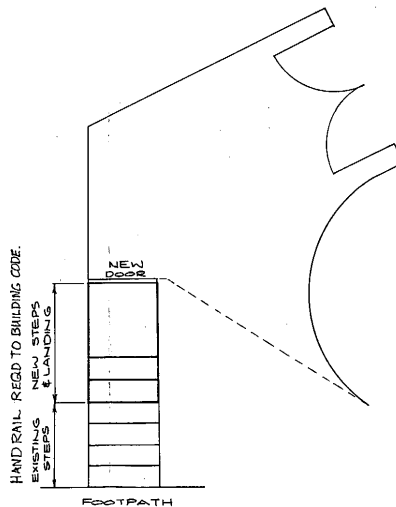
scale 1:20 @ A3



Chc

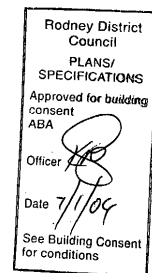
EXISTING STEPS & LANDING

scale 1:50 @ A3



PROPOSED STEPS & LANDING

scale 1:50 @ A3



Colin Ashby Consulting.
Structural, Civil, & Geotechnical Engineering
P.O. Box 124 Warkworth,
Ph 09 425 94 22, Fax 09 425 94 31, Mobile 029 94 96 949
E-mail cacl@maxnet.co.nz

STEPS AND LANDING DETAILS FOR DG AND KM MUNRO FAMILY TRUST LOT 5 WHARF STREET, WARKWORTH

Plan No. 4162

Scale: AS SHOWN

Drawn: C.A.

Date : 9/ 2003

Sheet 2

Series of 2

F a x

To: Colin ASHBY
Of:
Fax No: 425 9431
Copy to: File 31972
From: Brian Gray

Date: 18 September 2003

Ref:
No. of pages including this one:
(If you do not receive all pages,
please phone immediately.)

The information contained in this facsimile is CONFIDENTIAL INFORMATION and may also be LEGALLY PRIVILEGED, intended only for the individual or entity named above. If you are not the intended recipient, you are hereby notified that any use, review, dissemination or copying of this document is strictly prohibited. If you received this document in error, please immediately notify us by telephone (call collect to the person and number listed) and destroy the original message. Thank you.

BUILDING CONSENT APPLICATION - ABA 31972 AT WHARF STREET;

Thank you for lodging the above application, however in order to process your application two copies of the following are required:

- NOTE:**
- (i) All references relate to NZ3604; 1999 or as stated otherwise.
 - (ii) Please do not submit drawings by fax as scale and detail cannot be verified.

- 1.DETAILS are requested on the dishwasher TO THE type of chemicals that are used in the appliance WHEN THERE is doubt of to the TYPE OF hazard this is covered in the N.Z.B.C.
- 2.AS THE DRAWINGS are incomplete it is difficult to access for disabled the steps require a handrail this could be sorted by having a barrier free audit undertaken tel 025756511. —

3.Require a fire review appraisal for the whole building.

4.Specifications for the work.

5.Require to show the landing complies with clearance of the door opening.

- NOTE:**
- (i) Please note your file is now suspended pending this information.
 - (ii) The engineer has not processed your consent yet and may also require further information.



Colin Ashby Consulting Ltd

Structural, Civil & Geotechnical Engineering

3 Elizabeth Street
PO Box 124 Warkworth
Rodney District. N.Z.

Ph 09 425 94 22 , Fax 09 425 94 31
Mobile 029 94 96 949
E-mail: cacl@maxnet.co.nz

Our Reference: 4162-3
Ca/lc

29 September 2003

~~Mr Brian Gray~~
Building Consents Officer
Rodney District Council
Private Bay 500
OREWA

LETTER	348272	AM
RODNEY DISTRICT COUNCIL - OREWA		
2 - OCT 2003		
SUBJECT	FUNCTION	COPY
BUC	BLC	

Dear Brian

Re: BUILDING CONSENT APPLICATION ABA 31972 AT WHARF ROAD RESPONSE TO THIRD REQUEST FOR FURTHER INFORMATION

This matter is becoming somewhat wearisome, if you wanted information it should have been asked for in one go rather than three. We have previously provided specifications for the work, which have been requested yet again. This whole matter has turned into a storm in a teacup where a minor amendment to the building is turning into a time consuming and expensive red tape nightmare.

