

Land Information Memorandum



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Property address:
308 Blenheim Road

LIM number: H09518507

Page 1

Christchurch City Council
13 Hereford Street, PO Box 73015
Christchurch 8154, New Zealand
Tel 64 3 941 8999
Fax 64 3 941 8984

www.ccc.govt.nz

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Application details

Date issued 9 March 2026
Date received 25 February 2026

Property details

Property address 308 Blenheim Road, Upper Riccarton, Christchurch
Valuation roll number 22060 03800
Valuation information Capital Value: \$2,890,000
Land Value: \$2,660,000
Improvements Value: \$230,000
Please note: these values are intended for Rating purposes
Legal description Pt Sec 12 SO 1432
Existing owner Kainga Ora - Homes and Communities
PO Box 74598
Auckland 1546

Council references

Rate account ID 73143357
LIM number H09518507
Property ID 1111910

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Document information

This Land Information Memorandum (LIM) has been prepared for the purpose of section 44A of the Local Government Official Information and Meetings Act 1987 (LGOIMA). It is a summary of the information that we hold on the property. Each heading or "clause" in this LIM corresponds to a part of section 44A.

Sections 1 to 10 contain all of the information known to the Christchurch City Council that must be included under section 44A(2) LGOIMA. Any other information concerning the land as the Council considers, at its discretion, to be relevant is included at section 11 of this LIM (section 44A(3) LGOIMA). If there are no comments or information provided in these sections this means that the Council does not hold information on the property that corresponds to that part of section 44A.

The information included in this LIM is based on a search of Council records only and there may be other information relating to the land which is unknown to the Council. Please note that other agencies may also hold information relevant to the property, or administer legislation relevant to the use of the land, for example, the Regional Council (Ecan), Heritage New Zealand Pouhere Taonga, and Land Information New Zealand.

Council records may not show illegal or unauthorised building or works on the property. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose.

A LIM is only valid at the date of issue as information is based only upon information the Council held at the time of that LIM request being made. It is essential that the applicant undertakes their own due diligence to verify the suitability of the property for their intended use.

To enable the Council to measure the accuracy of this LIM document based on our current records, we would appreciate your response should you find any information contained therein which may be considered to be incorrect or omitted. Please telephone the Customer Call Centre on (03) 941 8999.

Property address:

308 Blenheim Road

LIM number: H09518507

Page 3

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A search of records held by the Council has revealed the following information:

1. Special features and characteristics of the land

Section 44(A)(2)(aa) LGOIMA. This is information known to the Council but is not apparent from a district plan under the Resource Management Act 1991. It identifies each (if any) special feature or characteristic of the land concerned, including but not limited to the likely presence of hazardous contaminants.

☎ For enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Natural Hazards

Section 44A(2)(a) LGOIMA. This is information known to the Council about natural hazards that is required by section 44B LGOIMA.

Council's information has primarily been obtained from external specialists with the technical expertise to carry out research, investigation or analysis. Under the Local Government (Natural Hazard Information in Land Information Memoranda) Regulations 2025, the Council isn't required to:

- prepare a risk assessment of the land concerned.
- undertake any further analysis relating to the land.
- conduct additional searches or inquiries about the existence of natural hazard information.

It is the LIM recipient's responsibility to seek qualified advice about any identified natural hazard and/or the suitability of the land for its intended purpose.

This section may also include natural hazard information provided by Environment Canterbury. Christchurch City Council is required to include such information in LIMs where Environment Canterbury considers it meets the criteria under section 44C of LGOIMA.

The following statement has been provided by Environment Canterbury:

This Land Information Memorandum includes natural hazard information deemed by Environment Canterbury to be the most up to date, useful, and relevant, and is provided in accordance with the Local Government (Natural Hazard Information in Land Information Memoranda) Regulations 2025. All due care has been taken to ensure current information required to be provided under the regulations is presented below.

Environment Canterbury may hold superseded or less reliable natural hazards information relating to the land that has not been included in this Land Information Memorandum. Please contact Environment Canterbury if you would like to enquire about this information.

(a) Coastal Hazards

- Regional Hazard Information: Shoreline Modelling

Future shoreline modelling has not been completed for this area, however given the distance of the property from the coast, it will not be susceptible to coastal erosion for at least the next 100 years.

(b) Earthquakes

- Liquefaction Assessment

Christchurch City Council holds indicative information about liquefaction hazards for Christchurch. Information, including an interactive web tool, can be found on the Council's website at ccc.govt.nz/liquefaction

Depending on the potential liquefaction hazard of an area that a property is in, the Council may require site-specific investigations before granting future subdivision or building consent for a property.

Title of report: Christchurch liquefaction vulnerability study

Purpose of report: To provide a district-wide liquefaction vulnerability assessment and to provide expected land performance for a range of potential future earthquake and groundwater scenarios. For use in land use planning, subdivision and building consenting

Scope of report: Christchurch urban area from the Waimakariri River mouth to Godley Head, and inland to the Selwyn District boundary

Where or how to access the report: <https://ccc.govt.nz/assets/Documents/Environment/Land/CCC-Liquefaction-ReportBody.pdf>

Date of report: July 2020

Name of person/entity that commissioned report: Christchurch City Council

Name of person/entity that prepared the report: Tonkin & Taylor Ltd

Title of Report: Geotechnical information on horizontal land movement due to the Canterbury earthquake sequence

Purpose of report: Background geotechnical information about shallow ground movements as a result of the earthquake sequence

Scope of Report: Christchurch City flat area, excluding Port Hills and Banks Peninsula

Where or how to access the report: <https://www.linz.govt.nz/resources/research/geotechnical-information-horizontal-land-movement-due-canterbury-earthquake-sequence>

Date of report: March 2015

Name of person/entity that commissioned report: Land Information New Zealand

The name of person/entity that prepared the report: Tonkin & Taylor Ltd

- Regional Liquefaction Information

Areas where there was evidence of liquefaction were mapped following the 2010/11 Canterbury earthquakes by Tonkin & Taylor for the Earthquake Commission (urban areas) and by a group of researchers for Environment Canterbury (rural, commercial and industrial areas). These are available in the Christchurch Liquefaction Viewer at <https://apps.canterburymaps.govt.nz/ChristchurchLiquefactionViewer/>.

Technical report information:

Title: Review of liquefaction hazard information in eastern Canterbury, including Christchurch City and parts of Selwyn, Waimakariri and Hurunui Districts.

Date: December 2012.

Author: H Brackley (compiler).

Commissioned by: Environment Canterbury.

Purpose of report: To collate liquefaction occurrence during the 2010/11 Canterbury earthquakes, and to determine liquefaction vulnerability. For use in land use planning, subdivision and building consenting.

Study area: Coastal Canterbury from the Waipara River mouth to the Rakaia River mouth, including Banks Peninsula, and inland to Rangiora, Aylesbury, Selwyn and Southbridge.

Accessible at: <https://www.ecan.govt.nz/document/download?uri=1702192>.

- Regional Hazard Information: Earthquake fault deformation

There are no known earthquake faults at the ground surface in Christchurch. However, it is possible there are some faults in Christchurch that are yet to be identified because they are not visible at the ground surface.

More information on fault deformation is available on Environment Canterbury's fault deformation map at <https://mapviewer.canterburymaps.govt.nz/?webmap=b5f859bd18ee4912828cb092bef6c449>.

(c) Flooding

- Flooding

Flood models are used to show the probability and potential location of flooding in Christchurch. These are computer-based models, and use the data on the Council stormwater network, rainfall, topography, hydrology, soil, land-use and historic flooding. They also incorporate outputs of other modelling such as urban growth, ground water, sea level rise and climate change. Detailed reports on the modelling including its assumptions and limitations can be found at <https://ccc.govt.nz/consents-and-licences/property-information-and-lims/land-information-memorandum-lim>.

- Predicted 1 in 50 Year Flood Extent

Flood modelling shows this property, or parts of this property, is within a 1-in-50-year flood extent, including impacts of climate change and sea level rise. You can view this on the flood extent map at <https://ccc.govt.nz/flood-and-floor-level-viewer>. If changes such as land development or major infrastructure have occurred on this property, or in the surrounding area since the flood modelling, this may change the flood extent. For more information, please refer to <https://ccc.govt.nz/flooding-and-floor-levels>.

- Predicted 1 in 200 Year Flood Extent

Flood modelling shows this property, or parts of this property, is within a 1-in-200-year flood extent, including impacts of climate change and sea level rise. You can view this on the flood extent map at <https://ccc.govt.nz/flood-and-floor-level-viewer>. If changes such as land development or major infrastructure have occurred on this property, or in the surrounding area since the flood modelling, this may change the flood extent. For more information, please refer to <https://ccc.govt.nz/flooding-and-floor-levels>.

- Regional Hazard Information: Flood Photographs

Photographs showing the property during or following past flood events may be available. Flood photographs are available on Environment Canterbury's flood imagery register at <https://apps.canterburymaps.govt.nz/FIR>.

- Regional Hazard Information: Site Specific Flood Assessment

A site specific flood hazard assessment may have been completed for the property by Environment Canterbury. The information contained in this assessment may now be outdated. Please contact Environment Canterbury if you would like to request a copy.

- Regional Hazard Information: Flood Assessment Request

You can request a new site-specific flood hazard assessment for the property from Environment Canterbury at: <https://www.ecan.govt.nz/do-it-online/property-information/flood-hazard-assessments>.

(d) Landslides

As at the date of this LIM, Council research found no information under this heading.

(e) Subsidence

- Consultant Report Available

Land Information New Zealand (LINZ) engaged Tonkin and Taylor to provide a Geotechnical Report on Ground Movements that occurred as a result of the Canterbury Earthquake Sequence. The report indicates this property may have been effected by a degree of earthquake induced subsidence. The report obtained by LINZ can be accessed on their website at <https://www.linz.govt.nz> and search Information for Canterbury Surveyors.

(f) Tsunamis

As at the date of this LIM, Council research found no information under this heading.

(g) Volcanic and Geothermal Hazards

As at the date of this LIM, Council research found no information under this heading.

(h) Wind

As at the date of this LIM, Council research found no information under this heading.

(i) Any Other Natural Hazards

As at the date of this LIM, Council research found no information under this heading.

(j) District Plan Natural Hazard Information

Please refer to *Section 8. Land use and conditions* of this report for District Plan related natural hazard information.

(k) Building Notices

Please refer to *Section 5. Consents, certificates, notices, orders, or requisitions affecting the land and buildings* of this report for Building Act notice information.

Other Special Features or Characteristics of the Land

- Borelog/Engineer Report Image Available
Borelog/Engineer Report Image Available
- Contains or contained a Tank
Council Records indicate that this site contains or contained a Tank Details of Tank are as follows: Date Installed: NA Tank Function: Diesel Volume(l): 3450 Underground or Above Ground: Underground Tank Status: Tank Does Not Exist Date Removed: 16-08-2018 Condition when Removed: No holes. No odour. No leaks TankID: 4902
- Fill
This property is located in an area known to have been filled. The year the fill occurred is 2012. The filling was, according to the Councils records carried out in an uncontrolled manner and comprises Unknown Material.
- Pool
PoolID Number: 1910. This property has a Private In-Ground Swimming Pool which has been Backfilled. This does not necessarily mean the below ground structure of the pool has been removed.

Related Information

- Fill comment/s is based on the area where the swimming pool was and has since been back filled. The Council has not been supplied a fill certificate that would confirm the fill used and bearing capacity of the fill at the time the work was carried out.
- The latest soil investigation report for this property is attached for your information
- Attached is a copy of the aerial view of the property showing the approximate location of the removed tank.

2. Private and public stormwater and sewerage drains

Section 44A(2)(b) LGOIMA. This is information about private and public stormwater and sewerage drains as shown in the Council's records.

 For stormwater and sewerage enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Related Information

- This property is shown to be served by Christchurch City Council Sewer and Stormwater.
- Attached are all drainage plans that Council hold for details of private and public drainage. Not all plans provided are verified by Council, and therefore Council cannot be liable for inaccuracies. Site investigation will be required by owners to determine exact layouts.
- Council Trade Waste Bylaw regulates the use of the sewer system for sources other than domestic sewage. A trade waste consent must be obtained by the new owner or occupier before any wastewater from an industrial or commercial processes including but not limited to wash down grease traps and cooling systems may be discharged to Council sewer system.

Property address:

308 Blenheim Road

LIM number: H09518507

Page 8

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53 Hereford Street, PO Box 73015
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3. Drinking Water Supply

Section 44A(2)(ba) and (bb) LGOIMA. This is information notified to the Council about whether the land is supplied with drinking water, whether the supplier is the owner of the land or a networked supplier, any conditions that are applicable, and any information the Council has about the supply.

Please note the council does not guarantee a particular water quality to its customers. If you require information on current water quality at this property please contact the Three Waters & Waste Unit.

☎ For water supply queries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Water supply

Christchurch City Council is the networked supplier of water to this property. This property is connected to the Christchurch City Council Water Supply. The conditions of supply are set out in the Christchurch City Council Water Supply and Wastewater Bylaw (2022), refer to www.ccc.govt.nz.

Related Information

- All Commercial and industrial properties are required to have a Reduced Pressure Zone backflow prevention device at the boundary to protect the Christchurch water supply network. The installation of this device is a condition of supply and is the responsibility of the property owner in accordance with the Christchurch City Council Water Supply and Wastewater Bylaw 2022. For more information visit our website <https://ccc.govt.nz/backflow-prevention/> or contact the backflow installation team on 03 941 8999.