With respect to the items raised in your fax dated 18 September, I respond as follows:

1. The dishwasher is a "Starline" model GL5212. The kitchen Staff hand wash with a lemon household detergent purchased from "Bin-Inn" first then use starline "Choice" detergent in the dishwasher.
2. The restaurant has two disabled exit ways at footpath level. One of which is right beside the secondary exit way having steps. A barrier free audit is not required.
3. I have carried out a fire review appraisal of the whole building as requested and am pleased to advise that it only meets, but exceeds the requirements of the Building Code.
4. Specifications for the works have previously been provided.
5. With respect to the landing, we have tried to accommodate a landing within the stair profile available. While this landing length did not strictly comply with an acceptable solution as outlined in D1/AS1 of the Building Code Handbook, which suggests a minimum of 400mm between the leading edge of the door and the top step edge. Nevertheless this would have provided a useful tertiary entrance to the restaurant for patrons.

In discussion with the owner, the whole thing is starting to become too difficult to comply with and the decision has been made to leave the steps exactly as they are and close the entryway off completely.

I trust that the information herewith provided finally satisfies your requests for further information and that the building consent for this very simple enclosure of an existing verandah may be issued and proceed forthwith.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Colin W. Ashby', written in a cursive style.

Colin W. Ashby
MIPENZ. BE. NZCE. Reg. Eng.

Enc : Fire Review Appraisal

cc : File



FIRE REVIEW APPRAISAL

FOR

DG & KM MUNRO FAMILY TRUST BUILDING

AT

WHARF ROAD - WARKWORTH ABA 31972

CONTENTS :

Item	Description	Page
1	Introduction	2
2	Existing Building	2
3	Purpose Groups	2
4	Means of Escape	3
5	Requirements of Fire Cells	3
6	Conclusion	4



Introduction

Mr Dean Munro applied for Building Consent to enclose a small area of verandah. This was to form an extension to the restaurant in Shop No.2 on the ground floor of the building. Although this is a minor variation, and we have already replied to two faxes requesting further information on other matters from Council. The third fax dated 18 September has required a Fire Review Appraisal of the whole building.

Existing Building

I understand that the existing building was built in 1989 and is therefore of relatively recent construction. The plans show the boundary wall to the adjoining property to be a Concrete Masonry block wall, having a four hour fire rating. The internal partition walls separating the shops are also of 200mm block masonry.

Up stairs, the office layout has been framed up in timber framing and lined with gib board. The wall adjacent to the stairs on the permit plan, was shown as having a 30 minute fire rating. The floor between the two storeys appears to be timber frame with a gib or fire lined ceiling. I could not ascertain as to what the fire rating would be, but would anticipate that as the building consent was issued and obviously from what drawings available, fire rating was considered, I can only assume that the floor has sufficient rating.

Purpose Groups

i. Restaurant

The Restaurant would be classified as purpose group CL (crowd activities of less than 100 occupant loading). Fire hazard category would be 2. The occupant density rate for dinning, beverage and cafeteria space is 0.8 users per square metre. For kitchens, the occupants density is 0.1 users per square metre. The kitchen area is approximately 20 square metres and the restaurant area is approximately 84 square metres. This gives a patronage loading rate of 67 people, plus two cooks in the kitchen.

ii. Hair Saloon

Shop No.1 next door is fitted out as Hair Saloon and occupancy would definitely be less than 50 people. The Hair Dressing Saloon would be classed as WL (Hair Dressing Shops) and have a fire hazard category of 2.

iii. Upstairs Office

The upstairs office area, inclusive of kitchen, bathroom and storage areas but excluding stairway, has a net area of 290 square metres. Office space is assessed as having an occupancy density of 0.1 users per square metre, which would equate to 29 people. I would be surprised if loading ever exceeded half that amount. The upstairs office would have a purpose group rating as WL with a fire hazard category of 2.

Means of Escape

The upper floor containing the office has only one escape path via the front entry way stairway leading down to the street. The maximum open path length to the doorway at the top of the stairs is 16m. The stairway walls have a half hour rating and so the stairway may be considered as a safe path.

With respect to the upstairs office, for purpose group WL a dead end open path maximum length is 24m. Therefore the maximum length of 16m is acceptable. The maximum length of protected path is 60m, which would apply to the stairwell, which would in fact have a length of only some 9m. Therefore the escape route length for the upper floor is quite adequate.

Considering the Hair Dressing Saloon, this does have a rear exit to a courtyard but about a 1.2m drop down to ground below at the northern end of the courtyard. However ignoring this alternative route, the maximum cul de sac length is only 9m and therefore the single exit from the shop is quite adequate.

With respect to the restaurant, this has three sets of doors along the western side, plus a back door on the eastern side from the kitchen out into a service area courtyard from which one can jump down 1.2m onto ground below. The maximum dead end open path length for purpose group CL is 18m. The restaurant easily complies with this, the maximum travel distance even from the back corner of the kitchen to the doors on the western side would be less than 14m.

All doors on escape routes open outwards and have adequate width.

Requirements for Fire Cells

With reference to the restaurant, this is purpose group CL less than 100 which is considered as purpose group CS. For purpose group CS, on a ground floor an F rating of zero minutes is required. A manual fire alarm system is not required where the escape route serve an occupant loading of no more than 50 people. In this case the loading is 67 people and a manual fire alarm system is required. It is noted that one is fitted within the restaurant and checked and serviced at least annually by Fire Watch Ltd. A fire hydrant is located within reasonable distance to the building. An extra hydrant is not required in this case.

With respect to the Hair Dressing Saloon and the Office space, both have occupancy of less than 50 people, and therefore a manual fire alarm system is not required from table 4.1/1 even though the office is on the second floor.

It is of interest to note that in terms of the Fire Code, fire hose reels are not required. However a hose reel has been fitted to serve the upper floor and is located at the top of

the stairs on the right hand side going up. A further fire hose reel has been fitted within the service area at the rear of the lower storey shops.

The upper floor does require and F30 rating, which I would conclude it has been provided with.

Conclusion

From my inspection of the building, I am satisfied that the building meets and exceeds the requirements of the Fire Code.

A handwritten signature in black ink, consisting of several overlapping, sweeping strokes that form a stylized, elongated shape.

Colin W. Ashby
MIPENZ. BE. NZCE. Reg. Eng.

F a x

To: G.G.MUNRO
Of:
Fax No: 422 9858
Copy to: FILE 31972
From: Brian Gray

Date: 12 August 2003

Ref:
No. of pages including this one:
*(If you do not receive all pages,
please phone immediately.)*

The information contained in this facsimile is CONFIDENTIAL INFORMATION and may also be LEGALLY PRIVILEGED, intended only for the individual or entity named above. If you are not the intended recipient, you are hereby notified that any use, review, dissemination or copying of this document is strictly prohibited. If you received this document in error, please immediately notify us by telephone (call collect to the person and number listed) and destroy the original message. Thank you.

BUILDING CONSENT APPLICATION - ABA 31972 AT WHARF RD,

Thank you for lodging the above application, however in order to process your application two copies of the following are required:

NOTE: (i) All references relate to NZ3604; 1999 or as stated otherwise.
(ii) Please do not submit drawings by fax as scale and detail cannot be verified.

1. Require fire appraisal for the whole building
2. Require to have a W.O.F. FOR THE building.
- 3. Require to appraisal for access for disabled.**

NOTE: (i) Please note your file is now suspended pending this information.
(ii) The engineer has not processed your consent yet and may also require further information.

F a x

To: G.G.MUNRO
Of:
Fax No: 422 9858
Copy to: File 31972
From: Brian Gray

Date: 12 August 2003

Ref:
No. of pages including this one:
*(If you do not receive all pages,
please phone immediately.)*

The information contained in this facsimile is CONFIDENTIAL INFORMATION and may also be LEGALLY PRIVILEGED, intended only for the individual or entity named above. If you are not the intended recipient, you are hereby notified that any use, review, dissemination or copying of this document is strictly prohibited. If you received this document in error, please immediately notify us by telephone (call collect to the person and number listed) and destroy the original message. Thank you.

BUILDING CONSENT APPLICATION - ABA 31972 AT WHARF RD,

Thank you for lodging the above application, however in order to process your application two copies of the following are required:

NOTE: (i) All references relate to NZ3604; 1999 or as stated otherwise.
(ii) Please do not submit drawings by fax as scale and detail cannot be verified.