Property address:

308 Blenheim Road

LIM number: H09518507

Page 9

Christchurch City Council

53 Hereford Street, PO Box 73015
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4. Rates

Section 44A(2)(c) LGOIMA. This is information on any rates owing in relation to the land.

☎ For rates enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

(a) Annual rates

Annual rates to 30/06/2026: \$25,199.99

	Instalment Amount	Date Due
Instalment 1	\$6,299.92	31/08/2025
Instalment 2	\$6,299.92	30/11/2025
Instalment 3	\$6,299.92	28/02/2026
Instalment 4	\$6,300.23	31/05/2026

Rates owing as at 09/03/2026: \$0.00

(b) Excess Water Rates

For excess water charge enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz/contact-us.

(c) Final water meter reading required at settlement?

Property settlements must ensure all water usage and outstanding debts are accurately accounted for.

To advise of a property settlement, please complete the request for settlement information form at www.ccc.govt.nz/services/rates-and-valuations/solicitors-request.

A settlement statement of accounts will be provided on the expected settlement date advised.

Property address:

308 Blenheim Road

LIM number: H09518507

Page 10

Christchurch City Council

53 Hereford Street, PO Box 73015
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www.ccc.govt.nz

5. Consents, certificates, notices, orders, or requisitions affecting the land and buildings

Section 44A(2)(d) LGOIMA. This is information concerning any consent, certificate, notice, order, or requisition, affecting the land or any building on the land, previously issued by the Council. The information in this section may also cover building consent and/or code compliance information issued by building certifiers under the Building Act 1991 and building consent authorities that are not the Council under the Building Act 2004.

You can check the property file to identify whether any consent or certificate was issued by a building certifier under the Building Act 1991.

Section 44A(2)(da) LGOIMA. The information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004. There is currently no information required to be provided by a building contractor to a territorial authority under section 362T(2) of the Building Act 2004. The Building (Residential Consumer Rights and Remedies) Regulations 2014 only prescribed the information that must be given to the clients of a building contractor.

Sections 71 to 74 of the Building Act 2004 require the Building Consent Authority to consider natural hazards when it receives a building consent application for the construction or major alteration of a building on land that is subject to, or likely to be subject to, a natural hazard. A building consent for this property may have been issued subject to a section 72 or 73 notice. This means at the time of building consent the Building Consent Authority was not satisfied that adequate provision would be made to protect the building and land from the natural hazard and was subsequently required to notify the Registrar-General of Land to record the natural hazard on the Record of Title. The Building Act 2004 defines natural hazards as erosion (including coastal erosion, bank erosion, and sheet erosion), falling debris (including soil, rock, snow, and ice), subsidence, inundation (including flooding, overland flow, storm surge, tidal effects, and ponding), and slippage.

If your property contains a notice under s73 of the Building Act 2004, this will be identified on the building consent decision below (decision under s72 of the Building Act 2004) and on the properties' Record of Title. The Record of Title may also record this as a s36 notice under the Building Act 1991, or a s641A notice under the Local Government Act 1974.

 For building enquiries, please phone (03) 941 8999, email EPADutyBCO@ccc.govt.nz or visit www.ccc.govt.nz.

(a) Consents

- BCN/1967/2696 Applied: 23/05/1967 Status: Completed
308 Blenheim Road Upper Riccarton
Permit granted 06/06/1967
Permit issued 06/06/1967
SIX MOTELS- Historical Reference PER67101304
- BCN/1970/5816 Applied: 16/11/1970 Status: Completed
308 Blenheim Road Upper Riccarton
Permit granted 24/11/1970
Permit issued 24/11/1970
DWELLING WITH OFFICE- Historical Reference PER70111217
- BCN/1971/6175 Applied: 17/11/1971 Status: Completed
308 Blenheim Road Upper Riccarton
Permit granted 10/12/1971
Permit issued 10/12/1971
SWIMMING POOL- Historical Reference PER71101248 - No plans/additional information held on property file.
- BCN/1975/3724 Applied: 10/07/1975 Status: Completed
308 Blenheim Road Upper Riccarton
Permit granted 22/07/1975
Permit issued 22/07/1975
CARPORT- Historical Reference PER75101656 - No plans/additional information held on property file.

Property address:

308 Blenheim Road

LIM number: H09518507

Christchurch City Council

53 Hereford Street, PO Box 73015
Christchurch 8154, New Zealand
Tel 64 3 941 8999
Fax 64 3 941 8984

- BCN/1976/795 Applied: 19/02/1976 Status: Completed
308 Blenheim Road Upper Riccarton
Permit granted 27/02/1976
Permit issued 27/02/1976
SIGN- Historical Reference PER75101975 - No plans/additional information held on property file.
- BCN/1976/4090 Applied: 04/08/1976 Status: Completed
308 Blenheim Road Upper Riccarton
Permit granted 20/12/1976
Permit issued 20/12/1976
SHED- Historical Reference PER76101761 - No plans/additional information held on property file.
- BCN/1976/5797 Applied: 27/10/1976 Status: Completed
308 Blenheim Road Upper Riccarton
Permit issued 27/10/76
SHOWERS & TOILETS- Historical Reference PER76101255 - No plans/additional information held on property file.
- BCN/1980/3147 Applied: 12/06/1980 Status: Completed
308 Blenheim Road Upper Riccarton
Permit granted 02/07/1980
Permit issued 02/07/1980
INTERIOR ALTERATIONS- Historical Reference PER80111536
- BCN/1982/118 Applied: 12/01/1982 Status: Completed
308 Blenheim Road Upper Riccarton
Permit granted 08/04/1982
Permit issued 08/04/1982
INTERIOR ALTERATIONS- Historical Reference PER81102240 - No plans/additional information held on property file.
- BCN/1988/7010 Applied: 08/10/1988 Status: Completed
308 Blenheim Road Upper Riccarton
Permit granted 03/08/1989
Permit issued 03/08/1989
SWIMMING POOL FENCE- Historical Reference PER39000431 - No plans/additional information held on property file.
- BCN/1997/8656 Applied: 26/11/1997 Status: Completed
308 Blenheim Road Upper Riccarton
Accepted for processing 26/11/1997
Building consent granted 06/01/1998
Building consent issued 07/01/1998
Code Compliance Certificate Granted 29/01/1998
Code Compliance Certificate Issued 29/01/1998
CONNECT CAR WASH/ INSTALL SEDIMENT TANK- Historical Reference CON97009703
- BCN/1998/8269 Applied: 16/11/1998 Status: Completed
308 Blenheim Road Upper Riccarton
Accepted for processing 16/11/1998
Building consent granted 22/12/1998
Building consent issued 15/01/1999
Code Compliance Certificate Granted 06/04/1999
Code Compliance Certificate Issued 06/04/1999
2 TOURIST FLATS- Historical Reference CON98008280

Property address:

308 Blenheim Road

LIM number: H09518507

Christchurch City Council

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- BCN/1999/6526 Applied: 11/08/1999 Status: Completed
308 Blenheim Road Upper Riccarton
Accepted for processing 11/08/1999
PIM Granted 16/08/1999
PIM Issued 16/08/1999
Building consent granted 29/02/2000
Building consent issued 06/03/2000
Code Compliance Certificate Granted 30/01/2001
Code Compliance Certificate Issued 30/01/2001
REMOVE OLD SIGN - ERECT NEW SIGN- Historical Reference CON99007341
- BCN/2001/4490 Applied: 28/06/2001 Status: Completed
308 Blenheim Road Upper Riccarton
Accepted for processing 28/06/2001
Building consent granted 10/07/2001
PIM Granted 10/07/2001
Building consent issued 19/09/2001
PIM Issued 19/09/2001
Code Compliance Certificate Granted 31/01/2002
Code Compliance Certificate Issued 31/01/2002
BBQ SHED- Historical Reference ABA10014803
- BCN/2006/4324 Applied: 07/06/2006 Status: Completed
308 Blenheim Road Upper Riccarton
Accepted for processing 07/06/2006
PIM Granted 26/06/2006
PIM Issued 04/07/2006
MOTEL MANAGERS DWELLING ADDITIONS & ALTERATIONS INCLS REROOFING- Historical Reference ABA10066717
- BCN/2006/6541 Applied: 17/08/2006 Status: Completed
308 Blenheim Road Upper Riccarton
Accepted for processing 17/08/2006
PIM Granted 21/09/2006
PIM Issued 21/09/2006
Building consent granted 11/10/2006
Building consent issued 13/10/2006
Code Compliance Certificate Granted 21/01/2008
Code Compliance Certificate Issued 21/01/2008
REFURBISHMENT AND NEW BEDROOM TO MANAGERS FLAT, NEW FIRST FLOOR MANAGERS FLAT, GARAGE AND STAFF FACILITIES PURPOSE GROUP SA/SRWL & MAX. OCCUPANT LOAD 10-
Historical Reference ABA10068946
- BCN/2006/7465 Applied: 18/09/2006 Status: Completed
308 Blenheim Road Upper Riccarton
Accepted for processing 18/09/2006
Building consent granted 25/09/2006
Building consent issued 02/10/2006
Code Compliance Certificate Granted 15/08/2008
Code Compliance Certificate Issued 15/08/2008
BACKFLOW PREVENTOR DEVICE- Historical Reference ABA10069838

Property address:

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LIM number: H09518507

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(b) Certificates

Note: Code Compliance Certificates were only issued by the Christchurch City Council since January 1993.

(c) Notices

(d) Orders

(e) Requisitions

Related Information

- The approval of a sign permit under the Christchurch City Council Public Places and Signs Bylaw is also considered to be an exemption from requiring building consent under Schedule 3(m) of the Building Act 1991.
- In the property file there is an electrical and/or gas fitters certificate relating to works that have been carried out on the current building at this address.

Property address:

308 Blenheim Road

LIM number: H09518507

Page 14

Christchurch City Council

53 Hereford Street, PO Box 73015
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Tel 64 3 941 8999
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6. Certificates issued by a building certifier

Section 44A(2)(e) LGOIMA. This is information notified to the Council concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004.

☎ For building enquiries, please phone (03) 941 8999, email EPADutyBCO@ccc.govt.nz or visit www.ccc.govt.nz.

Property address:

308 Blenheim Road

LIM number: H09518507

Page 15

Christchurch City Council

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www.ccc.govt.nz

7. Weathertightness

Section 44A(2)(ea) LGOIMA. This is information notified to the Council under section 124 of the Weathertight Homes Resolution Services Act 2006.

 For weathertight homes enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

If there is no information below this means Council is unaware of any formal Weathertight Homes Resolution Services claim lodged against this property.

Property address:

308 Blenheim Road

LIM number: H09518507

Page 16

Christchurch City Council

53 Hereford Street, PO Box 73015
Christchurch 8154, New Zealand
Tel 64 3 941 8999
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www.ccc.govt.nz

8. Land use and conditions

Section 44A(2)(f) LGOIMA. This is information relating to the use to which the land may be put and conditions attached to that use. The planning information provided below is not exhaustive and reference to the Christchurch District Plan and any notified proposed changes to that plan is recommended: <https://ccc.govt.nz/the-council/plans-strategies-policies-and-bylaws/plans/christchurch-district-plan/>.

There may be some provisions of the Christchurch City Plan or Banks Peninsula District Plan that affect this property that are still operative.

☎ For planning queries, please phone (03) 941 8999, email DutyPlanner@ccc.govt.nz or visit www.ccc.govt.nz.

- **Regional plan or bylaw**

There may be objectives, policies or rules in a regional plan or a regional bylaw that regulate land use and activities on this site. Please direct enquiries to Canterbury Regional Council (Environment Canterbury).

(a)(i) Christchurch City Plan & Banks Peninsula District Plan

(ii) Christchurch District Plan

- **Liquefaction Management Area (LMA)**

Property or part of property within the Liquefaction Management Area (LMA) Overlay, which is operative.

- **District Plan Zone**

Property or part of property within the Medium density residential zone, which is operative.

(b) Resource consents

If there are any land use resource consents issued for this property the Council recommends that you check those resource consents on the property file. There may be conditions attached to those resource consents for the property that are still required to be complied with.

- RMA/1985/50 - Resource consents
308 Blenheim Road Upper Riccarton
Extend existing caravan park 40m to the north - Historical Reference RES9200800
Status: Processing complete
Applied 16/05/1985
Granted 05/09/1985
Decision issued 05/09/1985
- RMA/1999/3994 - Land Use Consent
308 Blenheim Road Upper Riccarton
Application to erect a replacement free-standing advertising sign for the Amber Park 'motor camp'. - Historical Reference RMA1022
Status: Processing complete
Applied 11/08/1999
Granted 13/12/1999
Decision issued 14/12/1999
- RMA/2005/1352 - Land Use Consent

Property address:

308 Blenheim Road

LIM number: H09518507

Christchurch City Council

53 Hereford Street, PO Box 73015
Christchurch 8154, New Zealand
Tel 64 3 941 8999
Fax 64 3 941 8984

308 Blenheim Road Upper Riccarton

Application to extend the existing Amber Park Holiday Park onto the two adjoining sites with accommodation units, amenity facilities, car parking & camp sites - Historical Reference RMA20020209

Status: Processing complete

Applied 15/06/2005

Granted 01/07/2005

Decision issued 04/07/2005

- RMA/2005/1650 - s127 Change / cancellation of condition(s)

308 Blenheim Road Upper Riccarton

Section 127 Change and Cancellation of conditions 4 and 5 of previously approved resource consent RMA 20020209 - Historical Reference RMA20020520

Status: Processing complete

Applied 12/07/2005

Granted 19/07/2005

Decision issued 20/07/2005

- RMA/2006/1919 - Land Use Consent

308 Blenheim Road Upper Riccarton

Application to construct alterations and additions to an existing dwelling located on the site for staff facilities/laundry toilet & managers accommodation - Historical Reference RMA92005993

Status: Processing complete

Applied 16/08/2006

Granted 01/09/2006

Decision issued 01/09/2006

Property address:

308 Blenheim Road

LIM number: H09518507

Page 18

Christchurch City Council

53 Hereford Street, PO Box 73015
Christchurch 8154, New Zealand
Tel 64 3 941 8999
Fax 64 3 941 8984

www.ccc.govt.nz

9. Other land and building classifications

Section 44A(2)(g) LGOIMA. This is information notified to the Council by any statutory organisation having the power to classify land or buildings for any purpose.