1.STRUCTURAL –Require to support for opening on the outside- inside framing does require a lintel size to support it own weight & carry the opening structure for the openings.

2.The LINTELS require support for the weight of the lintel & the materials at each end.

3.Require wall bracing for structure

4.Require full details of flashings top & bottom for the windows.

5.Require a landing at the top & BOTTOM of every flight of stairs as per 4.3.4.of acceptable solutions D1/AS1.

6.Question where is the accessible access to the shop.

7.Require specification for the work.

NOTE: (i) Please note your file is now suspended pending this information.
(ii) The engineer has not processed your consent yet and may also require further information.

22 December 2004

Ref: ABA 31972
KH: JAD

D G Munro
P O Box 142
Matakana
WARKWORTH 1241

**INSPECTION - BUILDING PERMIT/CONSENT NO: ABA 31972 – Additions & Alterations
LOT 5 DP 27277 – Wharf Street, Warkworth**

An inspection of the building work authorised by the issue of the above consent was carried out on Monday 20 December 2004. The items listed below require attention:

THINGS TO DO:

1. Weatherproof joints and external corners to the Hardie-Flex, then seal to Manufacturer's recommendations.

We reserve the right to issue any further requisitions as may be required to bring this consent to a satisfactory conclusion.

Please request a recheck final inspection on completion of the above.

Yours faithfully

Kevin Higgs
AREA BUILDING FIELD OFFICER
Ph: (09) 425 8539

13-Feb-2007

Ref: ABA-31972

Dean Gordon Munro
P O Box 142
Matakana
Warkworth 1241

INSPECTION - BUILDING CONSENT NO: ABA-31972
Location 2-6 Wharf Street, Warkworth 1241

An inspection of the building work authorised by the issue of the above consent was carried out on 12.02.07. The items listed below require attention:

ITEMS TO BE COMPLETED

- 1) Weather proof joints. Sealant is not acceptable as a joint sealer without additional protection from U V rays. Install propriety PVC joiner or cover with a timber moulding with drip groves

We reserve the right to issue any further requisitions as may be required to bring this consent to a satisfactory conclusion.

Please request a final inspection (recheck) on completion of the above item/s.

Yours faithfully

Ron Smith
Building Field Officer
BUILDING AND DEVELOPMENT CONTROL

02-Mar-2007

Ref: ABA-31972

Dean Gordon Munro
P O Box 142
Matakana
Warkworth 1241

INSPECTION - BUILDING CONSENT NO: ABA-31972
Location 2-6 Wharf Street, Warkworth 1241

Further to my site visit 1-March-2007, The items listed below require attention:

PAPER WORK REQUIRED

- 1) Code of Compliance Certificate application
- 2) Please find enclosed the Amendment Application for the Durability, sign and declare the date of occupancy the return to the writer

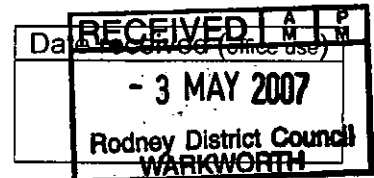
We reserve the right to issue any further requisitions as may be required to bring this consent to a satisfactory conclusion.

Yours faithfully

Kevin Higgs
Area Building Field Officer
BUILDING AND DEVELOPMENT CONTROL



APPLICATION FOR
CODE COMPLIANCE CERTIFICATE
Section 92, Building Act 2004



The Building Consent	
Building Consent Number:	ABA 31972
Site Address/legal description:	Wharf St Warkworth
Issued by:	RODNEY DISTRICT COUNCIL

The Owner	
Name of owner:	DG & KM Munro Family trust
Contact person:	Dean Munro
Mailing Address	P.O Box 142 Matakana 0948
Street address/ registered office:	
Facsimile number:	
Email address:	
Website:	

Agent (complete this section if this section is being made on behalf of the owner)	
Name of agent:	
Contact person:	
Mailing Address	
Street address/ registered office:	
Facsimile number:	
Email address:	
Website:	
Relationship to owner: (state details of the authorisation from the owner to make the application on the owner's behalf)	
First point of contact for communications with the council/building consent authority: (state full name, mailing address, phone number(s), facsimile number(s) and email address(es) (the contact details must be NZ))	

Application			
All building work to be carried out under the above building consent was completed on:			Date: 20-12-2004
The personnel who carried out the building work are as follows:			
Name	Address	Phone number	Registration Number
Ron Archer	Mail Centre Kingston		N/A
Dean Munro	Box 142 Matakana	(09) 4229558	N/A
If more space is required please complete (if not already completed) the "Record of Tradespersons" (reference no. BC 19.10F) that was supplied with your Building consent or can be obtained from the RDC website.			
☐ Indicate if a "Record of Tradespersons" (reference no. BC 19.10F) has been completed and attached to this application			

The following specified systems are contained on the compliance schedule for the building and , in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent

I request the that you issue a code compliance certificate for this work under section 95 of the Building Act 2004	
The Code compliance certificate should be sent to: (state which address, and whether owner or agent)	P.O Box 142 Matakana 0948

Signature:  Name: Dean Munro Date: 3-5-07
(owner/agent on behalf of and with the authority of the owner) (person signing)

Attachments

The following documents are attached to this application:	
Certificates from the personnel who carried out the work	☐
Certificates that relate to the energy work (electrical/gas)	☐
Certificates/Producer statements/Warrantees required by the Building consent	☐
Evidence that specified systems are capable of performing to the performance standards set out in the building consent	☐

Postal Address: Rodney District Council, Private Bag 500, Orewa, Phone: 0800 426 5169, Website: www.rodney.govt.nz			
Orewa Office 50 Centreway Road Orewa	Helensville Service Centre Commercial Street Helensville	Huapai Service Centre State Highway 16 Huapai	Warkworth Service Centre Baxter Street Warkworth

Colin Ashby Consulting Ltd

Structural, Civil & Geotechnical Engineering

P.O. Box 124 Warkworth

Mobile: 029 949-6949

E-mail: cacl@maxnet.co.nz

Phone: (09) 425 9422

Fax: (09) 425 9431

Building Consent Application No: 31972

Job No: 4162

Producer Statement – Construction Review (PS4-cacl)

Issued by: **Colin Ashby of Colin Ashby Consulting Ltd**

To (Owner): **DG & KM Munro Family Trust**

To be Supplied to: **Rodney District Council** (Territorial Authority)

In Respect of **Addition to Restaurant** (Description of Work)

At: **Lot 5 – Wharf Street, Warkworth**

To provide **Inspection** services in respect of the requirements of clause
(s) **B1** of the First Schedule to the Building Regulations 1992 for the building work described

By the drawings and specifications prepared by **Colin Ashby Consulting Ltd** (Designer)

Titled _____ and numbered Sheet 2

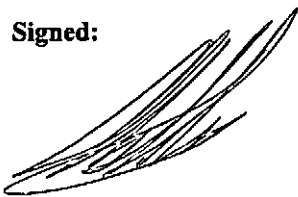
Authorised variation(s) No _____ (copies attached) have been issued during the course of
the works I have sighted the Building Consent No **31972** and the attached conditions of the building consent.

As an independent design professional, I or personnel under my control have carried out periodic reviews of the work appropriate to the engagement and based upon these reviews and information supplied by the contractor during the course of the works, **I believe on reasonable grounds** that **all** or only as specified in the attached particulars of the building work under the above consent with respect to Clause(s) **B1**
Of the Building Regulations 1992 has been completed to the extent required by that Building Consent.

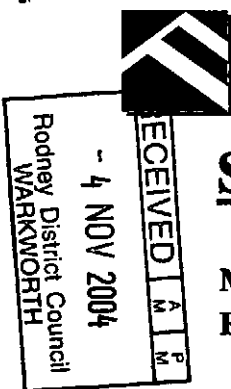
In line with normal professional practice, our services are provided in accordance with the ACENZ/IPENZ Model Conditions of Engagement between Client and Consultant for Professional Services dated July 1997. A copy of these conditions is available on request. We carry Professional Indemnity Insurance to the value of \$1,000,000.

Signed:

Date: 18/02/2004

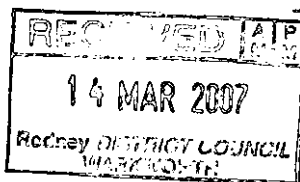

Colin Winslow Ashby
MIPENZ. (Civil, Structural) CPEng IntPE
BE, NZCE.