 For land and building enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Please refer to Section 1 for details

10. Network utility information

Section 44A(2)(h) LGOIMA. This is information notified to the Council by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004.

 For network enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

- **None recorded for this property**

11. Other information

Section 44A(3) LGOIMA. This is information concerning the land that the Council has the discretion to include if it considers it to be relevant.

☎ For any enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

(a) Kerbside waste collection

- Your organics are collected Weekly on Thursday. Please leave your organics at the Kerbside by 6:00 a.m.
- Your recycling is collected Fortnightly on the Week 1 collection cycle on a Thursday. Please leave your recycling at the Kerbside by 6:00 a.m. Your nearest recycling depot is the Parkhouse Road EcoDrop.
- Your refuse is collected Fortnightly on the Week 1 collection cycle on a Thursday. Please leave your rubbish at the Kerbside by 6:00 a.m. Your nearest rubbish depot is the Parkhouse Road EcoDrop.

(b) Other

• Floor Levels Information

Council holds a variety of information on requirements for building or property development. This includes:

- required minimum finished floor levels, which need to be set to meet the surface water requirements in clause E1.3.2 of the Building Code (where this applies); and
- the requirements of the Christchurch District Plan (where a property is in the Flood Management Area).

Where this information has been processed for your property, you can view it online at <https://ccc.govt.nz/flooding-and-floor-levels>.

Otherwise, if you are building or developing on this land, you can request a calculation on required finished floor levels for your proposed building by emailing us at floorlevels@ccc.govt.nz.

• Guest Accommodation

Guest accommodation (including whole unit listings on Airbnb; BookaBach; etc.) generally requires a resource consent in this zone when the owner is not residing on the site. For more information, please refer to: <https://ccc.govt.nz/providing-guest-accommodation/>.

• Community Board

Property located in Halswell-Hornby-Riccarton Community Board.

• Tsunami Evacuation Zone

This property is not in a tsunami evacuation zone. It is not necessary to evacuate in a long or strong earthquake or during an official Civil Defence tsunami warning. Residents may wish to offer to open their home to family or friends who need to evacuate from a tsunami zone, and should plan with potential guests to do so in advance. More information can be found at <https://ccc.govt.nz/services/civil-defence/hazards/tsunami-evacuation-zones-and-routes/>

• Electoral Ward

Property located in Riccarton Electoral Ward

• Listed Land Use Register

Hazardous activities and industries involve the use, storage or disposal of hazardous substances. These substances can sometimes contaminate the soil. Environment Canterbury identifies land that is used or has been used for hazardous activities and industries. This information is held on a publically available database called the Listed Land Use Register (LLUR). The Christchurch City Council may not hold information that is held on the LLUR. Therefore, it is recommended that you check Environment Canterbury's online database at www.llur.ecan.govt.nz

Property address:

308 Blenheim Road

LIM number: H09518507

Page 21

Christchurch City Council

53 Hereford Street, PO Box 73015
Christchurch 8154, New Zealand
Tel 64 3 941 8999
Fax 64 3 941 8984

www.ccc.govt.nz

- **Spatial Query Report**

A copy of the spatial query report is attached at the end of this LIM. The spatial query report lists land use resource consents that have been granted within 100 metres of this property.

- **Pool Compliance**

Pool ID Number: 1910 Inspection Status: Excluded Last Inspection: Removed or backfilled Inspected By: Mary McIlraith Latest Inspection Date: 10/05/2012

Related Information

- Dangerous Goods Licences have been replaced with Location Test Certificates/ Location Compliance Certificates administered by Worksafe. You can contact a local Test Certifier to advise you or to issue the type of test certificate you need.
- Advisory Note - This is a general note to advise that this building falls within those identified under sections 133AA and 133AG(3) of the Building Act 2004, which applies to potentially earthquake-prone buildings. The Council has no record of a Detailed Engineering Evaluation (DEE) or Detailed Structural Assessment (DSA) being carried out for this building. Please refer to our <https://ccc.govt.nz/consents-and-licences/earthquake-prone-buildings> webpage for more information.

Property address:

308 Blenheim Road

LIM number: H09518507

Page 22

Christchurch City Council

53 Hereford Street, PO Box 73015
Christchurch 8154, New Zealand
Tel 64 3 941 8999
Fax 64 3 941 8984

www.ccc.govt.nz

Amber Park, Blenheim Road - Site Soils Investigation.

24/7/06

Introduction

A site soils investigation was undertaken on 24 July 2006 for the proposed house alterations for John and Sharron Lee.

The purpose of this investigation is to determine the bearing capacity of the site to support the proposed house alterations and extensions. An appropriate foundation system will also be designed as part of this investigation.

Site

Amber Park is located on flat land adjacent to Blenheim Road in Riccarton. The site has a very flat fall to the South. The existing building is located in the South West corner of the site.

The proposed extension consists of a new garage, new two storey manager's flat area and extension of the main house over an existing patio area.

The Riccarton suburb is situated on layers of silts clays and gravel layers. The area of this site has been identified as having a low risk of liquefaction on Environment Canterbury's Liquefaction hazard maps.

The existing block house is showing evidence of settlement particularly along its West wall. John Lee advised that an old creek may have existed along this area, and that old demolition and fill material were found while installing service trenches for an adjacent development.

Soils investigation

The site soils investigations undertaken included:

- ▶ Site walkover
- ▶ 4 Scala Penetrometer tests
- ▶ 1 bore holes conducted with 50mm diameter auger

Refer to the page 1-3 for test locations and 1-4 to 1-7 for test results

The bore hole (located at test 2) revealed show the soils generally consist of 0.1-0.3m topsoil overlying 0.8-0.9m of sandy Silt, 0.3m of silty Sand, 0.2-0.3m of blue clay overlying a gravel layer located at approximately 1.8-2.8m depth. It is considered a similar soil profile likely exists over the proposed project area. With the exception of the soil along the west wall where up to 1.0m of fill or stream deposits may exist.

The soil is saturated at depths greater than 1.3m below ground level.

The scala penetrometer results show at test 1, a 300kPa (4 blows / 100mm) ultimate bearing layer exists at 0.3m below ground level. From inspection of the other results this is considered an isolated area.

Tests 2 to 4 show layers of very low bearing capacity exist up to depths between 1 and 1.7m below ground level, with the bearing capacity improving up to a depth of 2-2.8m. Piles suitable to support the proposed structure could be founded at 2.5-3.0m depth.

Recommendations

The existing site soils are not adequate to support a 300kPa ultimate bearing capacity as required for a foundation designed as per NZS: 3604 1999.

It is recommended that the proposed slab be supported off driven timber or concrete piles. It is expected piles will need to be founded 2.5-3.0m below existing ground level.

Augured concrete piles were not considered appropriate due to the water table level and the existence of the sand providing a high risk that the holes would collapse during installation. An experienced operator may wish to use this method by managing this risk using appropriate auguring and concreting techniques.

Another option considered was a raft foundation, however insufficient bearing at standard footing depth and the potential for a higher water table mean that this option is not considered viable.

This recommendation is based on the limited number of drill holes and scala penetrometer tests outlined above. Reasonable estimations have been made about the soil capacity between these test locations however they can not be guaranteed.



Good Earth Matters
Consulting Limited

PO Box 1268
208 Broadway Avenue
Palmerston North
Phone: 64-6-353 7560
Fax: 64-6-353 7561
Email: gem@gemco.co.nz

PO Box 2150
72 Oxford Terrace
Christchurch
Phone: 64-3-365 6720
Fax: 64-3-365 6721
Email: gem@gemco.co.nz

PROJECT *Amber Park*
308 Blenheim Rd

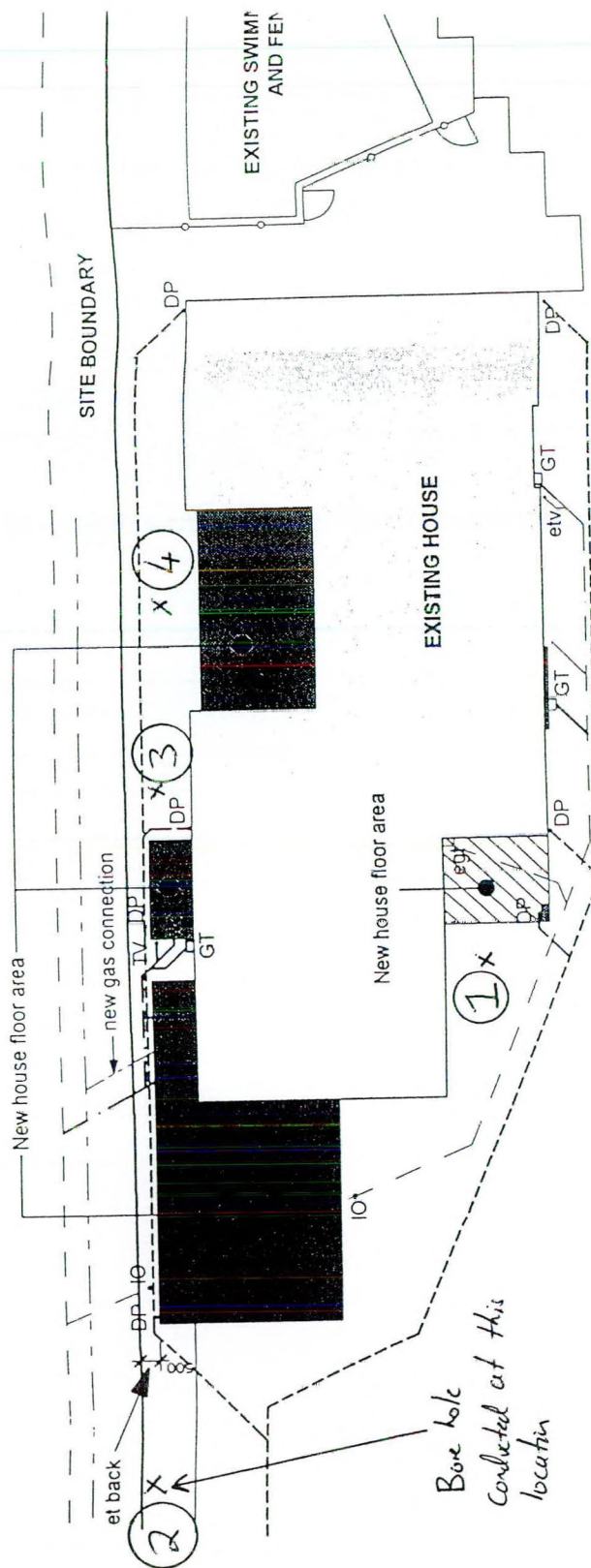
REFERENCE *8/102*

DESIGNED BY *SR*

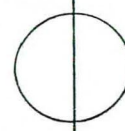
SKETCH N° *pg 4-3*

DATE *24-7-06*

LOT 9
DP 13611



Plan - Soil test locations





Project Title: Amber Park
Reference No.: 81102

Scala Penetrometer Test

Site: Amber Park, Blenheim Rd	1	Test date: 24/07/2006	Tested by: SR and BA
Depth from ground surface to commencement		0 m	
Material description			
Notes: John Lee present on site, discussed location of services			
Depth (m)	No. of blows	Soil Description	Number of blows per 100mm
0.1	0		
0.2	0		
0.3	3		
0.4	6		
0.5	8		
0.6	8		
0.7	13		
0.8	11		
0.9	7		
1	5		
1.1	6		
1.2	4		
1.3	3		
1.4	4		
1.5	6		
1.6	5		
1.7	4		
1.8	4		
1.9	5		
2	5		
2.1	4		
2.2	4		
2.3	11		
2.4	18	Unable to penetrate	
2.5			
2.6			
2.7			
2.8			
2.9			
3			
3.1			
3.2			
3.3			
3.4			
3.5			
3.6			
Test method used: NZS 4402:1988 Test 6.5.2			



Project Title: Amber Park
Reference No.: 81102

Scala Penetrometer Test

Site: Amber Park, Blenheim Rd		Test date: 24/07/2006
Test Location: 2		Tested by: SR and BA
Depth from ground surface to commencement: 0 m		
Material description: _____		
Notes: John Lee present on site, discussed location of services		

Depth (m)	No. of blows	Soil Description (50mm auger)
0.1		Topsoil
0.2	1	
0.3	2	
0.4	2	sandy SILT, yellowish Brown, soft & moist
0.5	2	
0.6	2	
0.7	2	
0.8	2	
0.9	2	
1	2	
1.1	4	
1.2	4	
1.3	5	silty SAND, brown, fine, & saturated
1.4	4	
1.5	5	
1.6	6	silty Clay, grey & saturated
1.7	5	
1.8	5	Gravels, Bore log stopped at 1.75m
1.9	7	
2	4	
2.1	10	
2.2	15	unable to penetrate
2.3		
2.4		
2.5		
2.6		
2.7		
2.8		
2.9		
3		
3.1		
3.2		
3.3		
3.4		
3.5		
3.6		

Number of blows per 100mm

Depth (m)

Test method used: NZS 4402:1988 Test 6.5.2



Project Title: Amber Park
Reference No.: 81102

Scala Penetrometer Test

Site:	Amber Park, Blenheim Rd	Test date:	24/07/2006
Test Location:	3	Tested by:	SR and BA
Depth from ground surface to commencement		0 m	
Material description			
Notes: John Lee present on site, discussed location of services			

Depth (m)	No. of blows	Soil Description	
0.1	0		
0.2	1		
0.3	2		
0.4	2		
0.5	3		
0.6	0		
0.7	1		
0.8	0		
0.9	1		
1	1		
1.1	1		
1.2	1		
1.3	1		
1.4	0		
1.5	2		
1.6	2		
1.7	1		
1.8	3		
1.9	3		
2	5		
2.1	9		
2.2	17	unable to penetrate	
2.3			
2.4			
2.5			
2.6			
2.7			
2.8			
2.9			
3			
3.1			
3.2			
3.3			
3.4			
3.5			
3.6			

Number of blows per 100mm

Depth (m)

Test method used: NZS 4402:1988 Test 6.5.2



Project Title: Amber Park
Reference No.: 81102

Scala Penetrometer Test

Site:	Amber Park, Blenheim Rd	Test date:	24/07/2006
Test Location:	4	Tested by:	SR and BA
Depth from ground surface to commencement		0 m	
Material description			
Notes: John Lee present on site, discussed location of services			

Depth (m)	No. of blows	Soil Description	
0.1	0		Number of blows per 100mm



DRAINAGE PICKUP

CONNECTION NUMBER

Address: 308 BLenheim RD

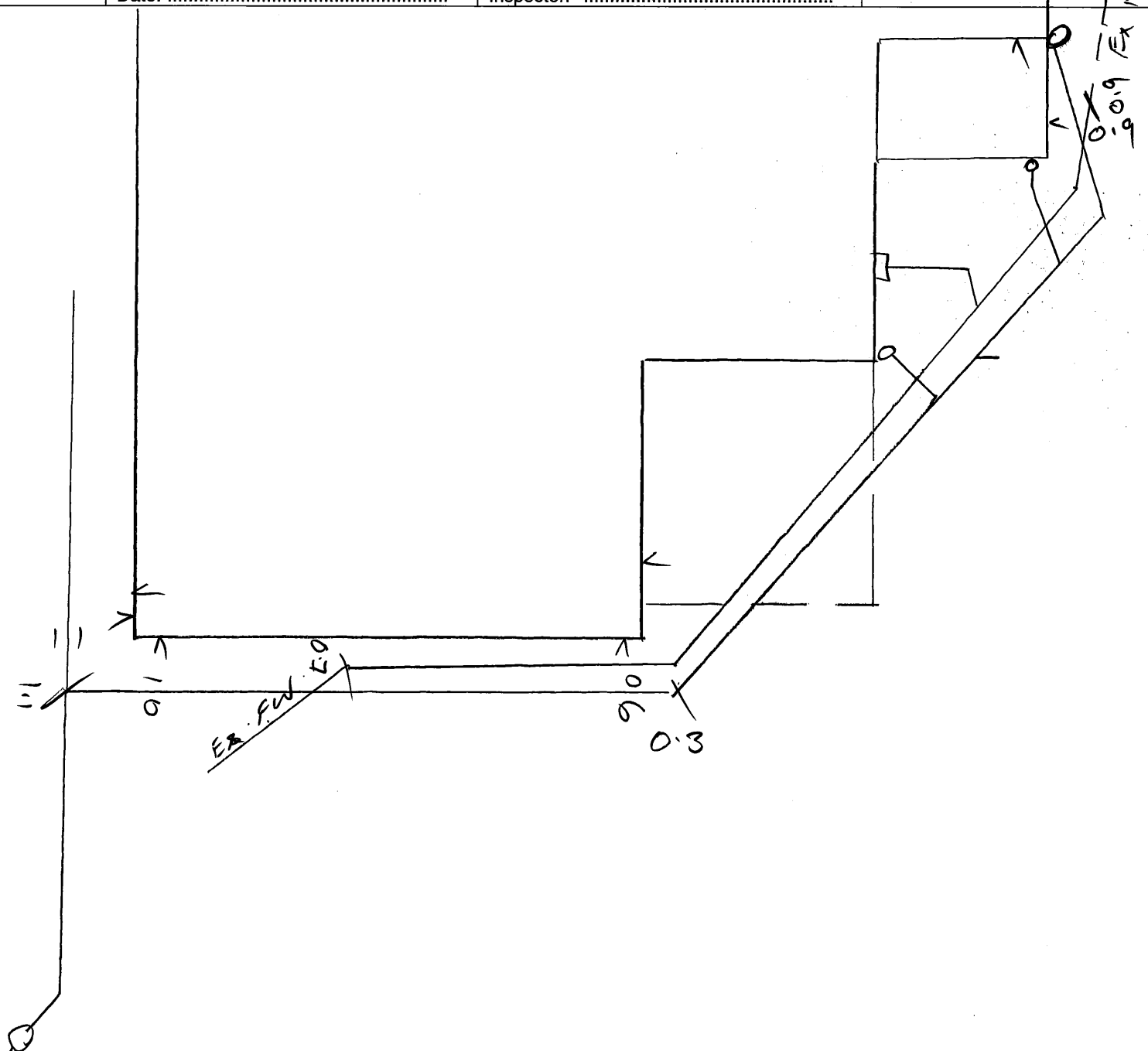
Owner:

Project No: 10068946

Drainlayer: ROB / DIKERS

Date: 22-3-7

Inspector: HSH



CHRISTCHURCH CITY COUNCIL - DRAINAGE PICK UP

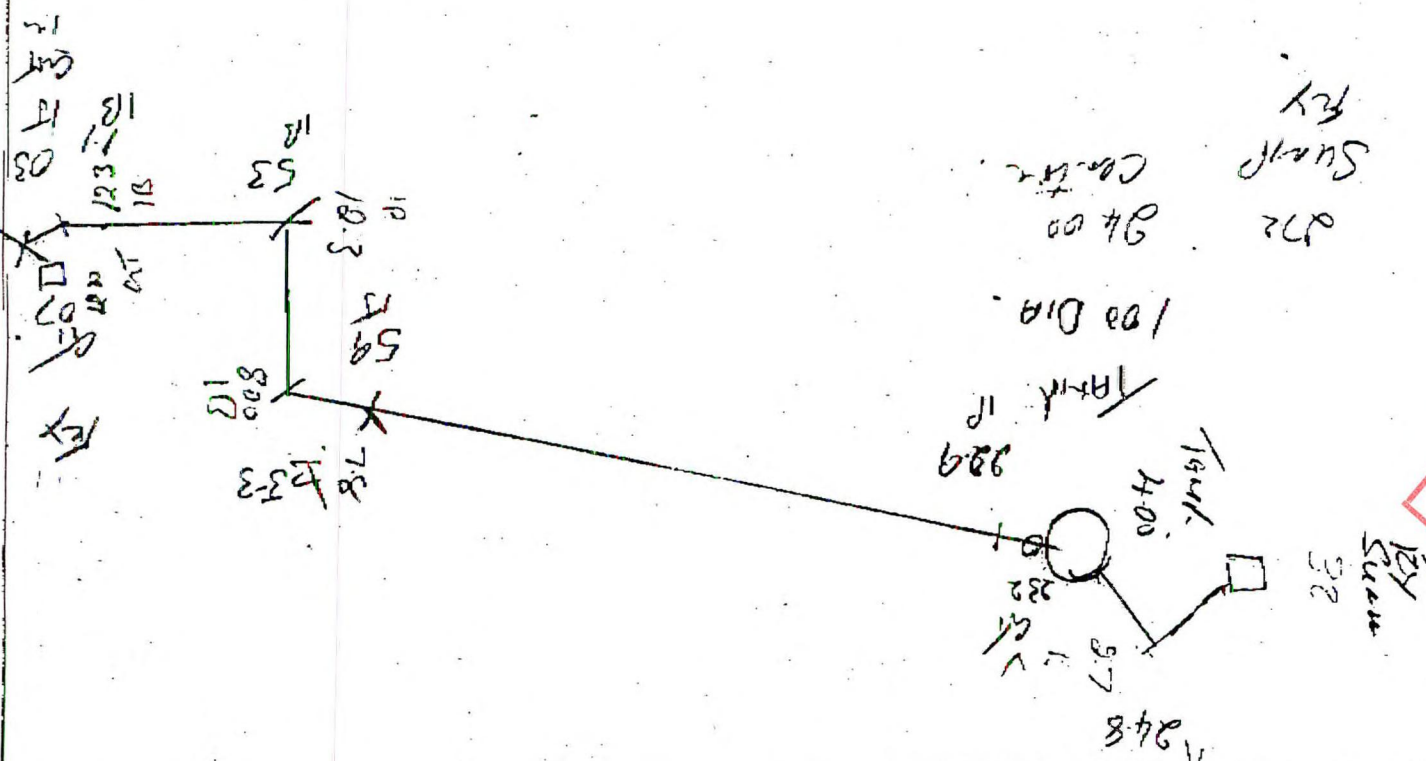


ADDRESS: 308 BRUNNEN RD	OWNER: LER	RECEIVED: 25 MAR 1998	CONNECTION NUMBER
LEGAL DESCRIPTION:	DRAINLAYER: P HASCOTT	BLOCK PLAN: RWA 80 106.78	
PROJECT No: 97009703	PLUMBER: P HASCOTT	PLOTTED: 1/1	
DATE: 8.1.98	FIELD OFFICER: D HALL	EYE BOOK:	

base 21-20A

Attn: Dave Barlow

Stop/Tank
From CAA WASH
S/100L
TO R/W



CHRISTCHURCH CITY COUNCIL
 Dave Barlow
 22 DEC 1998
 All building work shall comply with the
 New Zealand Building Code notwith-
 standing any inconsistencies which may
 occur in the drawings and specifications.

FILE COPY

308 Brunnen Rd

AMENDED

119 Wrights Road, Addington
PO Box 33 023, Barrington,
Christchurch
Telephone (03) 339 0235
Mobile 027 204 1500
Facsimile (03) 339 0245
Email alan@pxa.co.nz

- SITE PLAN

OF 17 SHEETS



PT Sec 12
SO 1432
308 Blenheim Road
Riccarton

Existing House footprint:	160 m.sq.
New House footprint:	68 m.sq.
New First Floor:	41.50 m.sq.
Existing Accommodation:	497 m.sq.
Existing Acc. Buildings:	32 m.sq.
Total Site Coverage:	763 m.sq.
Site Area:	6323 m.sq.
Coverage %:	12.06%

Origin of Levels
Sewer manhole
Arther/Middleton Road
Inv = 28.21
NEcnn = 28.04

All work shall comply with NZS 3604:1999 and NZBC.2001 and amendments.

DRAINAGE / PLUMBING

The system is indicative only, the installation shall comply with the requirements of NZBC:2001 Section G13.

Existing services on this plan are indicative only. All services are to be located on site before work begins.

— Existing F.W. drainage
 - - - New 100mm uPVC F.W. drainage. Min 1 in 120 gradient
 - - - New 100mm dia. UPVC stormwater drain. Min 1 in 120 gradient.