E.R.B. Reg. No. 7656





Private Bag 500 Orewa
Telephone: 0800 426 5169



For Office Use Only	
PROP ID	
PARCEL ID	
PERSON ID	
ABA No	
DATE REC'D	

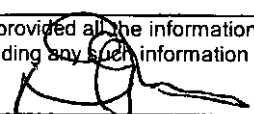
AMENDMENT TO AN EXISTING ISSUED BUILDING CONSENT- APPLICATION FORM

Existing Consent number	ABA 31972	Issued date	7-1-04
-------------------------	-----------	-------------	--------

CONTACT DETAILS	
OWNERS NAME(S) & ADDRESS:	
DC & KM Munro Family Trust	Business Ph: (09) 4229858
P.O Box 142	Private Ph:
Matakana	Fax No:
	E-Mail
SERVICE NAME & ADDRESS FOR CONTACT DURING THE APPLICATION PROCESS (if different from above):	
Dean Munro	Business Ph: 027 2836448
P.O Box 142	Private Ph:
Matakana	Fax No:
	E-Mail
LOCATION OF THE PROJECT (ADDRESS)	
ADDRESS: 2-6 Wharf St, Warkworth 1241	
LEGAL DESCRIPTION: Lot 5 DP 27277	
DESCRIPTION OF THE PROPOSED AMENDMENT AND THE REASON FOR THE AMENDMENT	
DESCRIPTION:	
<i>We request that the consent be modified / varied so that the durability requirements of the New Zealand Building Code for the building work, the subject of this consent, commence from the time the building was occupied rather than the date of the Code Compliance Certificate is to be issued.</i>	
The date this building was occupied is deemed to be the 20 day of December 2004	
REASON:	
Effectively the dwelling was completed and occupied on the date shown above and it would be unreasonable to expect Council to certify the durability requirements of the New Zealand Building Code, implied in a Code Compliance Certificate issued in (month) 2006 (year)	

DECLARATION

I declare as owner or agent of the owner, that I have provided all the information requested on this form, in relation to the project and the site, known to the owner and agent. I am aware that withholding any such information may invalidate the Amendment being approved by Council.

Signed by Owner or on behalf of the Owner  Date 13-3-07

Postal Address: Rodney District Council, Private Bag 500, Orewa, Phone: 0800 426 5169, Website: www.rodney.govt.nz.

Orewa Office
50 Centreway Road
Orewa

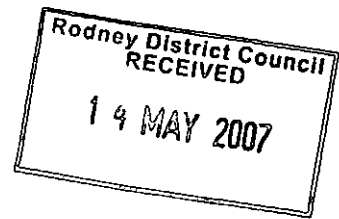
Helensville Service Centre
Commercial Street
Helensville

Huapai Service Centre
State Highway 16
Huapai

Warkworth Service Centre
Baxter Street
Warkworth

RODNEY DISTRICT COUNCIL

BUILDING SECTION



FINAL INSPECTION

TO BE ACTIONED AS BELOW (Delete not required)

CODE COMPLIANCE CERTIFICATE

BUILDING CONSENT REFUND

TEAM LEADER BUILDING COMPLIANCE

COMPLIANCE SCHEDULE WOF 3529

OTHER:

2 inspections

Signed:  Date: 10/05/07

Checked:  Date: 11/05/07

(Team Leader Building Compliance)

Date Inspected

16/07/03

NOTES ONLY:-

- ① STEPS WILL NOT COMPLY EITHER CLEARANCE FROM DOORWAY OR TREAD & RISE
- ② HAS VERANDAH SLAB HAVE DPM.
- ③ ~~THE~~ SPEC STATES CEILING INSUL R 2.2 & SAY CEILING IS EXIST. - IF YOU HAVE TO INSTALL INSULATION YOU HAVE TO REMOVE ROOF OR CEILING & REPLACE

17/7/03

LIR checked ~~Loe~~

25/7/03

RCL exp. soil - Att. ?

q/c cap

12.8.03

Have fax owner BML.

BGS.

28.8.03

Att: Revised specifications and details.

29.8.03

Have refer owner.

BML.

17.9.03

Att: Letter, compliance schedule, lintel detail, brace details, stair detail,

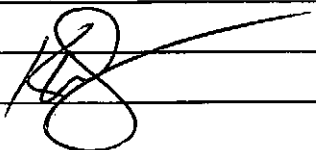
2.10.03

Att: Letter and fire review report

3.10.03

under the Health regulations the restaurant should have a commercial machine and does require a back flow prevention.

7/1/04

Completed 

9-11-04

Att: PSQR - Inspection in respect of BI
Colin Ashby Consulting Ltd

JAD.

20-12-04

Final:- layout as plan

- All joinery in place & flashed
- Hard-Flex exterior wall lining to
exterior

①

- Interior wall lining are sealed

Things to do:- ① Weather proof
joints & external
corners to the Hardie-Flex, then
seal to manufacturers recommendations

12-2-07

FINAL RECHECK

THINGS TO DO

②

① WEATHER PROOF JOINTS, SEALANT IS NOT
ACCEPTABLE AS A JOINT SEALER WITHOUT
ADDITIONAL ^{PROTECTION} COVER FROM UV RAYS INSTALL
PRORUBY PVC SOINER OR COVER WITH TIMBER
MOULDING WITH DRIP GROVES.

1-03-07

Site visit -

no charge by this consent is recent sealed
& has cover - gutters & joints
+ flashing to external corner -

Documentation to supply

① Code Compliance Certificate application

② Please find enclosed the Affidavit
Application for Durability, sign
& declare the date of occupancy
then return to the author

Date Inspected

15.3.07 Attached: Amendment to durability

7.05.07 Attached Application CCC,

NO. 31912

CODE COMPLIANCE CERTIFICATE

Certifier	Signature	Date	Certifier	Signature	Date
BUILDING	<i>KM</i>	10-05-07	POWER		
PLUMBING			GAS		
DRAINAGE			SERVICES		
E.H.O.			RESOURCE MGMT		
LIFTS			AIR COND.		
OTHER					

WORK IS NOW DEEMED TO BE COMPLETED. A CODE COMPLIANCE CERTIFICATE WILL BE ISSUED AS REQUIRED BY THE BUILDING ACT. CODE COMPLIANCE CERTIFICATE NO. 31972

dk-142
Signature

A.B.FO
Designation

10-05-07
Date

WHEN THIS PROJECT IS COMPLETED THIS INSPECTION SHEET WILL BE ATTACHED TO THE RELEVANT PROPERTY FILE HELD AT THE COUNCIL OFFICE.

SPECIAL CONDITIONS:

2 - inspection

Deposit \$ _____

Processing \$ _____

Administration \$ _____

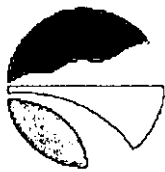
Sign Off \$ _____

Inspections \$ _____

\$ _____

\$ _____

Invoice/Refund \$ _____



THE BUILDING (built or altered)			
Street address of building:	2-6 Wharf Street, Warkworth 1241		
Legal description of land where building is located:	Lot 5 DP 27277 (0.0243HA)		
Property Number:	1226211		
Building Name:			
Location of building within site/block number:			
Level/unit number:			
Current, lawfully established, use:			
Building Classification:	Building (Not Dwelling)		
Year first constructed:			
THE OWNER			
Name of owner:	Dean Gordon Munro and Kim Margaret Munro		
Mailing address:	P O Box 142 Matakana Warkworth 1241		
Street address/registered office:	2-6 Wharf Street, Warkworth 1241		
Phone Numbers:	Landline:		Mobile:
	Daytime:		After hours:
Facsimile number:			
Email address:		Website:	
BUILDING WORK			
Building Consent Number: ABA-31972			
Description of Building works: ADDITIONS & ALTERATIONS TO RESTAURANT - Modification to Durability from 20th December 2004			
* The attached waiver/modifications to the NZ Building Code			
Issued by: Rodney District Council		Date consent Issued:	07-Jan-2004
CODE COMPLIANCE			
The Rodney District Council is satisfied, on reasonable grounds, that -			
The building work complies with the consent.			
*ATTACHMENT			
Compliance Schedule WOF3529			

Signature Cathy Berglund

Building Consents Administration Officer
Position

On behalf of : RODNEY DISTRICT COUNCIL

Date: 11 May 2007