TV New 80mm PVC Terminal Vent pipe
GT New Gully Trap
dp Location of new 80mm dia. zincalume downpipe.
IO New Inspection opening
egt Existing Gully Trap

HOUSE ALTERATIONS FOR:

308 BLENHEIM ROAD, CHRISTCHURCH

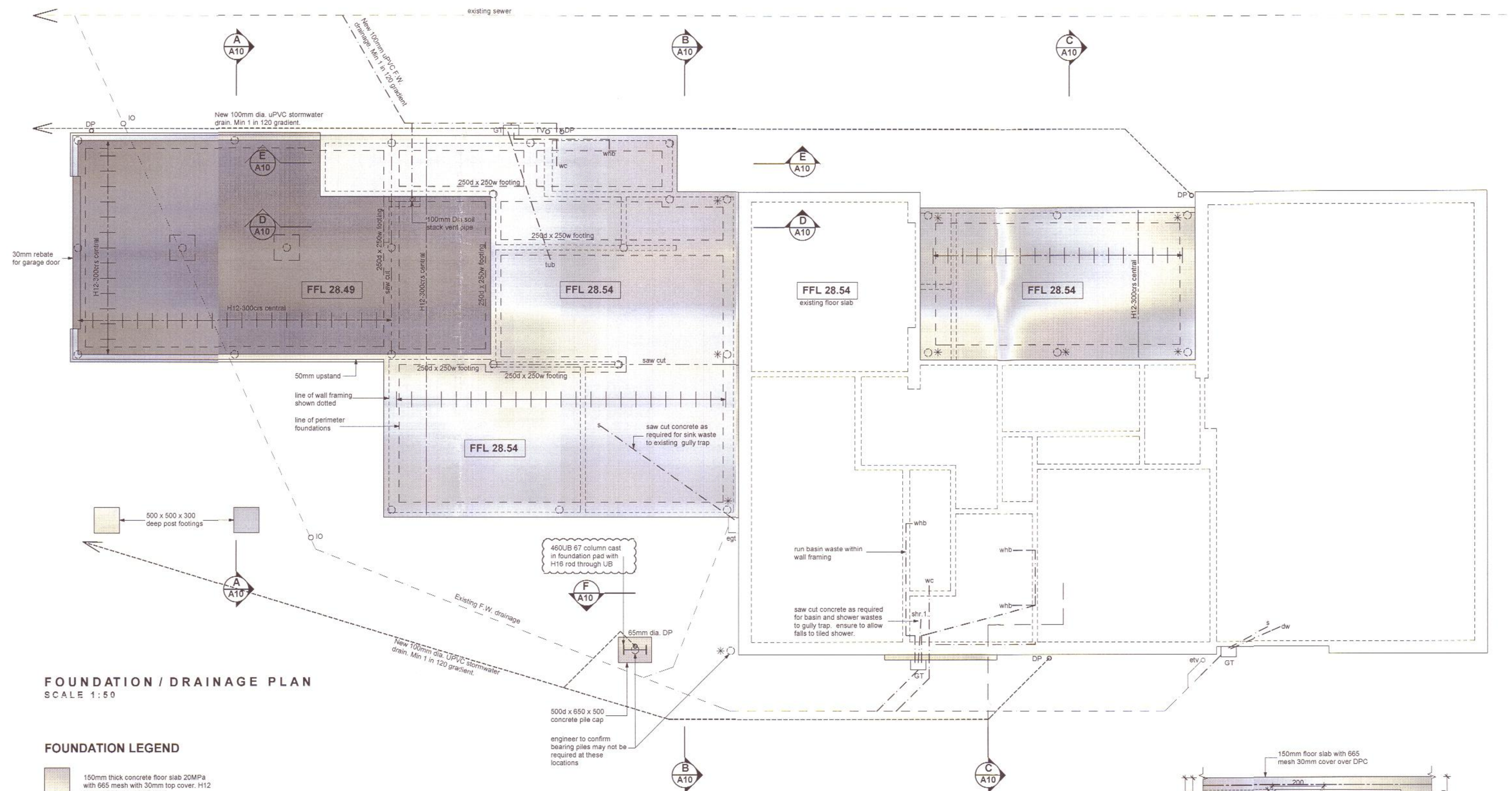
15 MAR 2007

All building work shall comply with the consented documents.

AMENDED PLAN

PHOENIX
ARCHITECTS



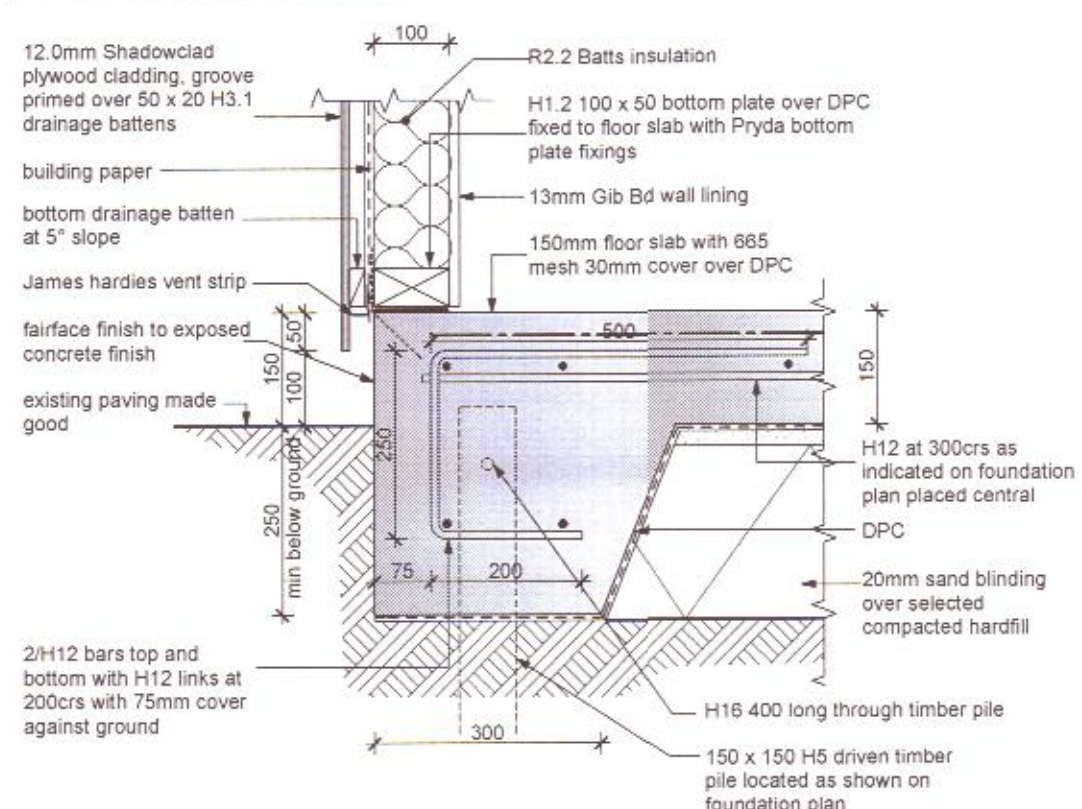


FOUNDATION / DRAINAGE PLAN
SCALE 1:50

FOUNDATION LEGEND

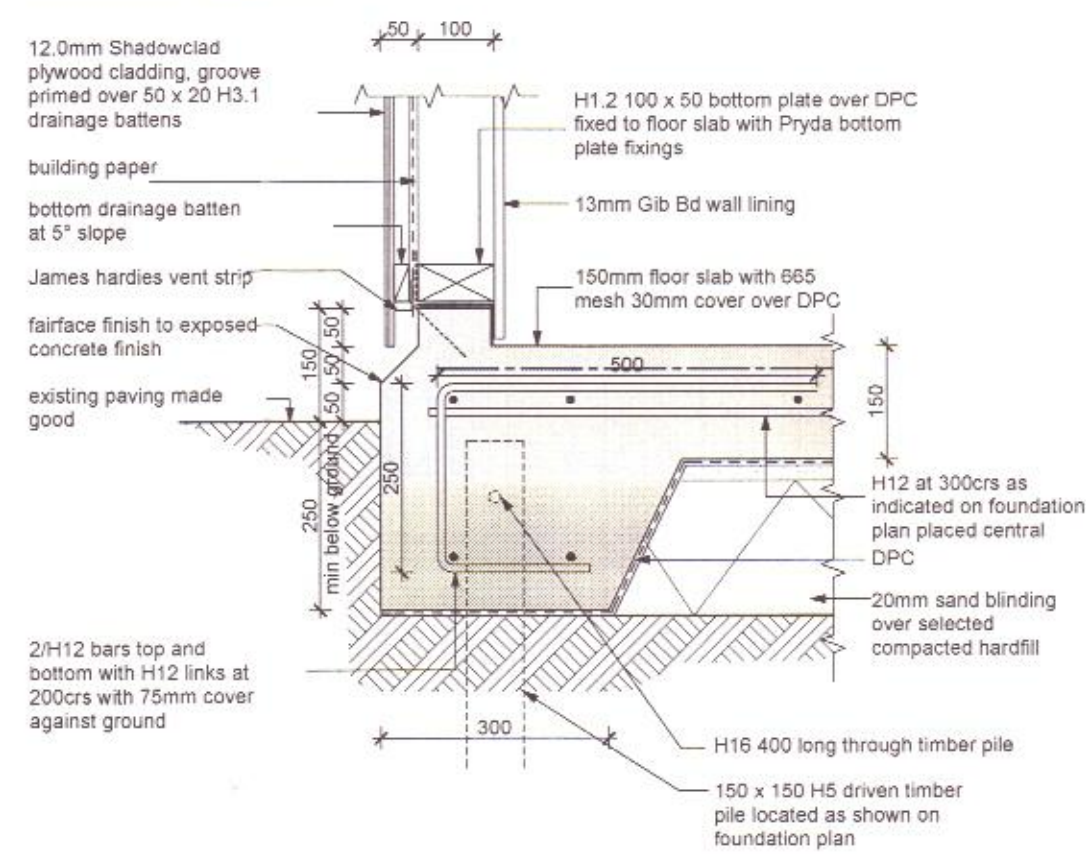
- 150mm thick concrete floor slab 20MPa with 665 mesh with 30mm top cover. H12 bars at 300crs as indicated.
- Driven 150 x 150 H5 timber piles. Min 2.5m deep.
- Underpin existing foundation. Driven 150 x 150 H5 timber piles. Min 2.5m deep.

NOTE:
refer fire outline specification for wall lining requirements to fire rated walls.

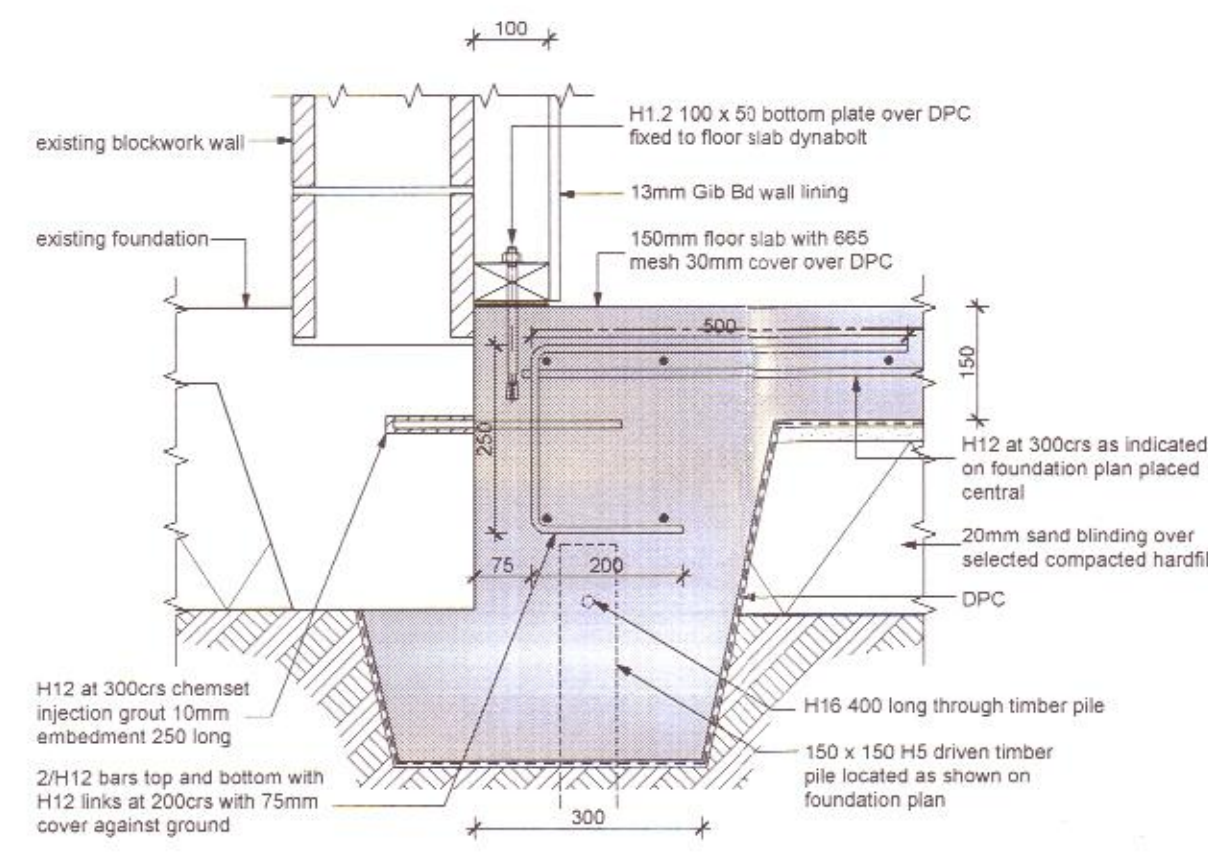


1 DETAIL - foundation
SCALE 1:10

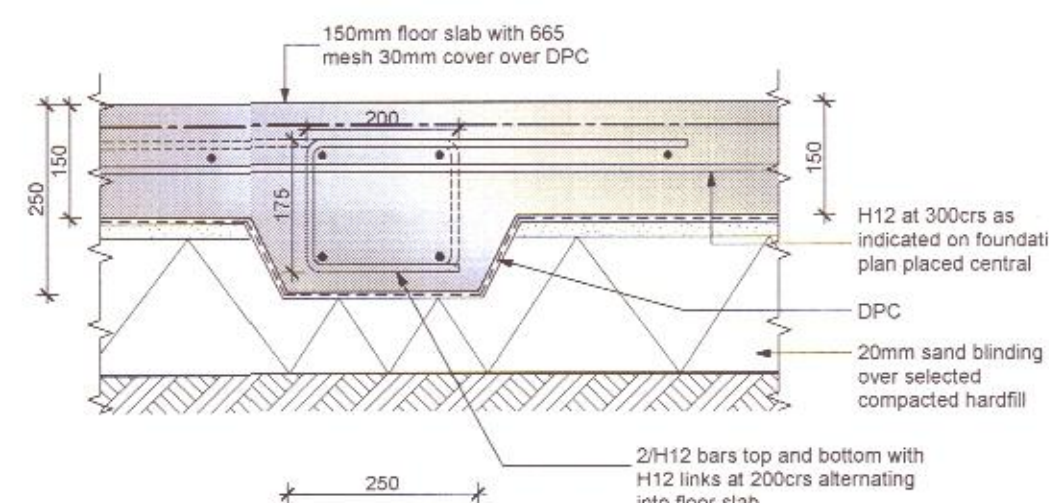
NOTE:
refer fire outline specification for wall lining requirements to fire rated walls.



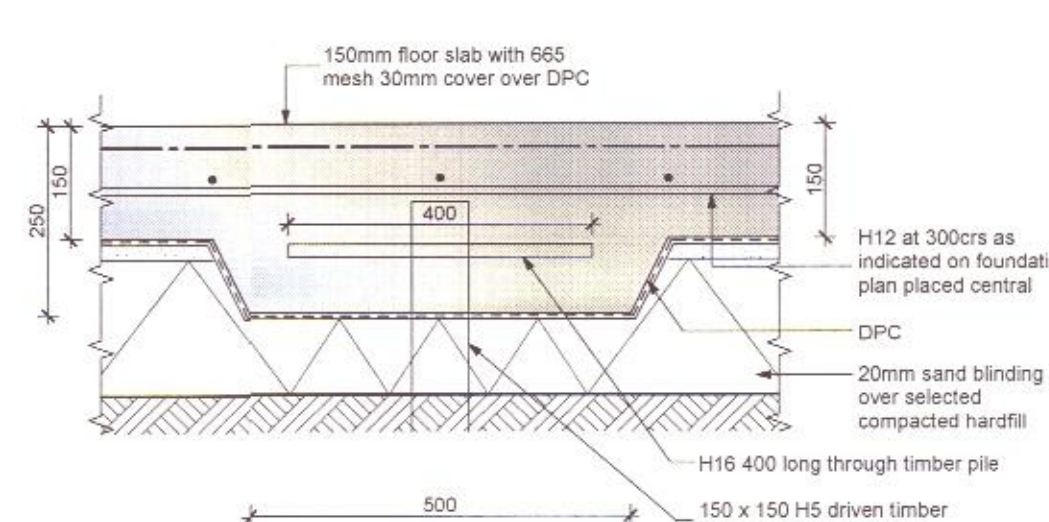
2 DETAIL - foundation
SCALE 1:10



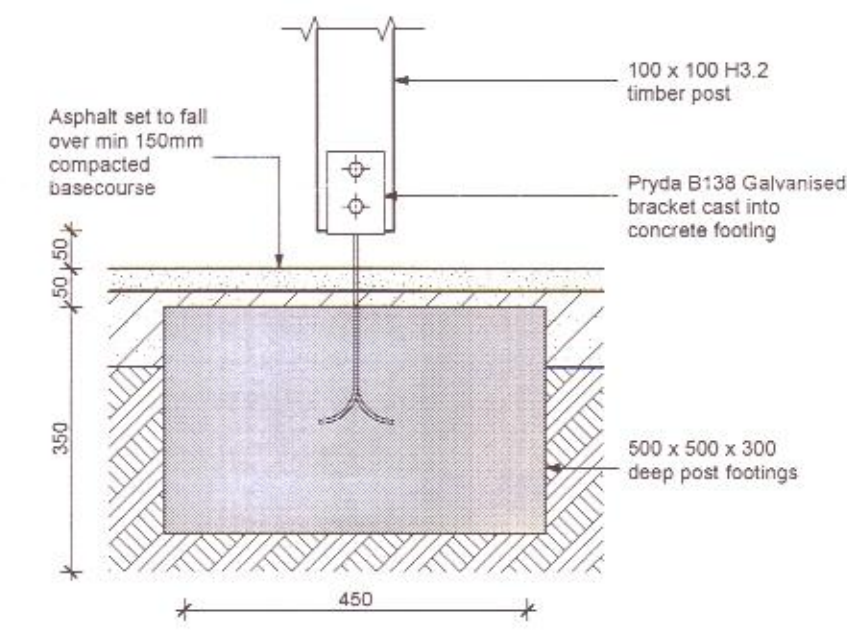
3 DETAIL - footing/underpinning
SCALE 1:10



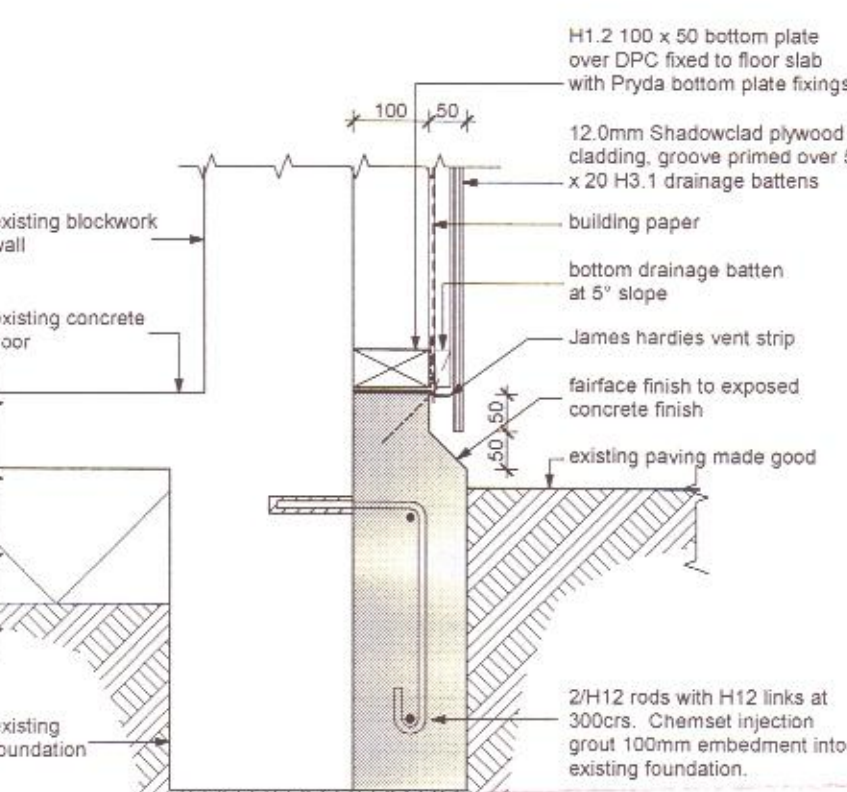
4 DETAIL - internal foundation beam
SCALE 1:10



5 DETAIL - pile cap typical
SCALE 1:10



6 DETAIL - post footing
SCALE 1:10



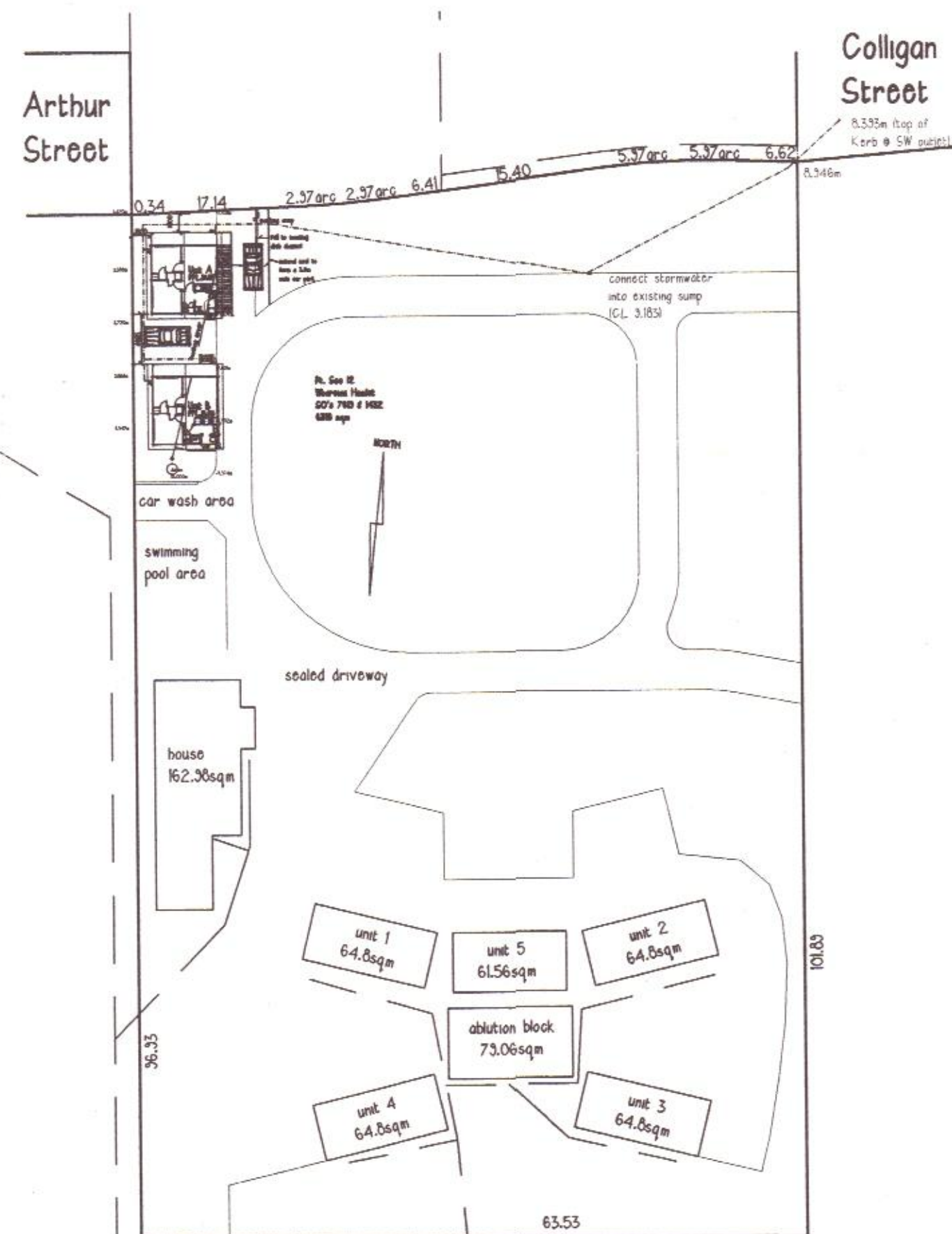
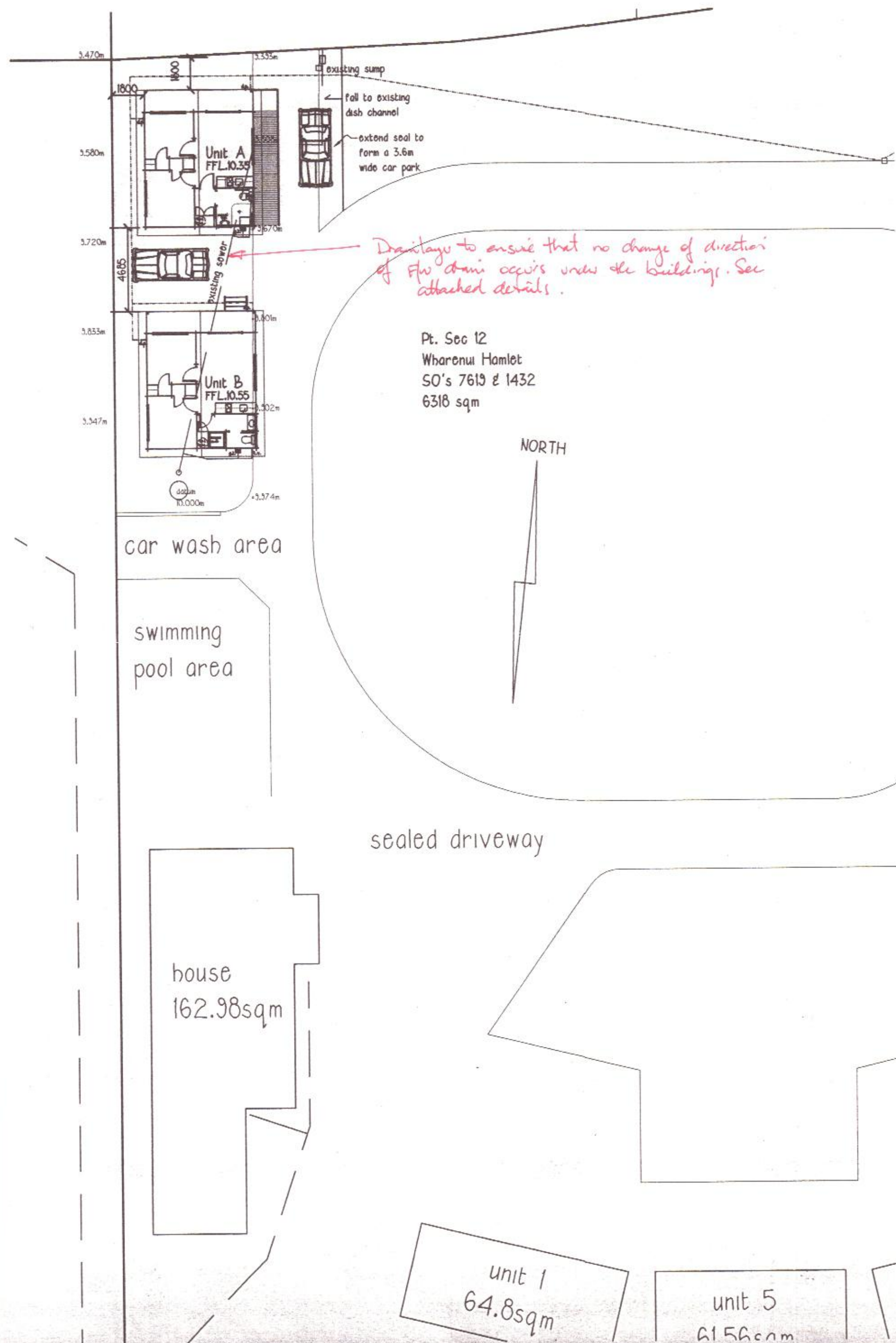
7 DETAIL - foundation
SCALE 1:10

GENERAL DRAINAGE NOTES

All work shall comply with NZS 3604:1999 and NZBC:2001 and amendments.
DRAINAGE / PLUMBING
The system is indicative only. The installation shall comply with the requirements of NZBC:2001 Section G13.
Existing services on this plan are indicative only. All services are to be located on site before work begins.

DRAINAGE LEGEND

- DP 80mm or 65mm dia Colorsteel downpipe as indicated.
- TV New 80mm PVC Terminal Vent pipe
- GT New Gully Trap
- IO New Inspection opening
- egt Existing Gully Trap
- etv Existing Terminal Vent Pipe
- Existing F.W. drainage
- New 100mm uPVC F.W. drainage. Min 1 in 120 gradient
- New 100mm dia. uPVC stormwater drain. Min 1 in 120 gradient.
- wc Selected floor mounted toilet pan. 100mm dia. S-trap soil pipe.
- whb Selected semi recessed vanity basin. 32mm dia. waste.
- shr.1. Selected tiled shower over Wet-Seal wall and floor waterproofing system as to manufacturer's instructions. Metabronze Industries De-lux tiling outlet.
- tub Client selected tub.
- s Selected stainless steel sink insert. 50mm dia. waste.



DAVE BARLOW

308 Blenheim Road

CHRISTCHURCH CITY COUNCIL
Consent Document

22 DEC 1998

All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

FILE COPY

AMENDMENTS DRAWN DATE

AMENDED PLANS

THIS DESIGN AND DRAWING IS THE COPYRIGHT OF FRAEMOHS INDUSTRIES LIMITED

LEGEND

12mm HURRICANE ROD
CLIP JOINT
STEEL STIFFENER
CLIENT TO SUPPLY
NOMINAL WALL THICKNESS TO BE TAKEN AS 50mm

DRAWN

CHECKED

DATE

SCALE

30/3/98
1:200 1:500

CLIENT

Amber Park
New Tourist Flats

DRAWING TITLE

Site Plan

CLIENT NUMBER

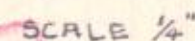
5466

SHEET NUMBER

1

1200 MAIN NORTH ROAD,
P.O. BOX 5251 CHRISTCHURCH
TELEPHONE (03) 323-8099
FAX (03)323-8442

FRAEMOHS HOMES
The solid timber home
you can build yourself



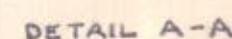
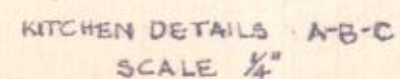
TO ALL ARCHITECTS, BUILDERS AND APPLICANTS FOR BUILDING PERMITS.

The Drainage and Plumbing Regulations, 1939.

do not permit building over any drainage or sewerage system or constructing drains under buildings without special permission.

As the consequences of contravening these Regulations are usually most expensive all persons contemplating building any structures or additions should, before commencing, discuss their proposals with the Christchurch Drainage Board to ensure that the trouble does not occur.

Such action taken prior to building could save unnecessary expense.

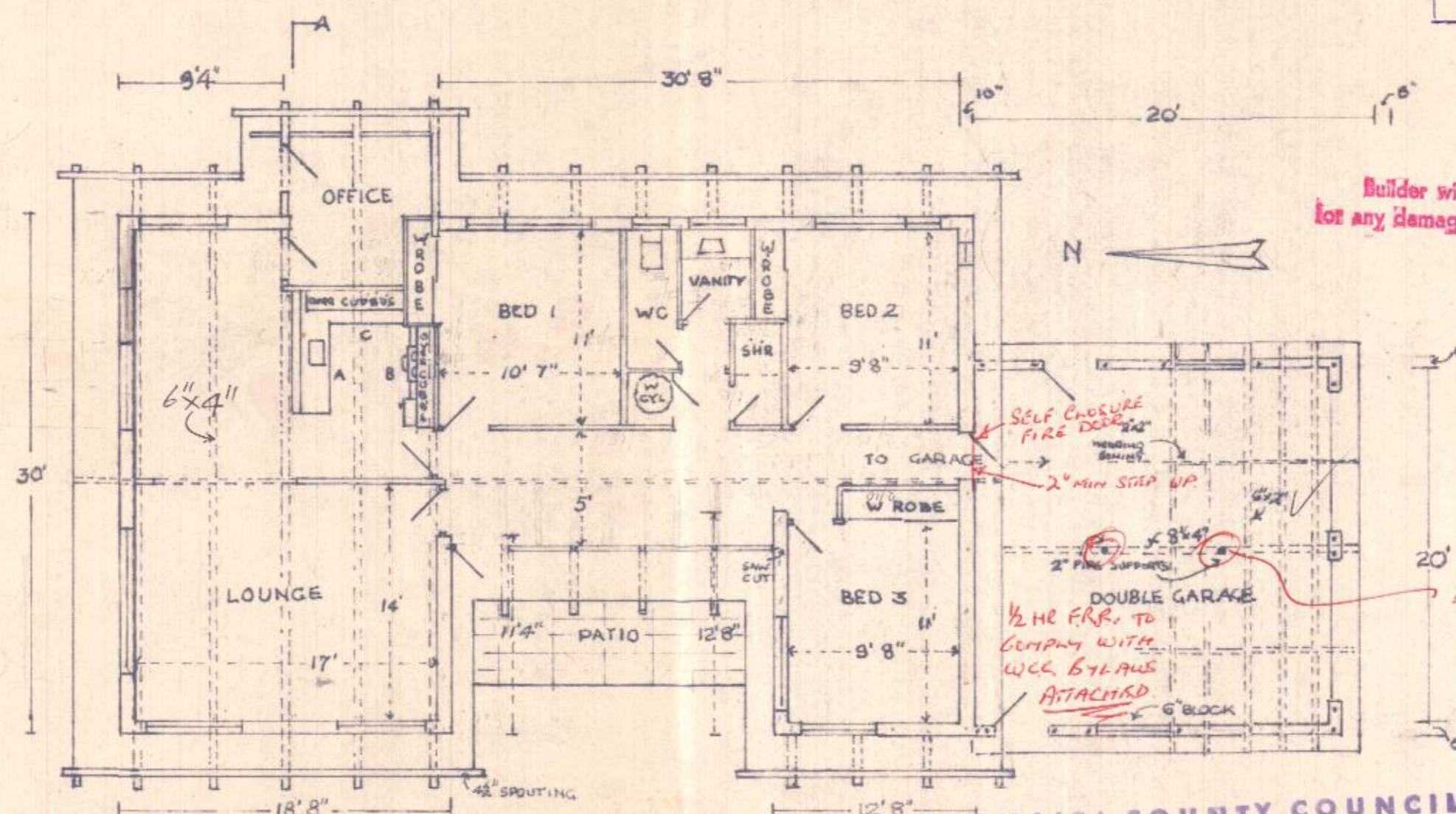


UNDERGROUND ELECTRICITY SUPPLY

Provision to be made by installing a 2" pipe from bottom of meter box to 2" below bottom of foundation.

CHIMNEYS

*All chimneys to have 4— $\frac{1}{2}$ " vertical ~~rein-~~
forcing rods and blue liners.



Builder will be held responsible
for any damage done to footpath.

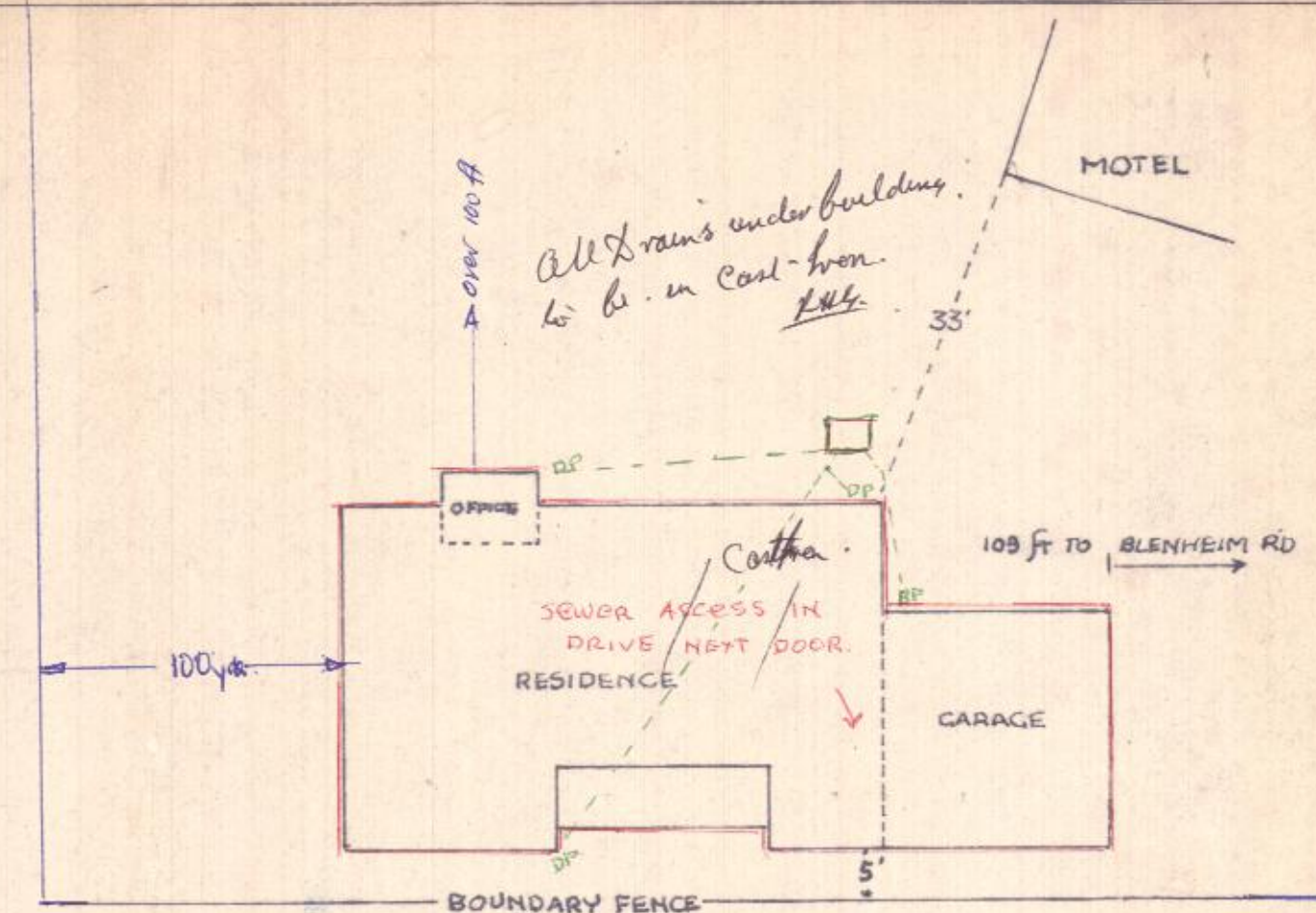
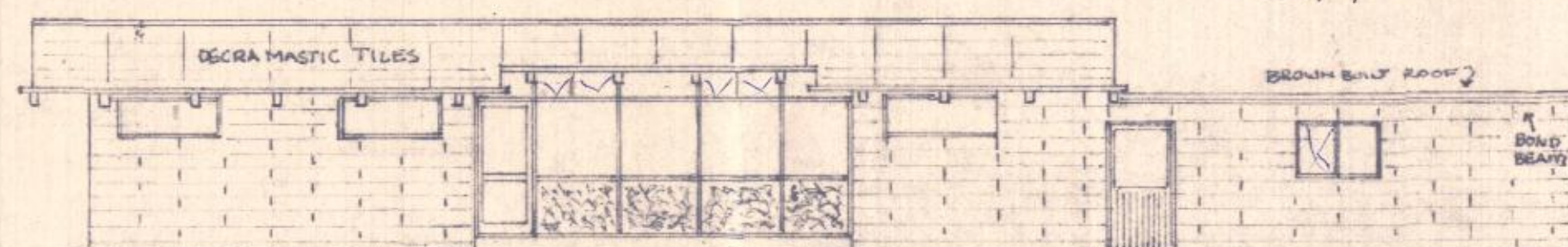
12' 8" WAIMAIRI COUNTY COUNCIL

APPROVED, Subject to:-
1. All work to comply with the County Building By-Laws

SCALE $\frac{1}{8}"$
~~100~~ REQD LIGHT & V
 10% FLOOR AREA IN LIGHT
 1/2 TO OPEN IN ALL ROOMS

24 hours' notice to be given to the County Building Inspector prior to pouring any concrete

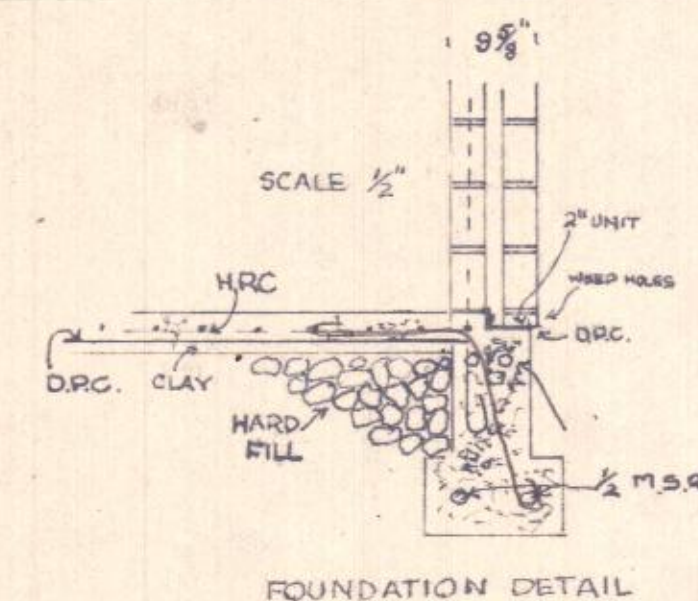
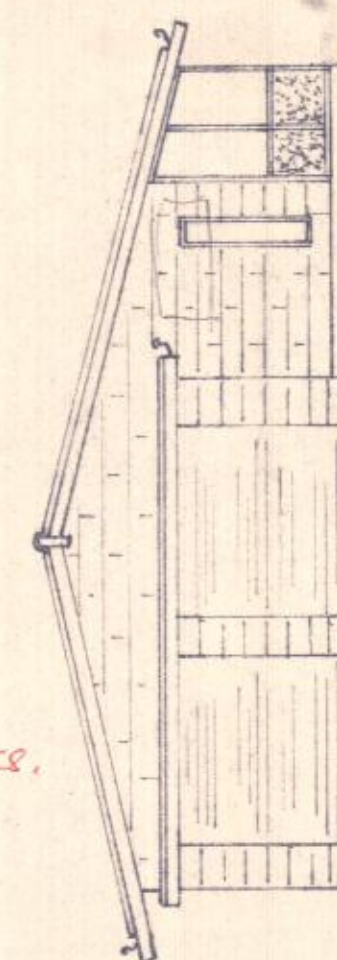
K. H. Kennedy Building Inspector
34/11/70



9° pitch. 12 p.s.h + 7 p.s.h.
19 p.s.h.
 $\times 4$

76 #/lb

Deflectn 6" x 4" ~~of 11" x 11"~~
OK for bending.



FOUNDATION DETAIL

PROPOSED NEW RESIDENCE & OFFICE AT AMBER PARK 308 BLENHEIM RD RICCARTON



Approx. location of removed tank

308 Blenheim Road Land Use Consents



**308 Blenheim Road
Subdivision Consents**



Land Use Resource Consents within 100 metres of 308 Blenheim Road

Note: This list does not include subdivision Consents and Certificates of Compliance issued under the Resource Management Act.

1/295 Blenheim Road

RMA/1983/31

Consent to retail boats, boat trailers and caravans manufactured, assembled and refurbished on the site. (industrial `c` zone, but on a - Historical Reference RES9200788

Processing complete

Applied 01/05/1983

Decision issued 01/08/1983

Granted 01/08/1983

RMA/2007/2049

To establish a development of 9 commercial units incorporating showrooms, warehouses and office facilities - Historical Reference RMA92009349

Processing complete

Applied 24/07/2007

Decision issued 30/07/2008

Granted 30/07/2008

RMA/2012/1736

TO ERECT A DOUBLE SIDED FREESTANDING SIGN - Historical Reference RMA92021167

Processing complete

Applied 31/10/2012

Decision issued 13/11/2012

Granted 13/11/2012

1/303 Blenheim Road

RMA/2006/1011

12 commercial units - Historical Reference RMA92005049

Processing complete

Applied 10/05/2006

Decision issued 27/06/2006

Granted 27/06/2006

101 Middleton Road

RMA/2007/2035

Application to develop a new 11 unit motel complex with manager's residence - Historical Reference RMA92009335

Processing complete

Applied 23/07/2007

Decision issued 21/12/2007

Granted 20/12/2007

RMA/2011/705

Extension of time - Historical Reference RMA92018251

Processing complete

Applied 31/05/2011

Decision issued 20/12/2012

Granted 20/12/2012

RMA/2013/2786

Extension of Consent lapse period RMA92018251 - Historical Reference RMA92024522

Processing complete

Applied 19/12/2013

Decision issued 19/12/2013

Granted 19/12/2013

11/303 Blenheim Road

RMA/2010/302

Mezzanine storage area - Historical Reference RMA92015799

Processing complete

Applied 05/03/2010

Decision issued 26/03/2010

Granted 26/03/2010

261 Blenheim Road

RMA/1999/2584

Application to erect two single-sided free-standing Billboards on the Warehouse Distribution centre's property. -
Historical Reference RES991348

Processing complete

Applied 06/05/1999

Decision issued 02/07/1999

Granted 02/07/1999

RMA/2001/1350

To establish and operate a radiocom - Historical Reference RMA20005231

Processing complete

Applied 05/06/2001

Decision issued 26/06/2001

Granted 26/06/2001

RMA/2003/2337

Application to erect a new Warehouse Retail Store and a new Warehouse Stationary Store - Historical Reference RMA20014653

Processing complete

Applied 08/09/2003

Decision issued 04/05/2004

Granted 04/05/2004

RMA/2007/2699

Telecom upgrade of an existing mobile phone site RE PRE - Historical Reference RMA92010041

Withdrawn

Applied 25/09/2007

RMA/2008/1567

Application to separate 'The Warehouse' site from 'The Warehouse Stationary' site which reduces the number of car parks - Historical Reference RMA92012432

Processing complete

Applied 16/07/2008

Decision issued 08/07/2009

Granted 08/07/2009

294 Blenheim Road

RMA/1986/48

Consent to erect an eleven unit residential complex: two objections one withdrawn one petition - Historical Reference RES9200844

Processing complete

Applied 04/03/1986

Decision issued 05/06/1986

Granted 05/06/1986

RMA/1997/2928

Application to renovate an existing warehouse for use as a Church. (Withdrawn 26-Aug-98) - Historical Reference RES973379

Withdrawn

Applied 21/11/1997

RMA/1999/1837

Application to use existing building previously used as a warehouse, as a sports centre and clubrooms for the Canterbury table Tennis Association. the ChCh Poultry, Bantam and pigeon Club will also use the building once a year for its annual - Historical Reference RES990402

Processing complete

Applied 15/02/1999

Decision issued 09/06/1999

Granted 09/06/1999

RMA/1999/2700

Application to use an existing building partly as a Place of worship and partly as a warehouse. (Withdrawn 20-Sep-99) - Historical Reference RES991508

Withdrawn

Applied 20/05/1999

RMA/2002/1930

Application to erect signage painted onto the existing building - Historical Reference RMA20010957

Processing complete

Applied 08/08/2002

Decision issued 11/09/2002

Granted 10/09/2002

301A Blenheim Road

RMA/2005/2782

Right of Way Section 348 Certified 5/10/06 - Historical Reference RMA20021687

Processing complete

Applied 08/12/2005

Decision issued 09/01/2006

Granted 09/01/2006

RMA/2006/207

Development of a 9 unit industrial park involving a reduction of landscaping - Historical Reference RMA20022096

Processing complete

Applied 09/02/2006

Decision issued 22/03/2006

Granted 22/03/2006

RMA/2006/78

Application to erect a free-standing outdoor sign - Historical Reference RMA20021961

Processing complete

Applied 20/01/2006

Decision issued 24/01/2006

Granted 24/01/2006

309 Blenheim Road

RMA/2020/107

Construct workshop with ancillary office activity, and associated parking, landscaping and earthworks

Processing complete

Applied 22/01/2020

Decision issued 02/03/2020

Granted 02/03/2020

316 Blenheim Road

RMA/2014/1856

Seven Unit Motel - Historical Reference RMA92026528

Processing complete

Applied 22/07/2014

Decision issued 28/08/2014

Granted 28/08/2014

318 Blenheim Road

RMA/2014/34

12 unit motel - Historical Reference RMA92024629

Processing complete

Applied 13/01/2014

Decision issued 21/02/2014

Granted 21/02/2014

33 Colligan Street

RMA/1974/6

To enable land to be used as a caravan park and mini motel complex - Historical Reference RES9200798

Processing complete

Applied 30/07/1974

Decision issued 17/12/1974

Granted 17/12/1974

RMA/1980/30

Extend existing motel facilities in either a single storey complex or two storey complex - Historical Reference RES9200793

Processing complete

Applied 16/04/1980

Decision issued 07/08/1980

Granted 07/08/1980

RMA/1986/44

Storage of unoccupied caravans and campervans use of site as childrens play area and variation of previous planning consent relating to land - Historical Reference RES9200799

Processing complete

Applied 27/05/1986

Decision issued 17/09/1986

Granted 17/09/1986

RMA/2007/1715

Proposed Lot 1 - Application to erect a dwelling with an attached garage - Historical Reference RMA92008999

Processing complete

Applied 29/06/2007

Decision issued 15/11/2007

Granted 15/11/2007

35 Colligan Street

RMA/2007/1717

Proposed Lot 2 - Application to erect a dwelling with an attached garage - Historical Reference RMA92009001

Processing complete

Applied 29/06/2007

Decision issued 24/08/2007

Granted 24/08/2007

37 Colligan Street

RMA/2007/2990

Lot 3 - Application to erect a dwelling with attached garage - Historical Reference RMA92010337

Processing complete

Applied 06/11/2007

Decision issued 07/12/2007

Granted 06/12/2007

39 Colligan Street

RMA/2007/1718

Proposed Lot 4 - Application to erect a dwelling with an attached garage - Historical Reference RMA92009002

Processing complete

Applied 29/06/2007

Decision issued 30/08/2007

Granted 29/08/2007

40 Colligan Street

RMA/2007/1637

Proposed Lot 10 - Application to erect a dwelling with an attached garage - Historical Reference RMA92008916

Withdrawn

Applied 27/06/2007

RMA/2007/2741

Lot 10 - Application to construct a new single storey dwelling with attached garage - Historical Reference RMA92010085

Processing complete

Applied 08/10/2007

Decision issued 31/10/2007

Granted 31/10/2007

41 Colligan Street

RMA/2007/3071

Lot 5 - Application to erect a dwelling with an attached garage - Historical Reference RMA92010422

Processing complete

Applied 15/11/2007

Decision issued 17/12/2007

Granted 14/12/2007

46 Colligan Street

RMA/2007/1754

Proposed Lot 7 - Application to erect a dwelling with an attached garage - Historical Reference RMA92009041

Processing complete

Applied 29/06/2007

Decision issued 30/08/2007

Granted 29/08/2007

48 Colligan Street

RMA/2007/1638

Proposed Lot 6 - Application to erect a dwelling with an attached garage - Historical Reference RMA92008917

Processing complete

Applied 27/06/2007

Decision issued 24/08/2007

Granted 24/08/2007

65 Arthur Street

RMA/2005/1964

Application for alterations to, and the erection of an addition (garage) to an existing single storey dwelling - Historical Reference RMA20020840

Processing complete

Applied 26/08/2005

Decision issued 12/12/2005

Granted 09/12/2005

RMA/2023/3006

Internal alterations to the existing garage to change to 2 bedrooms

Processing complete

Applied 20/11/2023

Decision issued 28/11/2023

Granted 28/11/2023

Data Quality Statement

Land Use Consents

All resource consents are shown for sites that have been labelled with an address. For sites that have been labelled with a cross (+) no resource consents have been found. Sites that have no label have not been checked for resource consents. This will be particularly noticeable on the margins of the search radius. If there are such sites and you would like them included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay. Resource consents which are on land occupied by roads, railways or rivers are not, and currently cannot be displayed, either on the map or in the list. Resource consents that relate to land that has since been subdivided, will be shown in the list, but not on the map. They will be under the address of the land as it was at the time the resource consent was applied for. Resource consents that are listed as Non-notified and are current, may in fact be notified resource consents that have not yet been through the notification process. If in doubt. Please phone (03)941 8999.

The term “resource consents” in this context means land use consents. Subdivision consents and certificates of compliance are excluded.

Subdivision Consents

All subdivision consents are shown for the sites that have been labelled with consent details. For Sites that have been labelled with a cross (+) no records have been found. Sites that have no label have not been checked for subdivision consents. This will be particularly noticeable on the margins of the search radius. If there are such sites and you would like them included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay.

The term “subdivision consents” in this context means a resource consent application to subdivide land. Non subdivision land use resource consents and certificates of compliance are excluded.

This report will only record those subdivision applications which have not been completed i.e once a subdivision has been given effect to and the new lots/properties have been established the application which created those lots will not be shown

All subdivision consent information is contained on the map and no separate list is supplied